

PUMP STATION R/R PACKAGE NO. 23 PUMP STATION IMPROVEMENTS

FOR

PS 3138 MAJOR REALTY
PS 3283 PEPPERMILL
PS 3315 SUMMERSET VILLAGE
PS 3363 SOUTH PARK 2
PS 3852 HIDDEN LAKES PHASE 1

BOARD OF COUNTY COMMISSIONERS

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ORANGE COUNTY UTILITIES DEPARTMENT
ENGINEERING DIVISION
9150 CURRY FORD ROAD
ORLANDO, FLORIDA 32825
(407) 254-9900

FOR BID
NOVEMBER 2019

OCU FILE NO.: 94626

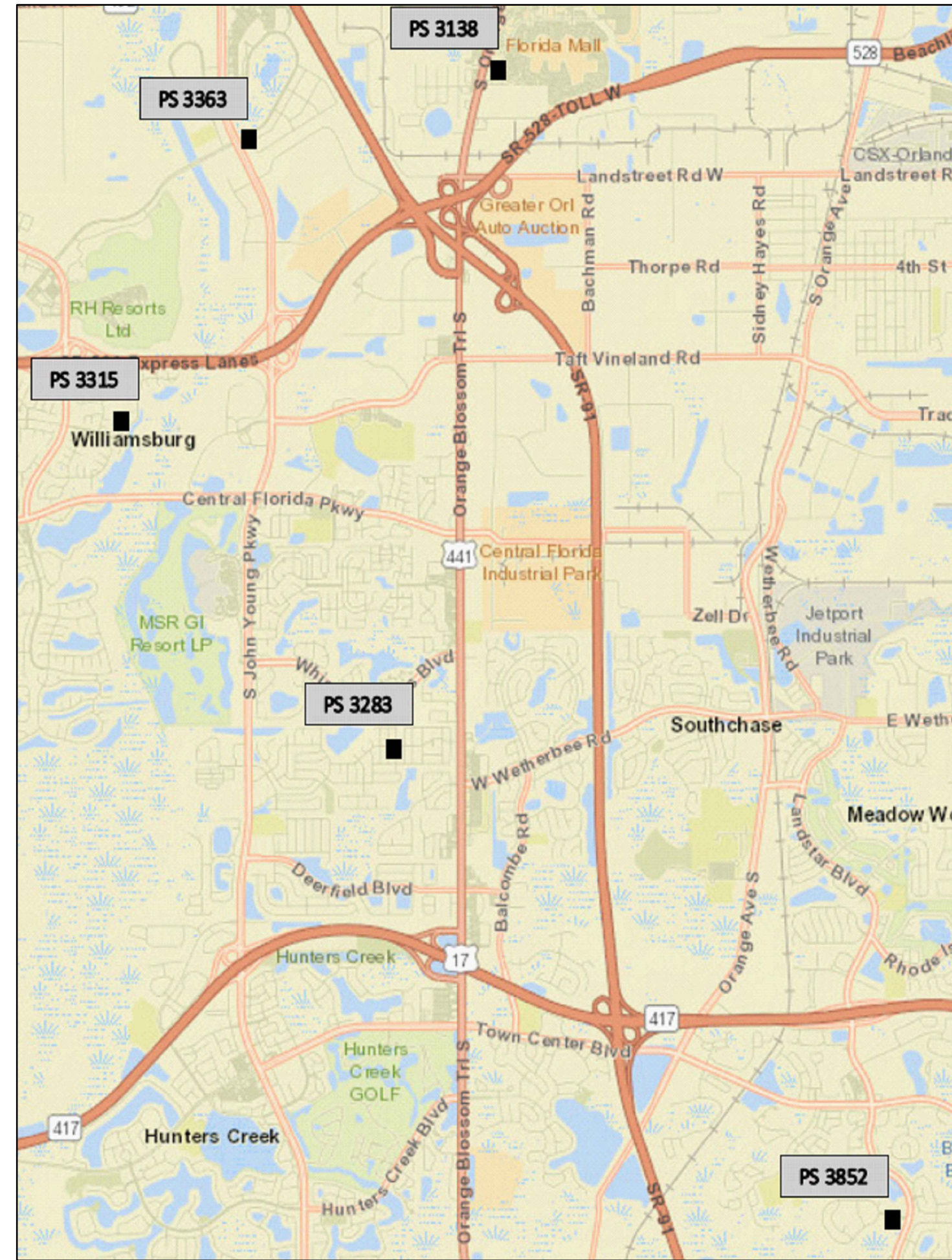
CIP FUNDING CODE:
• 1503-91 (PS 3138)
• 1503-94 (PS 3283)
• 1559-0119 (PS 3852)
• 1559-0122 (PS 3363)
• 1559-14 (PS 3315)

ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA. DIMENSION INFORMATION SHOULD NOT BE OBTAINED BY SCALING THE PLANS.

DRAWING INDEX

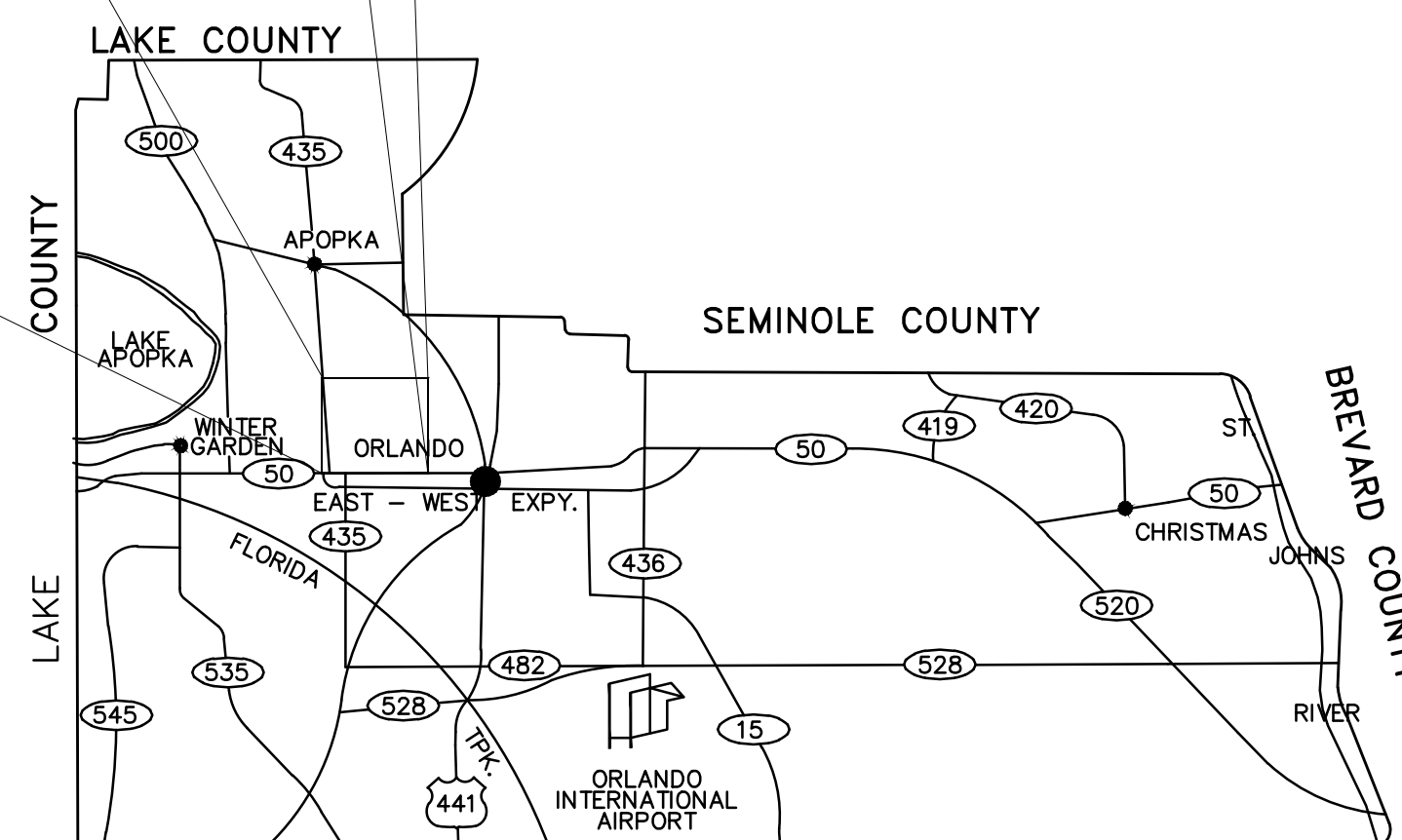
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LOCATION MAP



ORANGE COUNTY, FLORIDA

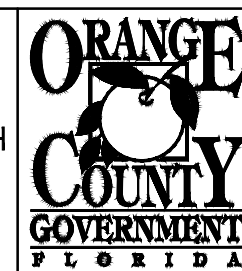
NOTE:
SEE SURVEYS FOR SPECIFIC LOCATIONS



ORANGE COUNTY, FLORIDA
SCALE: 1" = 50,000'

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE
(IF NOT SCALE ACCORDINGLY)



ORANGE COUNTY
UTILITIES DEPARTMENT
ENGINEERING DIVISION
9150 CURRY FORD ROAD ORLANDO, FL. 32825



ATKINS
Member of the SNC-Lavalin Group

LOCATION MAP AND
DRAWING INDEX

RAJ SINGH
PROFESSIONAL ENGINEER
FLORIDA LICENSE #41210

OCU FILE NO.: X
DESIGNED BY: X
DRAWN BY: X
CHECKED BY: X
CADD FILE: X

SCALE: X
DRAWING NO.:
G2
SHEET: 2 OF 55

GENERAL NOTES

- EXCAVATE CAUTIOUSLY** LOCATIONS OF EXISTING UTILITIES INDICATED HERE IN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE NOT TO BE CONSIDERED ALL INCLUSIVE. CONTRACTOR SHALL VERIFY EXACT LOCATION, CHARACTER AND NATURE OF ALL EXISTING AND PROPOSED UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO FABRICATION OF PIPING AND EQUIPMENT TO ENSURE PROPER ASSEMBLY OF ALL ITEMS.
- LOCATIONS AND DIMENSION OF EXISTING RIGHTS-OF-WAY AND EASEMENTS ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY THE LIMITS OF THE RIGHTS-OF-WAY AND EASEMENTS IN ORDER TO AVOID ENCROACHMENTS.
- COVER OVER ALL PIPES SHALL BE THREE (3) FEET MINIMUM, OR AS SHOWN.
- PIPES SHALL NOT BE DEFLECTED.
- ALL EXCAVATIONS SHALL BE BACK FILLED AT THE END OF EACH WORK DAY. ALL FINAL BACK FILL IS TO BE COMPACTED TO 98% OF MAXIMUM MODIFIED PROCTOR.
- ALL SITE WORK SHALL BE COORDINATED WITH THE COUNTY RESIDENT PROJECT REPRESENTATIVE (RPR).
- THE ELEVATIONS SHOWN ARE BASED ON **NAVD 88**.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THE ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

- ALL PROPOSED DUCTILE IRON M.J. FITTINGS, PIPES, OR RESTRAINTS WITHIN FORTY (40) FEET OF EXISTING GAS MAINS SHALL BE POLYETHYLENE ENCASED.
- ALL EXISTING AND PROPOSED WATER, WASTEWATER AND REUSE VALVES SHALL BE OPERATED BY ORANGE COUNTY UTILITIES AUTHORIZED REPRESENTATIVES. EXISTING VALVE BOXES AND MANHOLES, WHICH ARE TO REMAIN, SHALL BE ADJUSTED TO THE FINISHED GRADE. ALL VALVES UNDER CONSTRUCTION SHALL REMAIN CLOSED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE TANKERS AND SIGNED DOCUMENT ACKNOWLEDGING THE UNDERSTANDING OF THE ORANGE COUNTY UTILITY **"EMERGENCY WASTEWATER SPILL AND WATER MAIN BREAK PROCEDURES"**, IN THE PRE-CONSTRUCTION PACKET FOR THE MEETING.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ON-SITE DURING THE LIFE OF THE PROJECT, A WEATHERPROOF ENCLOSURE CONTAINING A READILY ACCESSIBLE LIST OF EMERGENCY CONTACTS AND PHONE NUMBERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTION OF ALL REQUIREMENTS OF REGULATORY AGENCY PERMITS WITH REGARD TO CONSTRUCTION ACTIVITIES AND RELATED CONDITIONS.
- THE CONTRACTOR SHALL CALL SUNSHINE STATE ONE CALL NO LESS THAN FOURTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION. - PHONE - 800-432-4777.
- ADVANCE NOTIFICATION OF CONSTRUCTION**
THE ORANGE COUNTY UTILITY CONSTRUCTION SECTION (407) 254-9798, SHALL BE NOTIFIED AT LEAST SEVEN (7) DAYS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AT ALL INTERSECTIONS OF PROPOSED WORK AND EXISTING UTILITIES. THE EXPLORATORY EXCAVATIONS SHALL BE MADE FORTY-EIGHT (48) HOURS IN ADVANCE OF THE WORK. IF THERE IS A POTENTIAL CONFLICT, THE CONTRACTOR SHALL NOTIFY THE COUNTY RESIDENT PROJECT REPRESENTATIVE IMMEDIATELY WITH INFORMATION WHICH SHALL INCLUDE LOCATION, ELEVATION, UTILITY TYPE, MATERIAL AND SIZE.
- IN AREAS WHERE CONSTRUCTION ACTIVITIES RESTRICT NORMAL ACCESS TO PROPERTIES, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALTERNATE ACCESS ROUTES WHICH ARE SUBJECT TO APPROVAL BY THE ENGINEER, AS PART OF THE M.O.T. PLAN.
- THE DISPOSAL OF ANY EXCESS EARTH WORK MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE WITH EQUAL MATERIAL, OR AS DIRECTED BY THE RPR, ALL PAVING, GRASSED AREAS, STABILIZED EARTH, DRIVEWAYS, ETC., DISTURBED OR DAMAGED BY THE CONSTRUCTION OR RELATED ACTIVITIES. ALL DISTURBED AREAS SHALL BE SODDED, EXCEPT DIRT DRIVES AND WHERE INDICATED IN THE DRAWINGS.
- SALVAGE AND/OR DISPOSAL OF ALL EXISTING EQUIPMENT SHALL BE AT THE DIRECTION OF THE RPR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF ALL STRUCTURES, PIPE, CONDUIT, WIRE, FITTINGS, PANELS, ETC. THAT ARE DEMOLISHED, DISASSEMBLED, OR REMOVED, PER SECTION 02080 OF THE SPECIFICATION MANUAL OF THIS PROJECT.

- OPERATION OF ORANGE COUNTY PUMP STATIONS** THE CONTRACTOR SHALL COORDINATE ALL PUMP STATION OPERATIONS AND SHUT DOWN CONTROL WITH THE ORANGE COUNTY RPR.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY BY-PASS PUMPING AS NEEDED FOR EACH PUMP STATION AND/OR MANHOLE TO BE REHABILITATED AND/OR REPLACED PRIOR TO THE START OF ANY WORK. BOTH THE PRIMARY AND THE BACKUP BY-PASS PUMPING SYSTEMS SHALL BE OF ADEQUATE CAPACITIES AND SIZES TO HANDLE THE FLOW AND SHALL MAINTAIN CONTINUOUS SERVICE DURING THE ENTIRE CONSTRUCTION PROCESS UNTIL THE NEW OR REHABILITATED PUMP STATION OR MANHOLE HAS BEEN ACCEPTED BY THE COUNTY. THE BY-PASS PUMPING SYSTEMS SHALL BE APPROVED AND ACCEPTED BY THE COUNTY PRIOR TO INSTALLATION. THE CONTRACTOR SHALL NOT MAINTAIN MORE THAN TWO (2) PUMP STATION BY-PASS OPERATIONS AT THE SAME TIME DURING THE CONSTRUCTION PROCESS.
- BY-PASS PUMPING SHALL BE LOW NOISE SUITABLE FOR RESIDENTIAL NEIGHBORHOODS (SEE SECTION 01001.1.05B OF THE TECHNICAL SPECIFICATIONS).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DE-WATERING REQUIRED DURING CONSTRUCTION AND TO OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE TEMPORARY DEWATERING OF DRAINAGE STRUCTURES.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY PLUGS, BLOCKING, TAPS, AND TESTING EQUIPMENT REQUIRED TO COMPLETE PRESSURE TESTING, AS SPECIFIED.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR APPROVAL BY THE COUNTY, A COMPREHENSIVE WRITTEN PROCEDURE THAT DESCRIBES THE INTENDED CONSTRUCTION SEQUENCE FOR MAINTAINING AND TRANSFERRING SERVICE FROM THE EXISTING PUMP STATION TO THE NEW PUMP STATION. ITEMS TO ADDRESS SHALL INCLUDE THE FOLLOWING AS A MINIMUM:
 - LOCATION AND METHOD OF BY-PASS PUMPING.
 - STATION START-UP AND DRAW-DOWN PROCEDURES.
 - TIE IN OF THE NEW PUMP STATION.
 - DISMANTLING OF EQUIPMENT AND CONVERSION OR REMOVAL OF OLD WET WELL.

- THIS PROCEDURE SHALL BE SUBMITTED WITH THE PROJECT SCHEDULE.
- THE CONTRACTOR SHALL NOTIFY THE COUNTY SEVEN (7) WORKING DAYS IN ADVANCE OF ANY SANITARY FORCE MAIN SHUT-DOWN.
 - ALL CONNECTIONS TO EXISTING FORCE MAINS SHALL BE MADE BY THE CONTRACTOR ONLY AFTER THE CONNECTION PROCEDURE AND THE WORK SCHEDULING HAS BEEN REVIEWED AND APPROVED BY THE COUNTY. THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST TO THE COUNTY A MINIMUM OF SEVEN (7) WORKING DAYS PRIOR TO SCHEDULING SAID CONNECTIONS. THE REQUEST SHALL OUTLINE THE FOLLOWING:
 - POINTS OF CONNECTION, FITTINGS TO BE USED, AND METHOD OF FLUSHING.
 - ESTIMATED CONSTRUCTION TIME FOR SAID CONNECTIONS.
 - THE COUNTY SHALL REVIEW THE SUBMITTAL WITHIN SEVEN (7) WORKING DAYS AFTER RECEIPT AND INFORM THE CONTRACTOR REGARDING APPROVAL OR DENIAL OF THE REQUEST. IF THE REQUEST IS REJECTED BY THE COUNTY, THE CONTRACTOR SHALL RESUBMIT THE WRITTEN REQUEST, WHICH HAS BEEN MODIFIED IN A MANNER ACCEPTABLE TO THE COUNTY. ALL CONNECTIONS SHALL BE MADE ONLY ON THE AGREED UPON DATE AND TIME. IF THE CONTRACTOR DOES NOT INITIATE AND COMPLETE THE CONNECTION WORK IN THE AGREED UPON MANNER, HE SHALL BE REQUIRED TO RESCHEDULE THE SAID CONNECTIONS BY FOLLOWING THE PROCEDURE OUTLINED IN NOTE 29.
 - ADVANCE NOTIFICATION OF PENDING CONNECTION**
THE ORANGE COUNTY UTILITY WATER DIVISION AND THE ORANGE COUNTY UTILITY WATER RECLAMATION DIVISION SHALL BE NOTIFIED AT LEAST SEVEN (7) DAYS IN ADVANCE TO SCHEDULE MAIN TIE-INS AND VALVE OPERATIONS.
 - ANY WORK PROPOSED FOR THE POTABLE WATER SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND DETAILS OF THE APPROPRIATE UTILITY PROVIDER.
 - REPAIR IMMEDIATELY**
ALL DAMAGE TO ORANGE COUNTY MAINS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. IF THE REPAIR IS NOT DONE IN A TIMELY MANNER, AS DETERMINED BY THE ORANGE COUNTY UTILITY INSPECTOR, ORANGE COUNTY MAY PERFORM REPAIRS AND THE CONTRACTOR WILL BE CHARGED FOR SAID REPAIRS.
 - TELEPHONE NOTIFICATIONS**
THE ORANGE COUNTY DISPATCH OPERATOR SHALL BE NOTIFIED IMMEDIATELY IN THE EVENT OF A FORCEMAIN, GRAVITY SEWER, OR WATER MAIN BREAK OR DAMAGE AT (407)836-2777 (24-HOURS ASSISTANCE).
 - ALL WORK AND MATERIAL SHALL CONFORM TO THE ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL, LATEST EDITION OR AS INDICATED IN THE PROJECT SPECIFICATIONS OR DRAWINGS.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE 6th EDITION OF THE FLORIDA BUILDING CODE (IBC 2017).

LEGEND			
	GUY WIRE AND ANCHOR		EXISTING STORM PIPE
	CAP		EXISTING BURIED TELEPHONE
	PLUG		EXISTING FIBER OPTIC CABLE
	BENCHMARK		EXISTING BURIED ELECTRIC
	TREE (TYPE & SIZE NOTED)		EXISTING OVERHEAD ELECTRIC
	SHRUB		EXISTING CABLE TV (BURIED)
	PROPOSED ELEVATION		EXISTING ELEVATION
	PROPOSED FORCE MAIN		EXISTING FORCE MAIN
	PROPOSED GRAVITY MAIN		EXISTING GRAVITY MAIN
	PROPOSED WATER SERVICE		EXISTING WATER MAIN
	PROPOSED CHAIN-LINK FENCE		EXISTING CHAIN-LINK FENCE
	PROPOSED WOOD FENCE		EXISTING WOOD FENCE
	PROPOSED POWER POLE		EXISTING POWER POLE
	PROPOSED MANHOLE (SPECIFY)		EXISTING MANHOLE (SPECIFY)
	PROPOSED VALVE (SPECIFY)		EXISTING VALVE (SPECIFY)
	PROPOSED WATER METER		EXISTING WATER METER
	PROPOSED BACK-FLOW PREVENTER		EXISTING BACK-FLOW PREVENTER
	PROPOSED SILT FENCE		

PRECAST STRUCTURAL NOTES

- PRECAST STRUCTURES SHALL BE ENGINEERED PRODUCTS OF A PRECAST MANUFACTURER AND SHALL BE SPECIFICALLY DESIGNED FOR THE SERVICE AND APPLICATION AS SHOWN ON THESE DRAWINGS. THE PRECAST MANUFACTURER IS SOLELY RESPONSIBLE FOR DESIGN AND MANUFACTURE OF EACH STRUCTURE. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INSTALLATION OF THESE PRODUCTS AND CONFORMANCE OF SAME WITH ALL PROJECT DOCUMENTS. THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS FOR ALL SUCH PRECAST STRUCTURES ON THE PROJECT FOR REVIEW AND APPROVAL, PRIOR TO THE ORDERING OF ANY STRUCTURES OR MATERIALS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE CAST-IN-PLACE REINFORCEMENT AND CONCRETE PLACEMENT USED IN THE INSTALLATION OF SADDLE MANHOLES FOR REVIEW AND APPROVAL BY THE COUNTY, PRIOR TO THE ORDERING OF ANY MATERIALS.
- STRUCTURAL DESIGN STANDARDS - ACI STANDARD 318-89 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND ACI 350R-83, "CONCRETE SANITARY ENGINEERING STRUCTURES". PRECAST WALL SECTIONS ASTM C478.
- ALL CONCRETE SHALL HAVE A SPECIFIED MINIMUM COMPRESSIVE STRENGTH OF $f_c' = 4000$ P.S.I. AT 28 DAYS, UNLESS NOTED ON DRAWINGS.
- ALL REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. MINIMUM YIELD STRENGTH SHALL BE 60,000 P.S.I..
- CONTRACTOR SHALL COORDINATE WET WELL HATCH OPENING SIZE AND LOCATION AS REQUIRED BY PUMP MANUFACTURER/SUPPLIER WITH THE PRECAST CONCRETE SUPPLIER PRIOR TO CASTING. SHOP DRAWINGS OF THE PRECAST SHALL BE PROVIDED TO THE COUNTY FOR REVIEW.
- THE FLOOR GROUT (FILLET) SHALL BE FULL CIRCUMFERENCE OF THE STRUCTURE.

POWER AND WATER SUPPLY NOTES:

- THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY PROVIDER FOR POWER AND WATER SERVICE, AND SHALL INCLUDE IN HIS BID ALL PROVIDER CHARGES FOR MATERIALS, LABOR, ONE-TIME NONRECURRING CONSTRUCTION COSTS AND OTHER COSTS, INCLUDING WATER METER, ASSESSED BY THE PROVIDER, WHETHER OR NOT INDICATED ON THE DRAWINGS, OR SPECIFIED.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE POWER SUPPLY AND THE WATER SYSTEM RELOCATION AND INSTALLATION WITH THE SUPPLIER.
- THE POWER PROVIDER SHALL MAKE ALL SECONDARY TERMINATIONS AT POWER TRANSFORMERS.
- THE WATER SUPPLIER WILL PERFORM THE REQUIRED RELOCATIONS AND MAKE ALL CONNECTIONS TO THE EXISTING WATER SYSTEM, INCLUDING WATER METER INSTALLATION.
- POWER SUPPLIER: DUKE ENERGY (ALL PUMP STATIONS)
- WATER SUPPLIER: O.C.U. (P. S. 3315, P.S. 3852), O.U.C. (P.S. 3138, P.S. 3283, P.S. 3363).

ABBREVIATIONS			
AKA	ALSO KNOWN AS	L.S.	LIFT STATION
AC	ASBESTOS CEMENT	LT	LEFT
ALUM.	ALUMINUM	L.W.L.	LOW WATER LEVEL
APPROX.	APPROXIMATELY	MAX.	MAXIMUM
ASPH.	ASPHALT	MATL	MATERIAL
ASSEM.	ASSEMBLY	M.H.	MANHOLE
BE	BURIED ELECTRIC	MIN.	MINIMUM
BL	BASELINE	MOD	MODIFIED
B.M.	BENCHMARK	M.O.T.	MAINTENANCE OF TRAFFIC
B.O.	BLOWOFF	M.G.	MECHANICAL JOINT
BCL	BURRIED CABLE LINE	N.G.	NATURAL GROUND
BT	BURIED TELEPHONE	NO.	NUMBER
B.F.V.	BUTTERFLY VALVE	NPW	NON-POTABLE WATER
CATV	CABLE TELEVISION	N.T.S.	NOT TO SCALE
C.B.	CATCH BASIN	O.C.U.	ORANGE COUNTY UTILITIES
C.F.S.	CUBIC FEET PER SECOND	O.D.	OUTSIDE DIAMETER
CIP	CAST IRON PIPE	O.H.E.	OVERHEAD ELECTRIC
CL	CENTERLINE	O.U.C.	ORLANDO UTILITY COMMISSION
C.M.	CONCRETE MONUMENT	PAVT.	PAVEMENT
C.M.P.	CORRUGATED METAL PIPE	P.B.	PULL BOX
CONC.	CONCRETE	PG.	PAGE
CONN.	CONNECTION	P.I.	POINT OF INTERSECTION
CONST.	CONSTRUCT	PL	PROPERTY LINE
CONT.	CONTINUOUS	POLY.	POLYETHYLENE
CORP.	CORPORATION	PP	POWER POLE
C.V.	CHECK VALVE	PROP.	PROPOSED
C.Y.	CUBIC YARD	PS	PUMP STATION
DBL	DOUBLE	P.S.I.	POUNDS PER SQUARE INCH
DHW	DESIGN HIGH WATER	P.U.E.	PERMANENT UTILITY EASEMENT
DIA.	DIAMETER	PV	PLUG VALVE
DIP	DUCTILE IRON PIPE	RAD. PT.	RADIUS POINT
DWLS.	DOWELS	R	RADIUS
DWG.	DRAWING	RCP	REINFORCED CONCRETE PIPE
ELEC	ELECTRIC	REINF.	REINFORCED
EA.	EACH	REQ.	REQUIRED
EFF	EFFLUENT	RPZ	REDUCED PRESSURE ZONE BACKFLOW PREVENTER
ELEV.	ELEVATION	RT.	RIGHT
EMB.	EMBED OR EMBEDDED	RW	RECLAIMED WATER
E/P	EDGE OF PAVEMENT	R/W	RIGHT OF WAY
ESMT.	EASEMENT	SAN.	SANITARY SEWER
E.W.	EACH WAY	SCH.	SCHEDULE
EXIST.	EXISTING	S.D.	STORM DRAIN
EXP. JT.	EXPANSION JOINT	S.F.	SQUARE FEET
F.D.	FLOOR DRAIN	SHT.	ENVIRONMENTAL PROTECTION SHEET
F.D.E.P.	FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION	SHT.	TRANSPORTATION SPECIFICATIONS
F.D.O.T.	FLORIDA DEPT. OF TRANSPORTATION	SQ.	SQUARE
F.F.	FINISHED FLOOR	SS	STAINLESS STEEL
F.H.	FIRE HYDRANT	STA.	STATION
FKA	FORMALLY KNOWN AS	STD.	STANDARD
FLG.	FLANGE	STL.	STEEL
FL.	FLOW LINE	S.Y.	SQUARE YARDS
FM	FORCEMAIN	TBL	TELEPHONE
FT.	FEET	T&B	TOP AND BOTTOM
FTG.	FOOTING	TBM	TEMPORARY BENCH MARK
GA	GAUGE	TCE	TEMPORARY CONSTRUCTION EASEMENT
GAL.	GALLONS	TEMP.	TEMPORARY
GEN.	GENERATOR	THD.	THREADED
GRD.	GROUND	THK.	THICK
G.S.P.	GALVANIZED STEEL PIPE	TYP.	TYPICAL
GM	GAS MAIN	U.G.	UNDERGROUND
GPM	GALLONS PER MINUTE	VAC	VOLTAGE ALTERNATING CURRENT
GV	GATE VALVE	VCP	VITRIFIED CLAY PIPE
HB	HOSE BIBB	VDC	VOLTAGE DIRECT CURRENT
HDWL.	HEADWALL	VERT.	VERTICAL
HT.	HEIGHT	V.V.H.	VERIFIED VERTICALLY & HORIZONTALLY
HP	HIGH POINT	W/	WITH
HORIZ.	HORIZONTAL	WM	WATERMAIN
H.W.L.	HIGH WATER LEVEL	WM	WATER METER
I.E.	INVERT ELEVATION	WP	WALL PIPE
I.D.	INSIDE DIAMETER	WS	WATER SERVICE
IN.	INCHES	W.S.	WATER SURFACE
INV.	INVERT	WWF	WELDED WIRE FABRIC
I.P.	IRON PIPE	"X"	SPOT ELEVATION
I.R.	IRON ROD		
J.B.	JUNCTION BOX		
JUNC.	JUNCTION		
LAT.	LATERAL		
LF	LINEAR FEET		

REF:NNNNN REFERENCE MADE TO AN APPLICABLE SECTION(S) OF THE TECHNICAL SPECIFICATIONS FOR THIS PROJECT.

EMERGENCY NUMBERS

FIBER OPTIC	COMMCAST COMMUNICATIONS	407-312-5944
FIBER OPTIC	LEVEL 3 COMMUNICATIONS	720-888-2081
PHONE	BRIGHT HOUSE NETWORKS	407-532-8509, 407-532-8520
PHONE	CENTURY LINK	407-815-5344, 407-557-6766
PHONE	MCI	972-729-6016
PHONE	SMART CITY TELECOM	407-828-6648
PHONE	TW TELECOM	407-215-6895
ELECTRIC	DUKE ENERGY	407-398-6670
GAS	TECO PEOPLES GAS	407-420-6609
LOCATES	SUNSHINE ONE CALL	800-432-4770
UTILITIES	ORANGE COUNTY DISPATCH	407-836-2777 (24-HR ASSISTANCE)
WASTEWATER	ORANGE COUNTY UTILITIES (O. C. U.)	407-254-9680
WATER	ORANGE COUNTY UTILITIES (O. C. U.)	407-254-9850
WATER/ELE.	ORLANDO UTILITIES COMMISSION (O. U. C.)	407-423-9100

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE
(IF NOT SCALE ACCORDINGLY)



ORANGE COUNTY UTILITIES DEPARTMENT ENGINEERING DIVISION
9150 CURRY FORD ROAD ORLANDO, FL. 32825



ORANGE COUNTY UTILITIES
GENERAL NOTES

OCU FILE NO.: X	SCALE: X
DESIGNED BY: X	DRAWING NO.:
DRAWN BY: X	G3
CHECKED BY: X	SHEET: X OF X
CADD FILE: X	

OUW WATER ENGINEERING NOTES (REV. 05/12/09):

THE DEVELOPER/CUSTOMER SHALL ACCOMPLISH ALL WATER MAIN AND SERVICE WORK THROUGH THE POINT OF SERVICE/CONTROL VALVE AND WATER METERS AND DEED TO OUC. OUC WILL OWN AND OPERATE UP TO AND INCLUDING THE OUC POINT OF SERVICE/CONTROL VALVE AND METERS ONLY. THE REQUIRED WORK SHALL BE PERFORMED PER CURRENT OUC GUIDELINES, OUC WATER DISTRIBUTION STANDARD SPECIFICATIONS AND OUC WATER DISTRIBUTION MATERIAL SPECIFICATIONS AND WATER DETAIL SHEET UNDER OUC INSPECTION. THE DEVELOPER/CUSTOMER MUST CONTACT OUC INSPECTION AT 407-649-4436 TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO ANY WATER CONSTRUCTION.

A MINIMUM 4' CLEARANCE (INCLUDING LANDSCAPING) MUST BE MAINTAINED AROUND METER ASSEMBLY.

THE DEVELOPER/CUSTOMER SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING OUC WATER FACILITIES BEFORE COMMENCEMENT OF CONSTRUCTION.

FOR WATER WET TAPS, USE ONLY OUC APPROVED TAPPING CONTRACTORS:

ACTION INDUSTRIES, INC. 352-732-6941 OR 800-216-4464
 CENTRAL FLORIDA TAPPING AND CONSTRUCTION SERVICES, INC. 407-834-8271
 MAC TAPPING, INC. 407-468-0557
 RANGLINE TAPPING SERVICES, INC. 800-346-5971
 TDW SERVICES, INC. 407-843-2800
 T & R TAPPING SERVICE, INC. 407-339-3685

EASEMENTS:

ALL ON-SITE OUC WATER FACILITIES (MAINS, SERVICES, METERS, AND FIRE HYDRANTS) SHALL BE LOCATED WITHIN A UTILITY EASEMENT IN ACCORDANCE WITH CURRENT OUC PRIVATE PROPERTY GUIDELINES. THE DEVELOPER IS TO FURNISH ALL NECESSARY INFORMATION, INCLUDING LEGAL DESCRIPTION(S) TO PREPARE AND DOCUMENT THIS EASEMENT. ANY QUESTIONS OR COMMENTS PLEASE CONTACT OUC PROPERTY AND RIGHT OF WAY DEPARTMENT AT 407-423-9190.

CONNECTION TO EXISTING VALVE

CONTRACTOR TO VERIFY CONDITION AND PRESSURE TEST EXISTING VALVE PRIOR TO CONNECTION. IF VALVE DOES NOT HOLD REQUIRED PRESSURE TEST ADDITIONAL VALVE WILL BE REQUIRED AT DEVELOPERS/CONTRACTOR'S EXPENSE.

OUW BACKFLOW PREVENTION REQUIREMENTS:

BACKFLOW DEVICES WILL BE OWNED AND MAINTAINED BY CUSTOMER UNLESS OTHERWISE NOTED. ANY QUESTIONS CONTACT OUC BACKFLOW PREVENTION DEPARTMENT AT 407-649-4436.

DOMESTIC AND IRRIGATION

THE DEVELOPER/CUSTOMER IS RESPONSIBLE FOR THE REQUIRED REDUCED PRESSURE BACKFLOW PREVENTER. RESIDENTIAL DOMESTIC BACKFLOW PREVENTERS ARE REQUIRED IN AREAS WHERE RECLAIMED OR OTHER WATER SUPPLY, I.E. WELL, IS PROVIDED TO THE SITE.

AS - BUILT DRAWINGS

THE CUSTOMER/DEVELOPER SHALL PROVIDE VERTICAL AND HORIZONTAL AS-BUILT INFORMATION RELATIVE TO ALL CONSTRUCTED UTILITIES AND STRUCTURES. THE SUBMITTAL WILL INCLUDE A SIGNED AND SEALED DRAWING AND A CD WITH THE AS BUILT INFORMATION IN AUTOCAD 2004 FORMAT.

STATE PLANES COORDINATES, EAST FLORIDA, NAD 1983-90 IS THE PREFERRED COORDINATE SYSTEM. IF A PROJECT COORDINATE SYSTEM IS USED, ALL DRAWINGS WILL BE BASED ON THIS SYSTEM AND EXISTING FEATURES I.E. EDGE OF PAVEMENT, ROAD INTERSECTIONS, BUILDINGS MUST BE REFERENCED TO AID IN THE LOCATING OF PROJECT INFRASTRUCTURE IN OUC'S GEOGRAPHIC INFORMATION SYSTEM. IF NO EXISTING FEATURES ARE SHOWN AT LEAST 2 STATE PLANE COORDINATE POINTS MUST BE SURVEYED AND BENCH MARKED.

AS-BUILT INFORMATION FOR THE WATER SYSTEM SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

1. LOCATION OF ALL VALVES, FITTINGS, HYDRANTS, AND SERVICES.
2. LOCATION OF THE WATER MAIN TIED HORIZONTALLY TO THE BACK OF CURB OR EDGE OF PAVEMENT.
3. CERTIFICATION AS TO THE SYSTEM MEETING THE MINIMUM COVER REQUIREMENTS.
4. HORIZONTAL AND VERTICAL DATA FOR ANY CONSTRUCTION WHICH DEVIATES FROM THE APPROVED ENGINEERING PLANS.

THE CONTRACTOR SHALL CUT "W" IN THE TOP CURB OF EACH WATER SERVICE AND A "V" AT ALL VALVE LOCATIONS. CUT WS AND VS SHALL BE HIGHLIGHTED WITH BLUE PAINT.

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
 AT FULL SIZE
 (IF NOT SCALE ACCORDINGLY)



ORANGE COUNTY UTILITIES DEPARTMENT ENGINEERING DIVISION
 9150 CURRY FORD ROAD ORLANDO, FL. 32825



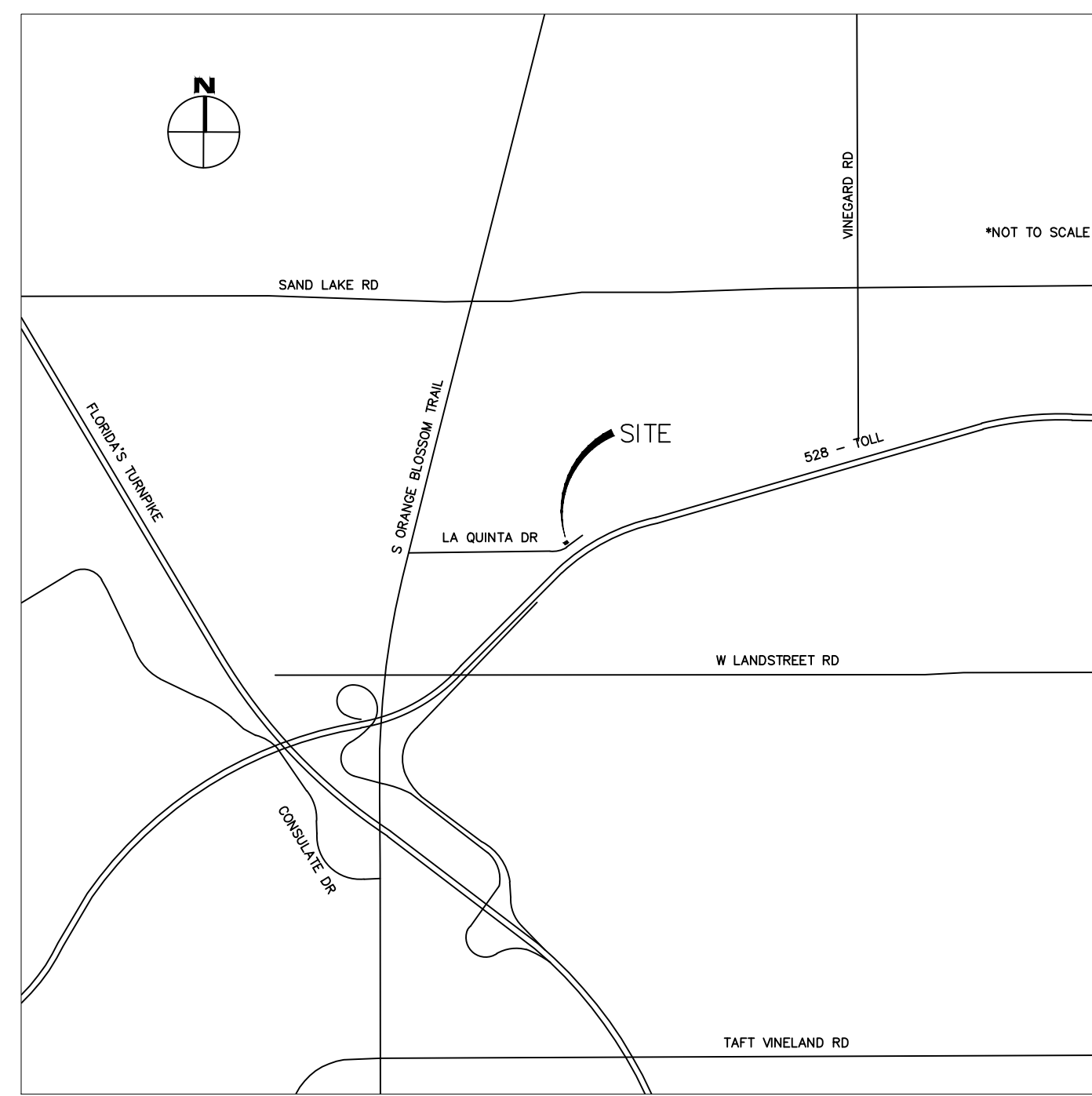
ORLANDO UTILITIES COMMISSION
 GENERAL NOTES

X
 PROFESSIONAL ENGINEER
 FLORIDA LICENSE #X

OCU FILE NO.: X
DESIGNED BY: X
DRAWN BY: X
CHECKED BY: X
CADD FILE: X

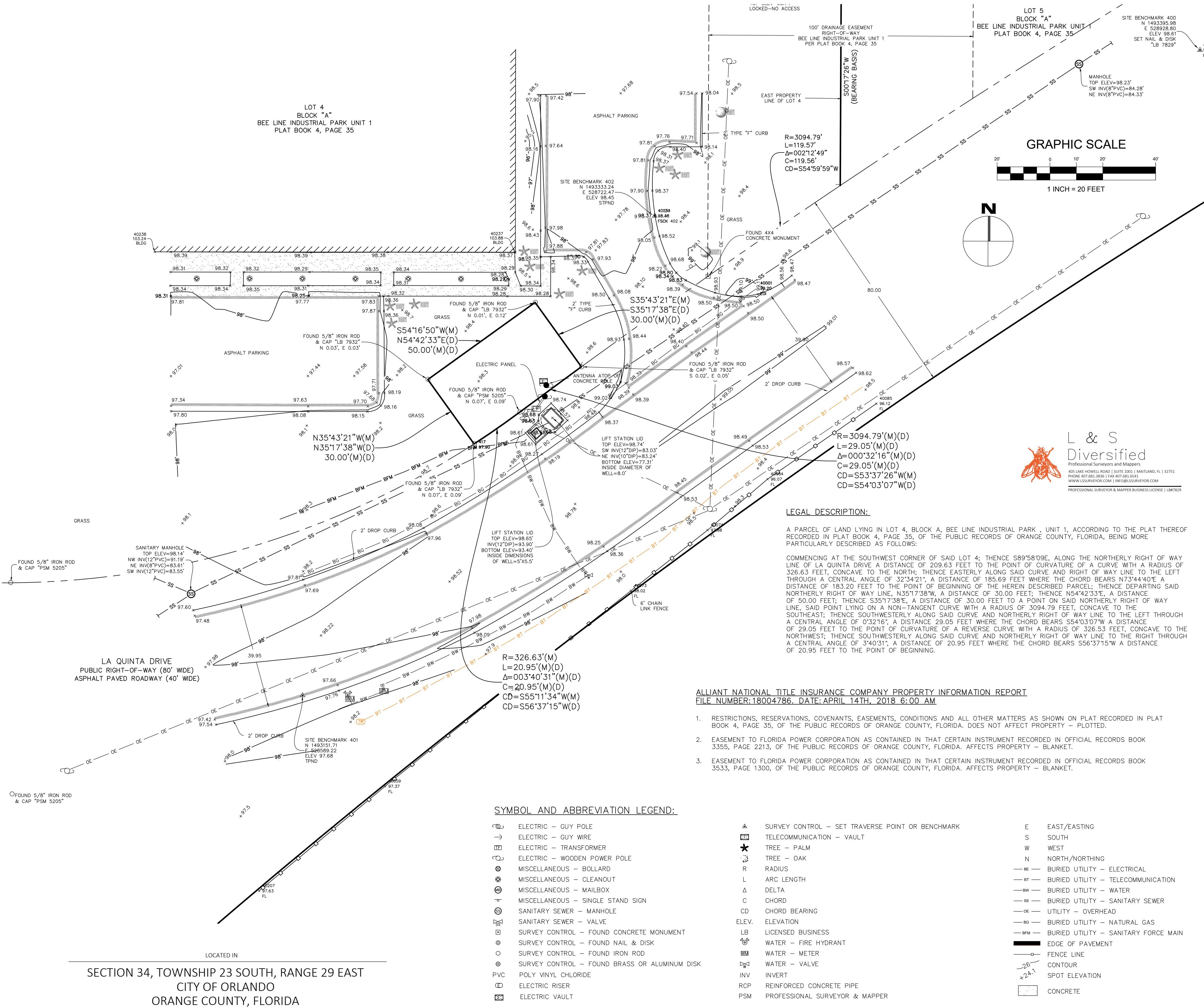
SCALE: X
 DRAWING NO. :
G4
 SHEET: X OF X

VICINITY MAP:



SURVEY NOTES:

- THIS SURVEY REPRESENTS A TOPOGRAPHIC SURVEY AS DESCRIBED BY STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THIS SURVEY IS LIMITED TO: (1) THE LOCATION OF SURFACE IMPROVEMENTS. (2) SPOT ELEVATIONS AND CONTOURS. (3) STORM DRAINAGE AND SANITARY SEWER AS-BUILT. (4) SUBSURFACE UTILITIES ARE DESIGNATED BY L & S DIVERSIFIED.
- BEARINGS SHOWN HEREON ARE BASED ON THE EAST PROPERTY LINE OF LOT 4 AS BEING S00°17'26"W, AS CALCULATED BY STATE PLANE COORDINATES.
- THE SURVEYED PROPERTY SHOWN HEREON CONTAINS A TOTAL AREA OF 0.034 ACRES (1,510 SQUARE FEET) MORE OR LESS.
- THE HORIZONTAL DATA SHOWN HEREON IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83), WITH A 1990 ADJUSTMENT, STATE PLANE COORDINATES, FLORIDA EAST ZONE, AND IS RELATIVE TO FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION HAVING LOCAL GROUND COORDINATE SYSTEM WITH CERTIFIED RECORD NUMBER 101704, BEING A NAIL & DISK STAMPED "LB 7038" AND HAVING THE COORDINATES OF N:1491459.79, E:532704.98.
- THE VERTICAL DATUM AND ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88), AND ARE RELATIVE TO THE NATIONAL GEODETIC SURVEY BENCHMARK R383002, HAVING AN ELEVATION OF 100.364 FEET.
- THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FLOOD ZONE X, PER MAP NUMBER 12095C0410F, WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.
- THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
- THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS.
- FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF WALLS AND FENCES.
- THIS FIRM IDENTIFIED VARIOUS TYPES OF TREES LOCATED ON THIS SITE BASED ON COMMON KNOWLEDGE OF TREE SPECIES. A QUALIFIED LANDSCAPE ARCHITECT SHOULD BE EMPLOYED FOR POSITIVE IDENTIFICATION OF TREE SPECIES. TREE DIAMETERS ARE APPROXIMATE AND WERE MEASURED AT BREAST HEIGHT. ONLY TREES 3 CALIPER INCHES OR LARGER WERE LOCATED AND SHOWN ON THE SURVEY. HEDGES AND GROUND COVER WERE NOT LOCATED AND ARE NOT SHOWN. EXOTIC TREES SUCH AS MELALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE WERE NOT LOCATED OR SHOWN HEREON.
- ORNAMENTAL PLANTS, HEDGES, SPRINKLER HEADS WERE NOT LOCATED.
- A SUNSHINE 811 "DESIGN" TICKET (086804349) WAS OBTAINED TO DETERMINE THE UTILITY PROVIDERS WITHIN THE PROJECT LIMITS. THE PROJECT WAS SCANNED FOR UNDERGROUND UTILITIES USING ELECTRONIC DETECTING DEVICES AND GROUND PENETRATING RADAR (GPR). ANY UTILITIES FOUND WITHIN THE PROJECT LIMITS WERE SURFACE PAINTED AND FLAGGED WITH THE APPROPRIATE COLOR AS RECOGNIZED BY THE NATIONAL UTILITY LOCATING CONTRACTORS ASSOCIATION (NULCA). ANY UTILITIES MARKED BY ANOTHER FIRM WILL BE VERIFIED BY AN L&S DIVERSIFIED UTILITY LOCATOR.
- L & S DIVERSIFIED, LLC DID NOT SEARCH THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY L & S DIVERSIFIED, LLC (L&S). L&S HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYOR'S CERTIFICATION SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. L&S MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT L&S DIRECTLY FOR VERIFICATION OF ACCURACY.
- THIS SURVEY MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1/20 OR SMALLER.
- THIS SURVEY CANNOT BE RELIED UPON BY PERSONS OR ENTITIES OTHER THAN THE PERSONS OR ENTITIES CERTIFIED TO HEREON.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE WITH NO GORES, GAPS, OVERLAYS OR HIATUS.



LOCATED IN
SECTION 34, TOWNSHIP 23 SOUTH, RANGE 29 EAST
CITY OF ORLANDO
ORANGE COUNTY, FLORIDA

LEGAL DESCRIPTION:

A PARCEL OF LAND LYING IN LOT 4, BLOCK A, BEE LINE INDUSTRIAL PARK, UNIT 1, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 35, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 4; THENCE S89°58'09E, ALONG THE NORTHERLY RIGHT OF WAY LINE OF LA QUINTA DRIVE A DISTANCE OF 209.63 FEET TO THE POINT OF CURVATURE OF A CURVE WITH A RADIUS OF 326.63 FEET, CONCAVE TO THE NORTH; THENCE EASTERLY ALONG SAID CURVE AND RIGHT OF WAY LINE TO THE LEFT THROUGH A CENTRAL ANGLE OF 32°34'21", A DISTANCE OF 185.69 FEET WHERE THE CHORD BEARS N73°44'40"E. A DISTANCE OF 153.20 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE, N35°17'38"W, A DISTANCE OF 30.00 FEET; THENCE N54°42'33"E, A DISTANCE OF 50.00 FEET; THENCE S35°17'38"E, A DISTANCE OF 30.00 FEET TO A POINT ON SAID NORTHERLY RIGHT OF WAY LINE, SAID POINT LYING ON A NON-TANGENT CURVE WITH A RADIUS OF 3094.79 FEET, CONCAVE TO THE SOUTHWEST; THENCE SOUTHWESTERLY ALONG SAID CURVE AND NORTHERLY RIGHT OF WAY LINE TO THE LEFT THROUGH A CENTRAL ANGLE OF 0°32'16", A DISTANCE OF 29.05 FEET WHERE THE CHORD BEARS S54°03'07"W A DISTANCE OF 29.05 FEET TO THE POINT OF CURVATURE OF A REVERSE CURVE WITH A RADIUS OF 326.53 FEET, CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY ALONG SAID CURVE AND NORTHERLY RIGHT OF WAY LINE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 3°40'31", A DISTANCE OF 20.95 FEET WHERE THE CHORD BEARS S56°37'15"W A DISTANCE OF 20.95 FEET TO THE POINT OF BEGINNING.

ALLIANT NATIONAL TITLE INSURANCE COMPANY PROPERTY INFORMATION REPORT
FILE NUMBER: 18004786, DATE: APRIL 14TH, 2018 6:00 AM

- RESTRICTIONS, RESERVATIONS, COVENANTS, EASEMENTS, CONDITIONS AND ALL OTHER MATTERS AS SHOWN ON PLAT RECORDED IN PLAT BOOK 4, PAGE 35, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, DOES NOT AFFECT PROPERTY - PLOTTED.
- EASEMENT TO FLORIDA POWER CORPORATION AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3355, PAGE 2213, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS PROPERTY - BLANKET.
- EASEMENT TO FLORIDA POWER CORPORATION AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3533, PAGE 1300, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS PROPERTY - BLANKET.

SYMBOL AND ABBREVIATION LEGEND:

⊕	ELECTRIC - GUY POLE	▲	SURVEY CONTROL - SET TRAVERSE POINT OR BENCHMARK	E	EAST/EASTING
→	ELECTRIC - GUY WIRE	⊞	TELECOMMUNICATION - VAULT	S	SOUTH
⊞	ELECTRIC - TRANSFORMER	★	TREE - PALM	W	WEST
⊞	ELECTRIC - WOODEN POWER POLE	○	TREE - OAK	N	NORTH/NORTHING
⊞	MISCELLANEOUS - BOLLARD	R	RADIUS	—BT—	BURIED UTILITY - ELECTRICAL
⊞	MISCELLANEOUS - CLEANOUT	L	ARC LENGTH	—BW—	BURIED UTILITY - WATER
⊞	MISCELLANEOUS - MAILBOX	Δ	DELTA	—SS—	BURIED UTILITY - SANITARY SEWER
⊞	MISCELLANEOUS - SINGLE STAND SIGN	C	CHORD	—OE—	UTILITY - OVERHEAD
⊞	SANITARY SEWER - MANHOLE	CD	CHORD BEARING	—BG—	BURIED UTILITY - NATURAL GAS
⊞	SANITARY SEWER - VALVE	ELEV.	ELEVATION	—BFM—	BURIED UTILITY - SANITARY FORCE MAIN
⊞	SURVEY CONTROL - FOUND CONCRETE MONUMENT	LB	LICENSED BUSINESS	—	EDGE OF PAVEMENT
⊞	SURVEY CONTROL - FOUND NAIL & DISK	W	WATER - FIRE HYDRANT	—	FENCE LINE
⊞	SURVEY CONTROL - FOUND IRON ROD	⊞	WATER - METER	○	CONTOUR
⊞	SURVEY CONTROL - FOUND BRASS OR ALUMINUM DISK	INV	WATER - VALVE	⊞	SPOT ELEVATION
PVC	POLY VINYL CHLORIDE	RCP	REINFORCED CONCRETE PIPE	⊞	CONCRETE
⊞	ELECTRIC RISER	PSM	PROFESSIONAL SURVEYOR & MAPPER		
⊞	ELECTRIC VAULT				

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE
(IF NOT SCALE ACCORDINGLY)



ORANGE COUNTY
UTILITIES DEPARTMENT
ENGINEERING DIVISION
9150 CURRY FORD ROAD ORLANDO, FL. 32825



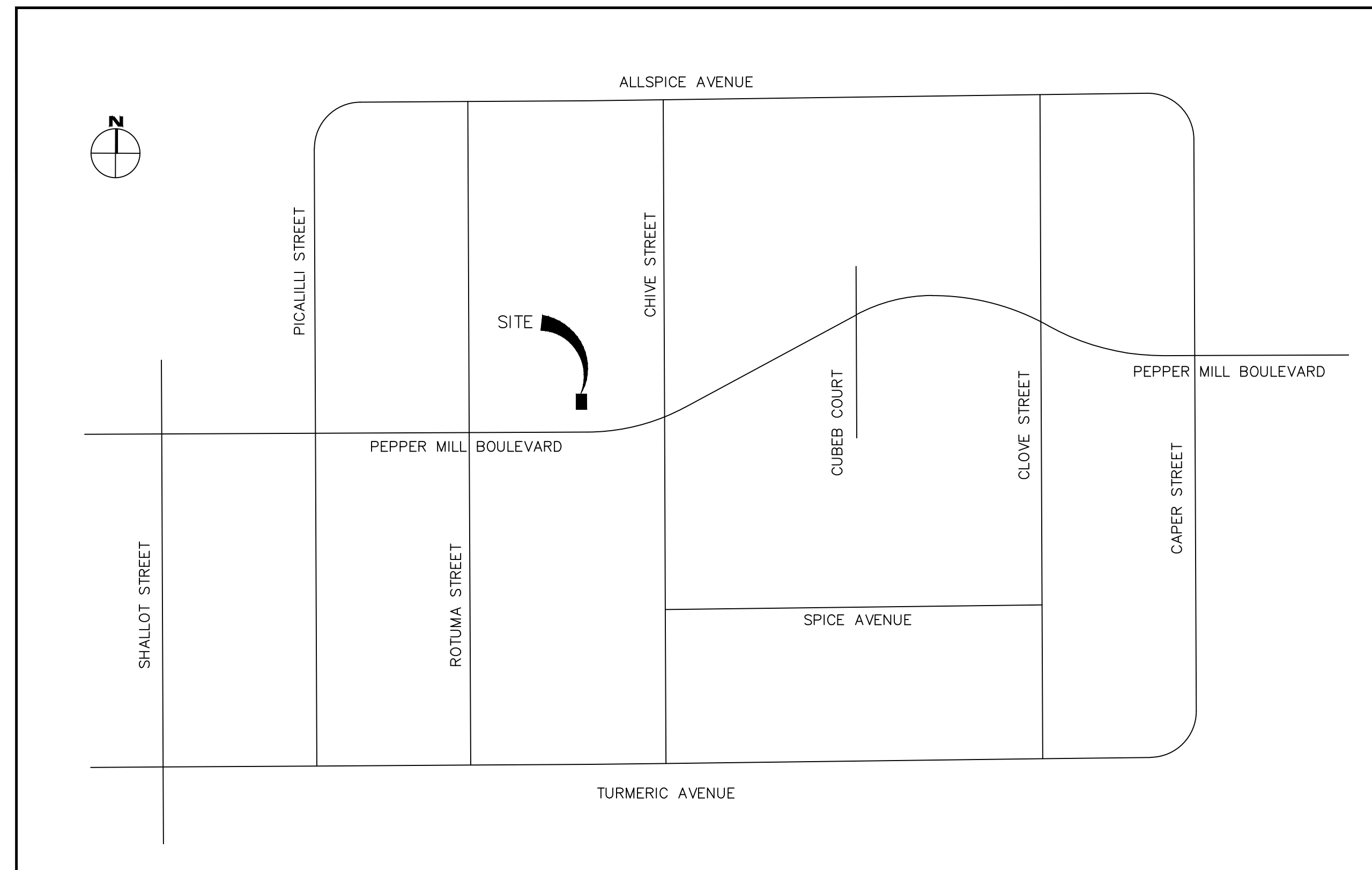
ATKINS
Member of the SNC-Lavalin Group

PUMP STATION 3138 (MAJOR REALTY)
BOUNDARY AND TOPOGRAPHIC SURVEY

OCU FILE NO.: X
DESIGNED BY: X
DRAWN BY: X
CHECKED BY: X
CADD FILE: X

SCALE: X
DRAWING NO.:
V-100
SHEET: X OF X

VICINITY MAP: NOT TO SCALE



LEGAL DESCRIPTION:

TRACT A, PEPPER MILL SECTION TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 82, IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

ADDRESS:

2201 PEPPER MILL BOULEVARD,
ORLANDO, FL 32837

SHEET INDEX:

V-100 COVER SHEET
V-200 BOUNDARY AND TOPOGRAPHIC SURVEY

SYMBOL AND ABBREVIATION LEGEND:

⊙ UNKNOWN VENT	LB LICENSED BUSINESS
△ NATURAL GAS MARKER	LS LICENSED SURVEYOR
⊕ NATURAL GAS VALVE	RCP REINFORCED CONCRETE PIPE
⊙ SANITARY SEWER MANHOLE	CONTOUR
⊙ STORM DRAINAGE MANHOLE	SPOT ELEVATION
⊙ FOUND BRASS OR ALUMINUM DISK	— FPO — BURIED FIBER OPTIC
⊙ FOUND IRON PIPE	— BF M — BURIED FORCE MAIN
⊙ FOUND IRON ROD	— BG — BURIED GAS
● SET IRON ROD	— SS — BURIED SANITARY SEWER
● SET NAIL & DISK	— BT — BURIED TELECOMMUNICATION
▲ SET TRAVERSE POINT OR BENCHMARK	— BW — BURIED WATER
⊠ TELECOMMUNICATION CABINET	— — — CENTERLINE
⊠ TELECOMMUNICATION VAULT	— - - - DASHED LINE
↵ BACKFLOW PREVENTER	— — — FENCE LINE
⊠ WATER METER	— - - - EASEMENT
⊠ WATER VALVE	▬ DRAINAGE PIPE
HDPE HIGH DENSITY POLYETHYLENE	▬ EDGE OF PAVEMENT
CPP CORRUGATED PLASTIC PIPE	▬ CONCRETE
(P) PLAT CALCULATED	
(M) MEASURED	

ALLIANT NATIONAL TITLE INSURANCE COMPANY PROPERTY INFORMATION REPORT
FILE NUMBER:18004788, DATE:APRIL 14TH, 2018 6:00 AM:

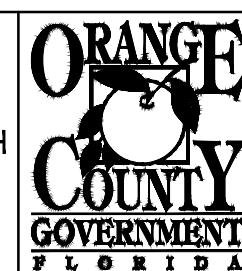
1. RESTRICTIONS, RESERVATIONS, COVENANTS, EASEMENTS, CONDITIONS AND ALL OTHER MATTERS AS SHOWN ON PLAT RECORDED IN PLAT BOOK 11, PAGE 82, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. BLANKET – AFFECTS PROPERTY.
2. RESTRICTIVE COVENANTS, CONDITIONS, EASEMENTS, STIPULATIONS, RESERVATIONS, ASSOCIATIONS AND OTHER PROVISIONS, AS CONTAINED IN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3307, PAGE 909 AND RE-RECORDED IN OFFICIAL RECORDS BOOK 3346, PAGE 235, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). BLANKET – NOT PLOTTABLE – AFFECTS PROPERTY.
3. RESOLUTION AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3323, PAGE 1919, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. BLANKET – NOT PLOTTABLE – AFFECTS PROPERTY.
4. RESOLUTION AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3323, PAGE 1924, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. BLANKET – NOT PLOTTABLE – AFFECTS PROPERTY.
5. OVERHEAD AND UNDERGROUND EASEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3391, PAGE 829, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. NOT PLOTTABLE – DOES NOT AFFECT PROPERTY.
6. DISTRIBUTION EASEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3237, PAGE 1502, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. NOT PLOTTABLE – DOES NOT AFFECT PROPERTY.
7. RESOLUTIONS AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 4463, PAGE 698 AND OFFICIAL RECORDS BOOK 8601, PAGE 4268, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. BLANKET – AFFECTS PROPERTY.

SURVEY NOTES:

1. THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DESCRIBED BY STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THIS SURVEY IS LIMITED TO: (1) THE DOCUMENTATION OF THE PERIMETER OF THE PARCELS OF LAND SHOWN HEREON BY MONUMENTING THE BOUNDARY LINES FOR THE PURPOSE OF DESCRIBING SAID PARCELS. (2) THE LOCATION OF SURFACE IMPROVEMENTS. (3) SPOT ELEVATIONS AND CONTOURS. (4) STORM DRAINAGE AND SANITARY SEWER AS-BUILT. (5) SUBSURFACE UTILITIES ARE DESIGNATED BY L & S DIVERSIFIED.
3. THE SURVEYED PROPERTY SHOWN HEREON CONTAINS A TOTAL AREA OF 0.01 ACRES (437 SQUARE FEET) MORE OR LESS.
4. BEARINGS SHOWN HEREON ARE BASED ON THE NORTH RIGHT OF WAY LINE OF PEPPER MILL BOULEVARD AS BEING NORTH 89°57'50" WEST, AS CALCULATED BY STATE PLANE COORDINATES.
5. THE HORIZONTAL DATA SHOWN HEREON IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83), WITH A 1990 ADJUSTMENT, STATE PLANE COORDINATES, FLORIDA EAST ZONE, AND IS RELATIVE TO FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION HAVING LOCAL GROUND COORDINATE SYSTEM WITH CERTIFIED RECORD NUMBER 074163, BEING A 1" IRON ROD & CAP STAMPED "ORANGE COUNTY" AND HAVING THE COORDINATES OF N:28°23'31.335006", W:81°25'30.227426" AND CERTIFIED RECORD NUMBER 074164, BEING A 4"x4" CONCRETE MONUMENT AND HAVING THE COORDINATES OF N:1472820.7792, E:519505.4554.
6. THE VERTICAL DATUM AND ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88), AS PROVIDED BY ORANGE COUNTY ON BENCHMARK L9 17-004 BEING A 2" BRASS DISC STAMPED "ORANGE COUNTY ENGINEERING DEPARTMENT" AND HAVING AN ELEVATION OF 90.08 FEET.
7. THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD PER PANEL NUMBER 420 OF 750, MAP NUMBER X WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.
8. THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
9. THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
10. THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS.
11. FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF WALLS AND FENCES.
12. THERE ARE NO TREES LOCATED WITHIN THE REQUIRED SURVEY LIMITS.
13. ORNAMENTAL PLANTS, HEDGES AND SPRINKLER HEADS WERE NOT LOCATED.
14. THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS AND SUBSURFACE UTILITIES, ONLY. FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION EXCAVATIONS, CONTACT 811.COM (811) AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.
15. A SUNSHINE 811 "DESIGN" TICKET 043810489 WAS OBTAINED TO DETERMINE THE UTILITY PROVIDERS WITHIN THE PROJECT LIMITS. THE PROJECT WAS SCANNED FOR UNDERGROUND UTILITIES USING ELECTRONIC DETECTION DEVICES AND GROUND PENETRATING RADAR (GPR). ANY UTILITIES FOUND WITHIN THE PROJECT LIMITS WERE SURFACE PAINTED AND FLAGGED WITH THE APPROPRIATE COLOR AS RECOGNIZED BY THE NATIONAL UTILITY LOCATING CONTRACTORS ASSOCIATION (NULCA). ANY UTILITIES MARKED BY ANOTHER FIRM WILL BE VERIFIED BY AN L&S DIVERSIFIED UTILITY LOCATOR.
16. IT SHOULD BE UNDERSTOOD BY THE CLIENT THAT SOME UNDERGROUND UTILITIES MAY NOT BE MADE OF A CONDUCTIVE MATERIAL OR MAY NOT RETURN A GPR ECHO AND THEREFORE CANNOT BE DESIGNATED WITH ELECTRONIC PROSPECTING EQUIPMENT OR GPR.
17. L & S DIVERSIFIED, LLC DID NOT SEARCH THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
18. THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY L & S DIVERSIFIED, LLC (L&S). L&S HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYORS CERTIFICATION SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. L&S MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT L&S DIRECTLY FOR VERIFICATION OF ACCURACY.
19. THIS SURVEY MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=10' OR SMALLER.
20. THIS SURVEY CANNOT BE RELIED UPON BY PERSONS OR ENTITIES OTHER THAN THE PERSONS OR ENTITIES CERTIFIED TO HEREON.
21. ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
22. THE DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE WITH NO GORES, GAPS, OVERLAPS OR HIATUS.

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE
(IF NOT SCALE ACCORDINGLY)



ORANGE COUNTY UTILITIES DEPARTMENT ENGINEERING DIVISION
9150 CURRY FORD ROAD ORLANDO, FL. 32825

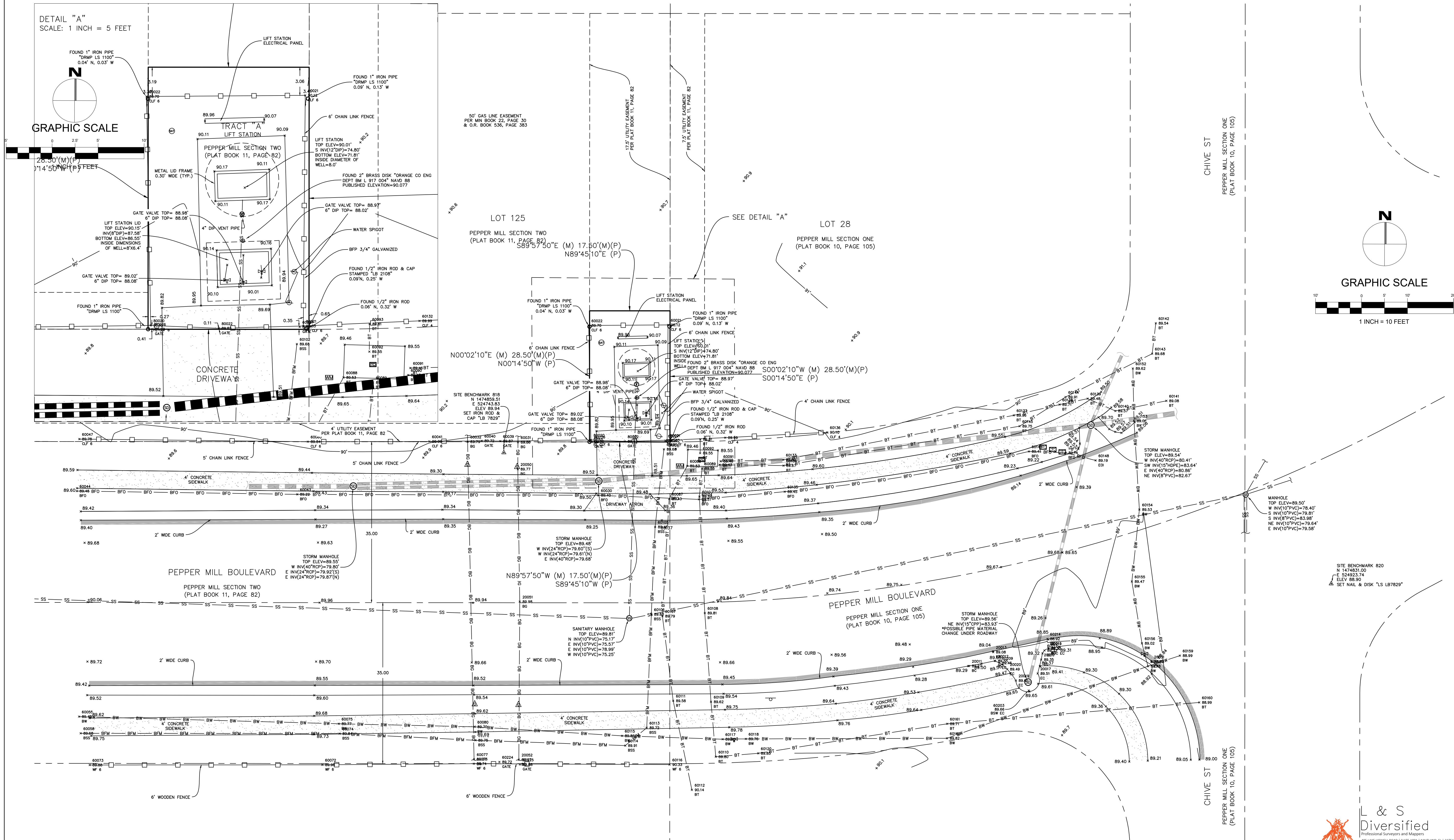


**PUMP STATION 3283 (PEPPERMILL)
BOUNDARY AND TOPOGRAPHIC SURVEY**

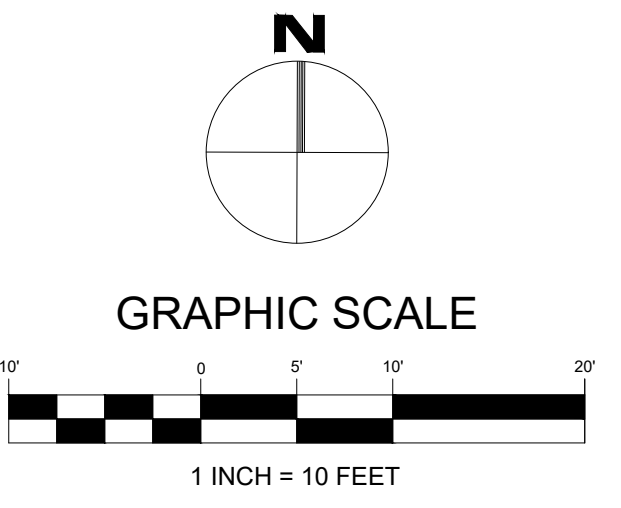
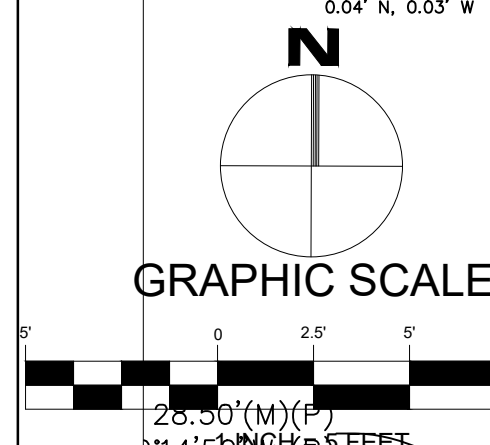
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DESIGNED BY: X
DRAWN BY: X
CHECKED BY: X
CADD FILE: X

SCALE: X
DRAWING NO. : V-200
SHEET: X OF X





DETAIL "A"
SCALE: 1 INCH = 5 FEET



REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE
(IF NOT SCALE ACCORDINGLY)

ORANGE COUNTY GOVERNMENT
ORANGE COUNTY UTILITIES DEPARTMENT ENGINEERING DIVISION
 9150 CURRY FORD ROAD ORLANDO, FL. 32825

SNC-LAVALIN
ATKINS
 Member of the SNC-Lavalin Group

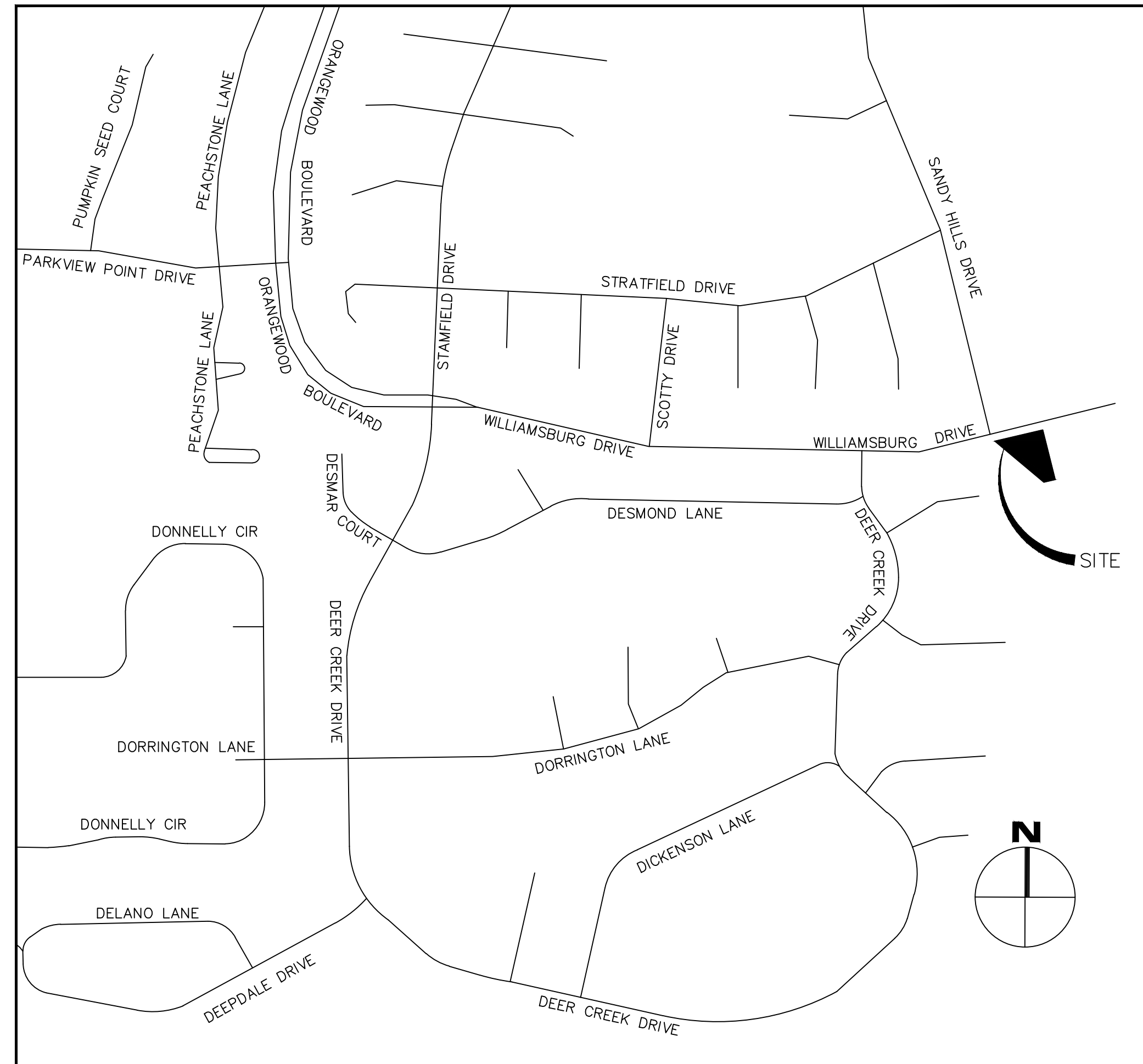
**PUMP STATION 3283 (PEPPERMILL)
 BOUNDARY AND TOPOGRAPHIC SURVEY**

OCU FILE NO.: X
 DESIGNED BY: X
 DRAWN BY: X
 CHECKED BY: X
 CADD FILE: X

SCALE: X
 DRAWING NO.: **V-201**
 SHEET: X OF X

L & S Diversified
 Professional Surveyors and Mappers
 405 LAKE HURON ROAD SUITE 3001 MAITLAND, FL 32751
 PHONE 407.681.3838 | FAX 407.681.0542
 WWW.LANDSURVEYING.COM | INFO@LSURVEYING.COM
 PROFESSIONAL SURVEYOR & MAPPER BUSINESS LICENSE | 18978

VICINITY MAP: NOT TO SCALE



LEGAL DESCRIPTION:

TRACT F, SOMERSET VILLAGE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 13, PAGE 30, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

SYMBOL AND ABBREVIATION LEGEND:

<ul style="list-style-type: none"> ☐ CONCRETE POWER POLE ☐ ELECTRICAL - CABINET ☐ ELECTRICAL - MANHOLE ☐ ELECTRICAL - METAL LIGHT POLE ☐ ELECTRICAL - VAULT ☐ MISCELLANEOUS - BOLLARD CASING ☐ MISCELLANEOUS - MULTI STAND SIGN ☐ MISCELLANEOUS - SINGLE STAND SIGN ☐ MISCELLANEOUS - UNKNOWN UTILITY RISER ☐ MISCELLANEOUS - UNKNOWN VAULT ☐ STORM DRAINAGE - CATCH BASIN ☐ STORM DRAINAGE - MANHOLE ☐ SURVEY CONTROL - BENCH MARK ☐ SURVEY CONTROL - FOUND CONCRETE MONUMENT ☐ SURVEY CONTROL - FOUND IRON ROD ☐ SURVEY CONTROL - FOUND NAIL & DISK ☐ SURVEY CONTROL - SET TRAVERSE POINT ☐ TRAFFIC ELECTRIC - VAULT ☐ TRAFFIC ELECTRIC - PEDESTRIAN CROSS WALK ☐ TREE - HICKORY ☐ TREE - LAUREL OAK ☐ HOSE BIBB 	<ul style="list-style-type: none"> ☐ TREE - LIVE OAK ☐ TREE - PALM ☐ TREE - PINE ☐ TREE - OAK ☐ WATER - BACKFLOW PREVENTER ☐ WATER - FIRE DEPARTMENT CONNECTION ☐ WATER - FIRE HYDRANT ☐ WATER - METER ☐ WATER - VALVE ☐ CENTER LINE ☐ CHORD DISTANCE ☐ CHORD BEARING ☐ CPP CORRUGATED PLASTIC PIPE ☐ DIP DUCTILE IRON PIPE ☐ INV INVERT ☐ LB LICENSED BUSINESS ☐ LS LICENSED SURVEYOR ☐ E EAST/EASTING ☐ S SOUTH ☐ W WEST ☐ N NORTH/NORTHING 	<ul style="list-style-type: none"> ☐ PRM PERMANENT REFERENCE MONUMENT ☐ R RADIUS ☐ RCP REINFORCED CONCRETE PIPE ☐ L ARC LENGTH ☐ Δ DELTA ☐ CONTOUR ☐ SPOT ELEVATION ☐ FENCE LINE ☐ EASEMENT ☐ STORM DRAINAGE - PIPE ☐ RIGHT OF WAY LINE ☐ BUILDING LINE ☐ CORRUGATED PLASTIC PIPE ☐ CENTERLINE ☐ BURIED ELECTRIC LINE ☐ BURIED FIBER OPTIC LINE ☐ BURIED GAS LINE ☐ BURIED UNKNOWN LINE ☐ BURIED WATER LINE ☐ CONCRETE
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SURVEY NOTES:

- THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DESCRIBED BY STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THIS SURVEY IS LIMITED TO: (1) THE DOCUMENTATION OF THE PERIMETER OF THE PARCELS OF LAND SHOWN HEREON BY MONUMENTING THE BOUNDARY LINES FOR THE PURPOSE OF DESCRIBING SAID PARCELS; (2) THE LOCATION OF SURFACE IMPROVEMENTS; (3) SPOT ELEVATIONS AND CONTOURS; (4) STORM DRAINAGE AND SANITARY SEWER AS-BUILT; (5) SUBSURFACE UTILITIES ARE DESIGNATED BY L & S DIVERSIFIED.
- THE SURVEYED PROPERTY SHOWN HEREON CONTAINS A TOTAL AREA OF 0.21 ACRES (9,062 SQUARE FEET) MORE OR LESS.
- BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH RIGHT OF WAY LINE OF WILLIAMSBURG DRIVE AS BEING SOUTH 88° 29' 07" EAST, AS RECORDED IN PLAT BOOK 13, PAGES 30-33.
- THE HORIZONTAL SURVEY DATA SHOWN IS BASED ON NORTH AMERICAN DATUM OF 1983 (NAD83), WITH A 1990 ADJUSTMENT, STATE PLANE COORDINATES, FLORIDA EAST ZONE, AND IS RELATIVE TO FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION HAVING LOCAL GROUND COORDINATE SYSTEM WITH CERTIFIED RECORD NUMBER 101716, BEING A 6"x6" CONCRETE MONUMENT WITH 1" IRON PIPE, NO IDENTIFICATION AND HAVING THE COORDINATES OF N1480754.76, E511427.73 AND CERTIFIED RECORD NUMBER 074161, BEING A 6"x6" CONCRETE MONUMENT, NO IDENTIFICATION AND HAVING THE COORDINATES OF N1475438.2141, E511464.5437
- THE VERTICAL DATUM AND ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88), AS PROVIDED BY ORANGE COUNTY ON BENCHMARK S1327022 BEING A 3 1/2" ALUMINUM DISC STAMPED "ORANGE COUNTY CONTROL DISK" AND HAVING AN ELEVATION OF 86.60 FEET.
- THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD PER PANEL NUMBER 415 OF 750, MAP NUMBER 12095C0415F WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.
- THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
- THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS.
- FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF WALLS AND FENCES.
- THIS FIRM IDENTIFIED VARIOUS TYPES OF TREES LOCATED ON THIS SITE BASED ON COMMON KNOWLEDGE OF TREE SPECIES. A QUALIFIED LANDSCAPE ARCHITECT SHOULD BE EMPLOYED FOR POSITIVE IDENTIFICATION OF TREE SPECIES. TREE DIAMETERS ARE APPROXIMATE AND WERE MEASURED AT BREAST HEIGHT. ONLY TREES 4 CALIPER INCHES OR LARGER WERE LOCATED AND SHOWN ON THE SURVEY. HEDGES AND GROUND COVER WERE NOT LOCATED AND ARE NOT SHOWN. EXOTIC TREES SUCH AS MELALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE WERE NOT LOCATED OR SHOWN HEREON.
- ORNAMENTAL PLANTS, HEDGES AND SPRINKLER HEADS WERE NOT LOCATED.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION EXCAVATIONS, CONTACT 811.COM (811) AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.
- A SUNSHINE 811 "DESIGN" TICKET 086804311 WAS OBTAINED TO DETERMINE THE UTILITY PROVIDERS WITHIN THE PROJECT LIMITS. THE PROJECT WAS SCANNED FOR UNDERGROUND UTILITIES USING ELECTRONIC DETECTION DEVICES AND GROUND PENETRATING RADAR (GPR). ANY UTILITIES FOUND WITHIN THE PROJECT LIMITS WERE SURFACE PAINTED AND FLAGGED WITH THE APPROPRIATE COLOR AS RECOGNIZED BY THE NATIONAL UTILITY LOCATING CONTRACTORS ASSOCIATION (NULCA). ANY UTILITIES MARKED BY ANOTHER FIRM WILL BE VERIFIED BY AN L&S DIVERSIFIED UTILITY LOCATOR.
- IT SHOULD BE UNDERSTOOD BY THE CLIENT THAT SOME UNDERGROUND UTILITIES MAY NOT BE MADE OF A CONDUCTIVE MATERIAL OR MAY NOT RETURN A GPR ECHO AND THEREFORE CANNOT BE DESIGNATED WITH ELECTRONIC PROSPECTING EQUIPMENT OR GPR.
- L & S DIVERSIFIED, LLC DID NOT SEARCH THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY L & S DIVERSIFIED, LLC (L&S). L&S HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYORS CERTIFICATION SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. L&S MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT L&S DIRECTLY FOR VERIFICATION OF ACCURACY.
- THIS SURVEY MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1/20 OR SMALLER.
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- ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE WITH NO GORES, GAPS, OVERLAPS OR HIATUS.

ALLIANT NATIONAL TITLE INSURANCE COMPANY PROPERTY INFORMATION REPORT
FILE NUMBER: 18004785. DATE: APRIL 4TH, 2018 AT 6:00 AM

- RESTRICTIONS, RESERVATIONS, COVENANTS, EASEMENTS, CONDITIONS AND ALL OTHER MATTERS AS SHOWN ON PLAT RECORDED IN PLAT BOOK 13, PAGE 30, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS PROPERTY - PLOTTED.
- RESTRICTIVE COVENANTS, CONDITIONS, EASEMENTS, STIPULATIONS, RESERVATIONS, ASSOCIATIONS AND OTHER PROVISIONS, AS CONTAINED IN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3225, PAGE 483, AMENDED IN OFFICIAL RECORDS BOOK 3241, PAGE 1114, OFFICIAL RECORDS BOOK 3368, PAGE 2072, OFFICIAL RECORDS BOOK 3480, PAGE 562, OFFICIAL RECORDS BOOK 3877, PAGE 1088, OFFICIAL RECORDS BOOK 3930, PAGE 4314, OFFICIAL RECORDS BOOK 4034, PAGE 4436, OFFICIAL RECORDS BOOK 4061, PAGE 3076, OFFICIAL RECORDS BOOK 4087, PAGE 3978, OFFICIAL RECORDS BOOK 4198, PAGE 1740, OFFICIAL RECORDS BOOK 4353, PAGE 1431, OFFICIAL RECORDS BOOK 6195, PAGE 4767, OFFICIAL RECORDS BOOK 6195, PAGE 4774, OFFICIAL RECORDS BOOK 7645, PAGE 2682, OFFICIAL RECORDS BOOK 9192, PAGE 4259, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). AFFECTS PROPERTY - BLANKET.
- USE AGREEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3896, PAGE 2516, OFFICIAL RECORDS BOOK 3896, PAGE 2510, OFFICIAL RECORDS BOOK 3956, PAGE 4139, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS PROPERTY - BLANKET.
- DRAINAGE EASEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3481, PAGE 1665, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. DOES NOT AFFECT PROPERTY - NOT PLOTTED.
- NOTICE AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 7245, PAGE 190, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. NOT A SURVEY MATTER.
- AGREEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3838, PAGE 2041, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS PROPERTY - BLANKET.

ADDRESS:

4996 WILLIAMSBURG DRIVE,
ORLANDO, FL 32821

SHEET INDEX:

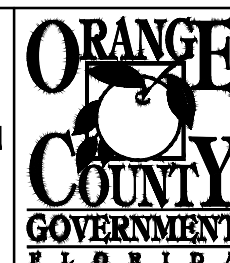
V-100 COVER SHEET
V-200 BOUNDARY AND TOPOGRAPHIC SURVEY

LOCATED IN

SECTION 17, TOWNSHIP 24 SOUTH, RANGE 29 EAST
CITY OF ORLANDO, ORANGE COUNTY, FLORIDA

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE
(IF NOT SCALE ACCORDINGLY)



ORANGE COUNTY UTILITIES DEPARTMENT ENGINEERING DIVISION
9150 CURRY FORD ROAD ORLANDO, FL. 32825



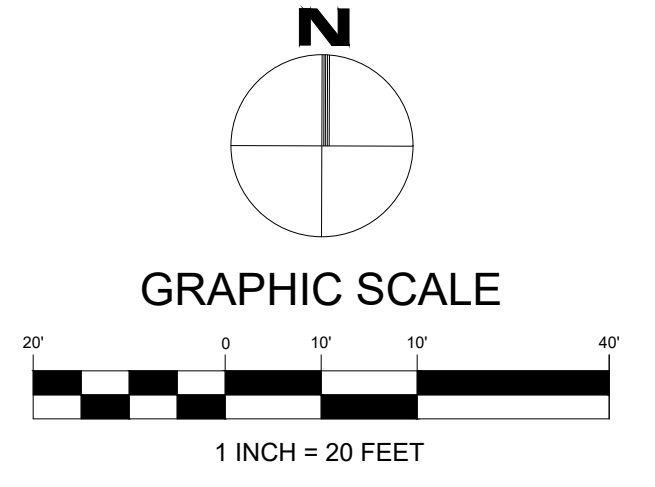
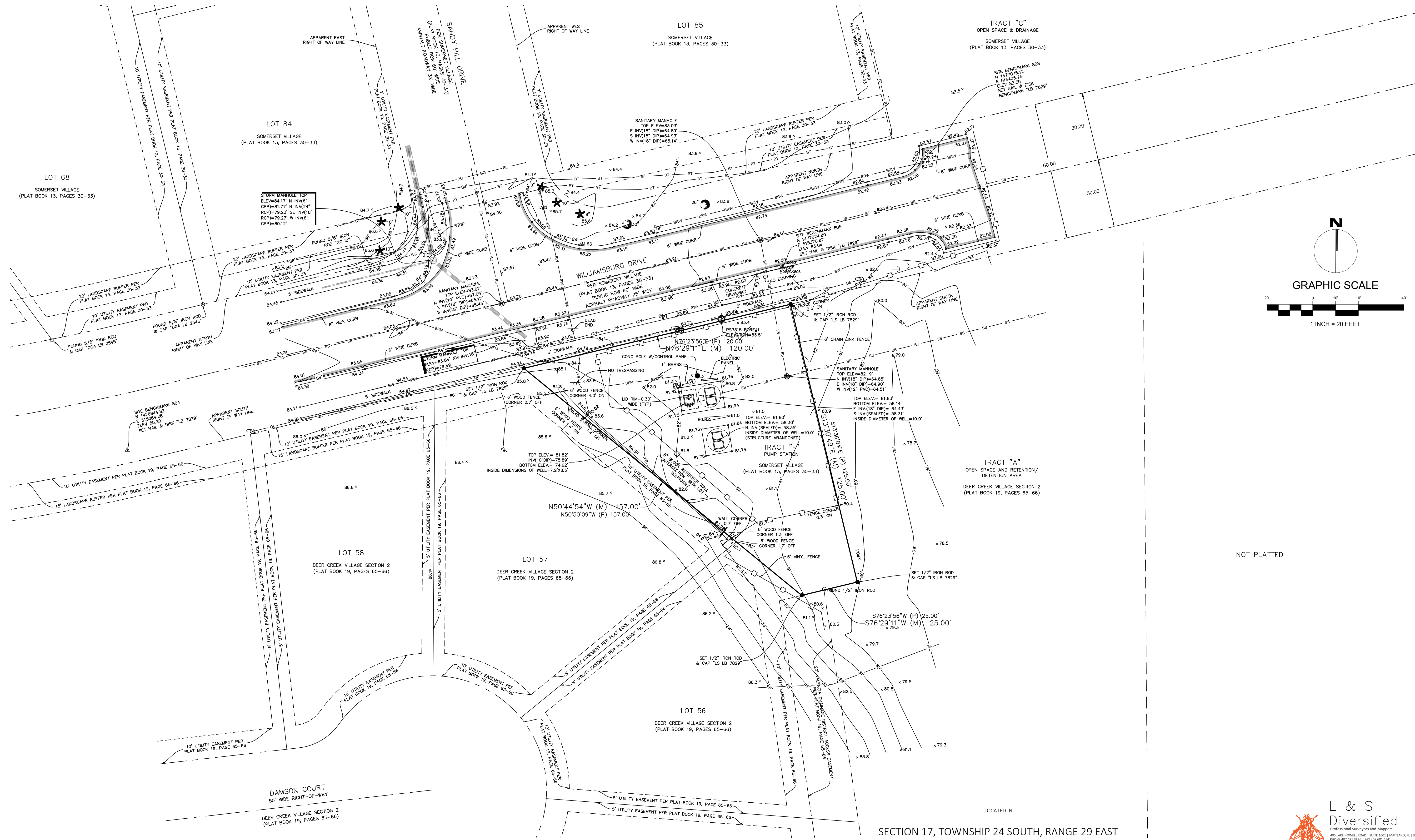
**PUMP STATION 3315 (SUMMERSET VILLAGE)
BOUNDARY AND TOPOGRAPHIC SURVEY**

(SEAL)
X
PROFESSIONAL ENGINEER
FLORIDA LICENSE #X

OCU FILE NO.: X
DESIGNED BY: X
DRAWN BY: X
CHECKED BY: X
CADD FILE: X

SCALE: X
DRAWING NO.:
V-300
SHEET: X OF X

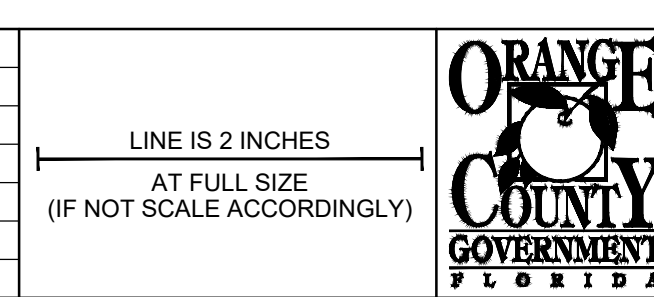




SECTION 17, TOWNSHIP 24 SOUTH, RANGE 29 EAST
CITY OF ORLANDO, ORANGE COUNTY, FLORIDA



REV	DATE	DESCRIPTION



ORANGE COUNTY UTILITIES DEPARTMENT ENGINEERING DIVISION
9150 CURRY FORD ROAD ORLANDO, FL. 32825



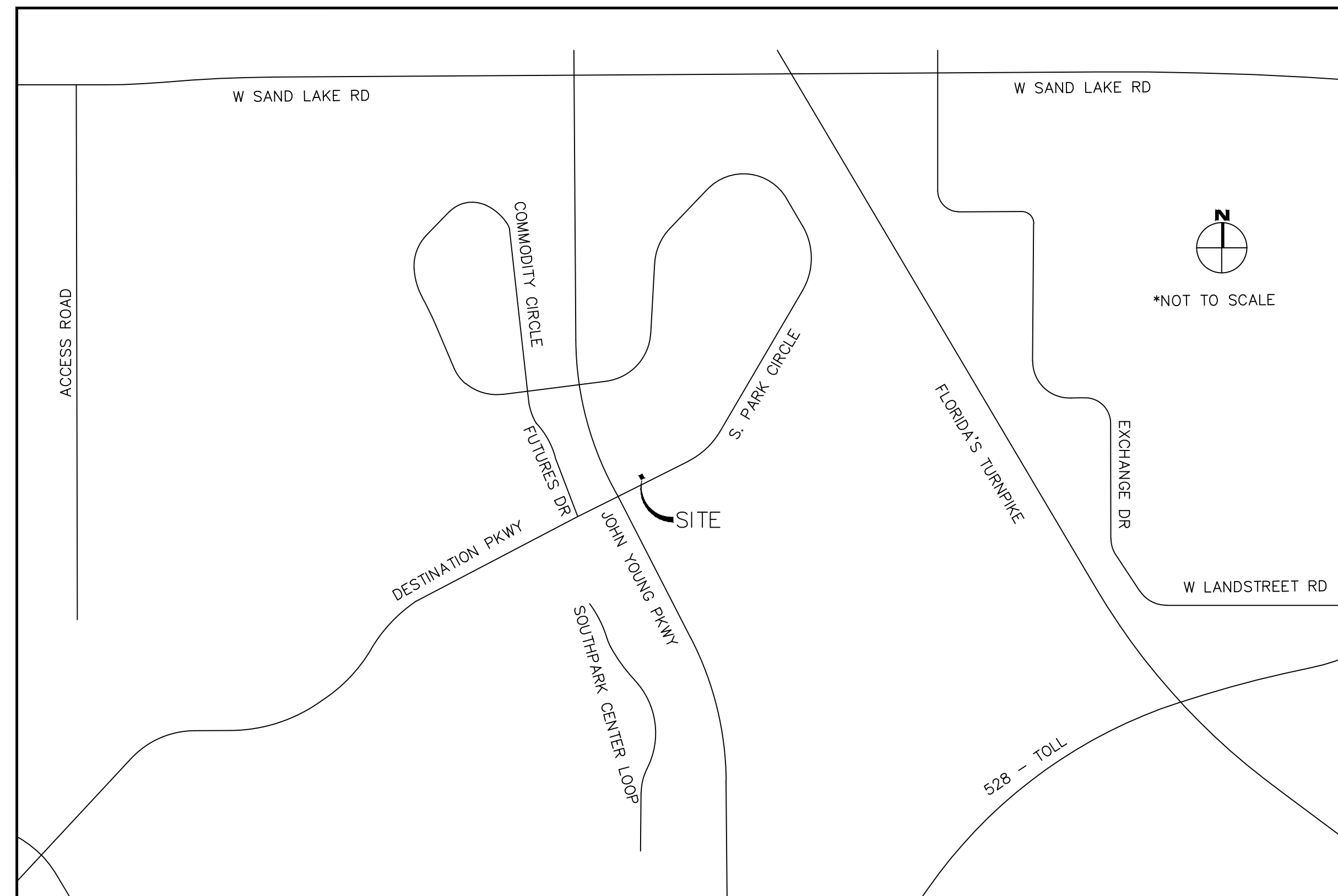
PUMP STATION 3315 (SUMMERSET VILLAGE) BOUNDARY AND TOPOGRAPHIC SURVEY

(SEAL)
X
PROFESSIONAL ENGINEER
FLORIDA LICENSE #X

OCU FILE NO.: X
DESIGNED BY: X
DRAWN BY: X
CHECKED BY: X
CADD FILE: X

SCALE: X
DRAWING NO.:
V-301
SHEET: X OF X

VICINITY MAP:



SYMBOL AND ABBREVIATION LEGEND:

Ⓜ	ELECTRICAL - CABINET	🌴	TREE - PALM	PRM	PERMANENT REFERENCE MONUMENT
Ⓜ	ELECTRICAL - MANHOLE	🌲	TREE - PINE	R	RADIUS
Ⓜ	ELECTRICAL - METAL LIGHT POLE	🌳	TREE - OAK	L	ARC LENGTH
Ⓜ	ELECTRICAL - VAULT	~	WATER - BACKFLOW PREVENTER	Δ	DELTA
Ⓜ	MISCELLANEOUS - BOLLARD CASING	Ⓜ	WATER - FIRE DEPARTMENT CONNECTION	~	CONTOUR
Ⓜ	MISCELLANEOUS - MULTI STAND SIGN	Ⓜ	WATER - FIRE HYDRANT	Ⓜ	SPOT ELEVATION
Ⓜ	MISCELLANEOUS - SINGLE STAND SIGN	Ⓜ	WATER - METER	Ⓜ	FENCE LINE
Ⓜ	MISCELLANEOUS - UNKNOWN UTILITY RISER	Ⓜ	WATER - VALVE	---	EASEMENT
Ⓜ	MISCELLANEOUS - UNKNOWN VAULT	Ⓜ	CENTER LINE	---	STORM DRAINAGE - PIPE
Ⓜ	STORM DRAINAGE - CATCH BASIN	C	CHORD DISTANCE	---	RIGHT OF WAY LINE
Ⓜ	STORM DRAINAGE - MANHOLE	CB	CHORD BEARING	---	BUILDING LINE
Ⓜ	SURVEY CONTROL - FOUND CONCRETE MONUMENT	LB	LICENSED BUSINESS	---	EDGE OF PAVEMENT
Ⓜ	SURVEY CONTROL - FOUND IRON ROD	LS	LICENSED SURVEYOR	---	CENTERLINE
Ⓜ	SURVEY CONTROL - FOUND NAIL & DISK	E	EAST/EASTING	RCP	REINFORCED CONCRETE PIPE
Ⓜ	SURVEY CONTROL - SET TRAVERSE POINT OR BENCHMARK	S	SOUTH	---	BURIED ELECTRIC LINE
Ⓜ	TRAFFIC ELECTRIC - VAULT	W	WEST	---	BURIED FIBER OPTIC LINE
CON	CONCRETE	N	NORTH/NORTHING	---	BURIED GAS LINE
ELEV	ELEVATION	TRAV	TRAVERSE	---	BURIED FORCE MAIN
SA	SATELLITE ANTENNA	PT	POINT	---	BURIED WATER LINE
IR	IRRIGATION CONTROL VALVE	PVC	POLY VINYL CHLORIDE	CON	CONCRETE
Ⓜ	ELECTRICAL - VAULT	INV	INVERT	---	EDGE OF WATER
				---	TREE LINE

SURVEY NOTES:

- THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DESCRIBED BY STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THIS SURVEY IS LIMITED TO: (1) THE DOCUMENTATION OF THE PERIMETER OF THE PARCELS OF LAND SHOWN HEREON BY MONUMENTING THE BOUNDARY LINES FOR THE PURPOSE OF DESCRIBING SAID PARCELS. (2) THE LOCATION OF SURFACE IMPROVEMENTS. (3) SPOT ELEVATIONS AND CONTOURS. (4) STORM DRAINAGE AND SANITARY SEWER AS-BUILT. (5) SUBSURFACE UTILITIES ARE DESIGNATED BY L & S DIVERSIFIED.
- THE SURVEYED PROPERTY SHOWN HEREON CONTAINS A TOTAL AREA OF 0.038 ACRES (1,665 SQUARE FEET) MORE OR LESS.
- BEARINGS SHOWN HEREON ARE BASED ON THE NORTH RIGHT OF WAY LINE OF SOUTH PARK CIRCLE AS BEING SOUTH 62°34'08" WEST.
- THE HORIZONTAL DATA SHOWN HEREON IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83), WITH A 1980 ADJUSTMENT, STATE PLANE COORDINATES, FLORIDA EAST ZONE, AND IS RELATIVE TO FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION HAVING LOCAL GROUND COORDINATE SYSTEM WITH CERTIFIED RECORD NUMBER 097221, BEING A CONCRETE MONUMENT WITH NAIL & DISK STAMPED "FDOT JWC LB 1" AND HAVING THE COORDINATES OF N:1494028.1, E:516791.4 AND CERTIFIED RECORD NUMBER 110825, BEING A 4"x4" CONCRETE MONUMENT WITH NAIL & DISK STAMPED "LB 68" AND HAVING THE COORDINATES OF N:1491416.541, E:522102.6763
- THE VERTICAL DATUM AND ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88), AS PROVIDED BY ORANGE COUNTY ON BENCHMARK B1625016 BEING A 3" ALUMINUM DISK STAMPED "ORANGE COUNTY PUBLIC WORKS" AND HAVING AN ELEVATION OF 92.338 FEET.
- THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD PER PANEL NUMBER 410 OF 750, MAP NUMBER 12095C0410F WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.
- THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
- THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS.
- FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF WALLS AND FENCES.
- THIS FIRM IDENTIFIED VARIOUS TYPES OF TREES LOCATED ON THIS SITE BASED ON COMMON KNOWLEDGE OF TREE SPECIES. A QUALIFIED LANDSCAPE ARCHITECT SHOULD BE EMPLOYED FOR POSITIVE IDENTIFICATION OF TREE SPECIES. TREE DIAMETERS ARE APPROXIMATE AND WERE MEASURED AT BREST HEIGHT. ONLY TREES 4 CALIPER INCHES OR LARGER WERE LOCATED AND SHOWN ON THE SURVEY. HEDGES AND GROUND COVER WERE NOT LOCATED AND ARE NOT SHOWN. EXOTIC TREES SUCH AS MELALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE WERE NOT LOCATED OR SHOWN HEREON.
- ORNAMENTAL PLANTS, HEDGES AND SPRINKLER HEADS WERE NOT LOCATED.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS AND SUBSURFACE UTILITIES. ONLY FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION EXCAVATIONS, CONTACT 811.COM (811) AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.
- A SUNSHINE 811 "DESIGN" TICKET 086804585 WAS OBTAINED TO DETERMINE THE UTILITY PROVIDERS WITHIN THE PROJECT LIMITS. THE PROJECT WAS SCANNED FOR UNDERGROUND UTILITIES USING ELECTRONIC DETECTION DEVICES AND GROUND PENETRATING RADAR (GPR). ANY UTILITIES FOUND WITHIN THE PROJECT LIMITS WERE SURFACE PAINTED AND FLAGGED WITH THE APPROPRIATE COLOR AS RECOGNIZED BY THE NATIONAL UTILITY LOCATING CONTRACTORS ASSOCIATION (NULCA). ANY UTILITIES MARKED BY ANOTHER FIRM WILL BE VERIFIED BY AN L&S DIVERSIFIED UTILITY LOCATOR.
- IT SHOULD BE UNDERSTOOD BY THE CLIENT THAT SOME UNDERGROUND UTILITIES MAY NOT BE MADE OF A CONDUCTIVE MATERIAL OR MAY NOT RETURN A GPR ECHO AND THEREFORE CANNOT BE DESIGNATED WITH ELECTRONIC PROSPECTING EQUIPMENT OR GPR.
- L & S DIVERSIFIED, LLC DID NOT SEARCH THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY L & S DIVERSIFIED, LLC (L&S). L&S HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYORS CERTIFICATION SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. L&S MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT L&S DIRECTLY FOR VERIFICATION OF ACCURACY.
- THIS SURVEY MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"/10' OR SMALLER.
- THIS SURVEY CANNOT BE RELIED UPON BY PERSONS OR ENTITIES OTHER THAN THE PERSONS OR ENTITIES CERTIFIED TO HEREON.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE WITH NO GORES, GAPS, OVERLAPS OR HIATUS.

LEGAL DESCRIPTION:

PUMP STATION, BLOCK D, SOUTHPARK UNIT TWO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 16, PAGE 41, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

ADDRESS:

8541 SOUTH PARK CIRCLE,
ORLANDO, FL 32819

SHEET INDEX:

V-100	COVER SHEET
V-200	BOUNDARY AND TOPOGRAPHIC SURVEY

ALLIANT NATIONAL TITLE INSURANCE COMPANY PROPERTY INFORMATION REPORT
FILE NUMBER:18004787. DATE:APRIL 14TH, 2018 6:00 AM

- RESTRICTIONS, RESERVATIONS, COVENANTS, EASEMENTS, CONDITIONS AND ALL OTHER MATTERS AS SHOWN ON PLAT RECORDED IN PLAT BOOK 16, PAGE 41, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS PROPERTY - PLOTTED HEREON.
- RESTRICTIVE COVENANTS, CONDITIONS, EASEMENTS, STIPULATIONS, RESERVATIONS, ASSOCIATIONS AND OTHER PROVISIONS, AS CONTAINED IN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3865, PAGE 413, AMENDED IN OFFICIAL RECORDS BOOK 5355, PAGE 4280, OFFICIAL RECORDS BOOK 5898, PAGE 2698 AND OFFICIAL RECORDS BOOK 5899, PAGE 4502, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). AFFECTS PROPERTY - BLANKET.
- EASEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3286, PAGE 827, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS PROPERTY, PARTIALLY PLOTTED - BLANKET.
- EASEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3428, PAGE 2664, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. DOES NOT AFFECTS PROPERTY - NOT PLOTTED
- USE AGREEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3863, PAGE 2956, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS PROPERTY - BLANKET.
- ACCESS EASEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 3948, PAGE 1512, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS PROPERTY - BLANKET.
- GRANT OF SIGNAGE EASEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 5502, PAGE 4072, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS PROPERTY - BLANKET.
- RESOLUTION AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 9881, PAGE 1248, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS PROPERTY - BLANKET.
- RESOLUTION AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 10737, PAGE 8403, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. AFFECTS PROPERTY - BLANKET.

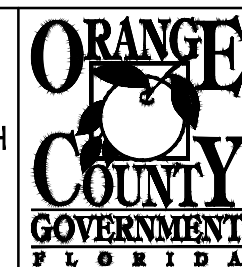
LOCATED IN

SECTION 32, TOWNSHIP 23 SOUTH, RANGE 29 EAST
CITY OF ORLANDO, ORANGE COUNTY, FLORIDA



REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE
(IF NOT SCALE ACCORDINGLY)



ORANGE COUNTY UTILITIES DEPARTMENT
ENGINEERING DIVISION
9150 CURRY FORD ROAD ORLANDO, FL. 32825



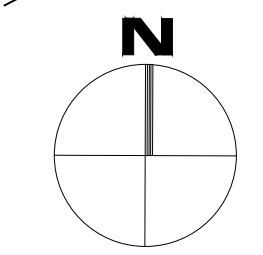
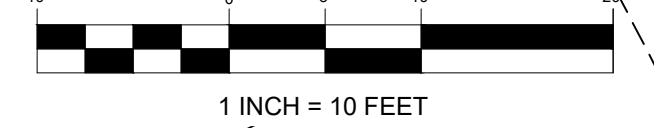
PUMP STATION 3363(SOUTH PARK 2)
BOUNDARY AND TOPOGRAPHIC SURVEY

OCU FILE NO.: X
DESIGNED BY: X
DRAWN BY: X
CHECKED BY: X
CADD FILE: X

SCALE: X
DRAWING NO. : V-400
SHEET: X OF X

PEDESTRIAN, UTILITIES & DRAINAGE EASEMENT
SOUTH PARK UNIT-TWO
(PLAT BOOK 16, PAGE 41)

GRAPHIC SCALE



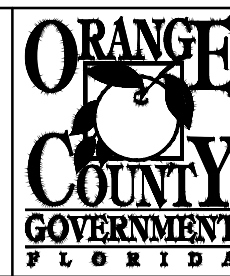
EASEMENT
FLORIDA DEPARTMENT OF TRANSPORTATION
PER O.R. BOOK 3286, PAGE 927



SECTION 17, TOWNSHIP 24 SOUTH, RANGE 29 EAST
CITY OF ORLANDO, ORANGE COUNTY, FLORIDA

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE
(IF NOT SCALE ACCORDINGLY)



ORANGE COUNTY
UTILITIES DEPARTMENT
ENGINEERING DIVISION
9150 CURRY FORD ROAD ORLANDO, FL. 32825



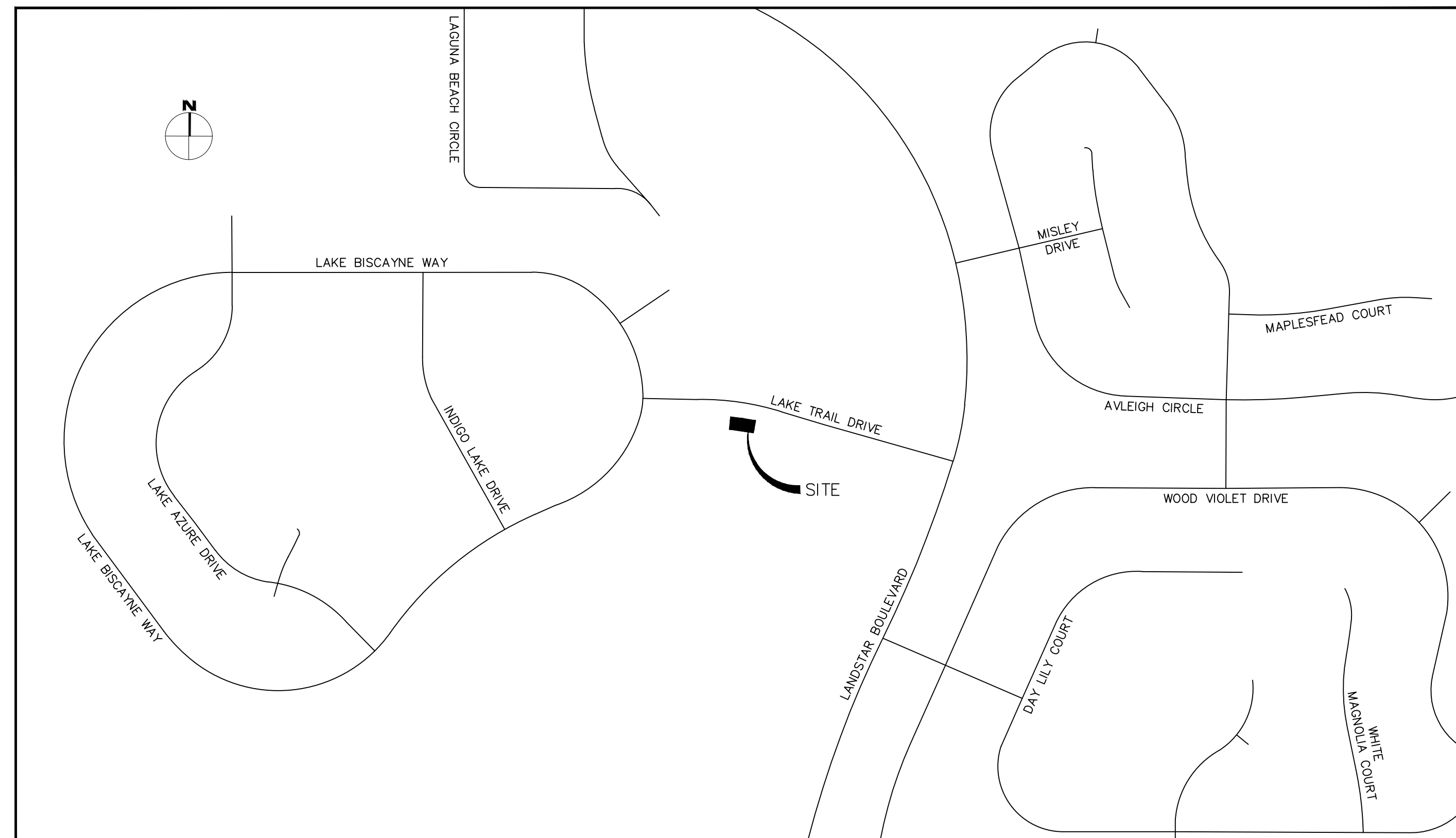
PUMP STATION 3363(SOUTH PARK 2)
BOUNDARY AND TOPOGRAPHIC SURVEY

OCU FILE NO.: X
DESIGNED BY: X
DRAWN BY: X
CHECKED BY: X
CADD FILE: X

SCALE: X
DRAWING NO.:
V-401
SHEET: X OF X



VICINITY MAP: NOT TO SCALE



LEGAL DESCRIPTION:

TRACT L, HIDDEN LAKES PHASE 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 37, PAGES 1 THROUGH 4 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

ADDRESS:

1320 LAKE TRAIL DRIVE,
ORLANDO, FL 32824

SHEET INDEX:

V-100 COVER SHEET
V-200 BOUNDARY AND TOPOGRAPHIC SURVEY

SYMBOL AND ABBREVIATION LEGEND:

	CABLE TELEVISION - CABINET		SURVEY CONTROL - SET TRAVERSE POINT OR BENCHMARK		E EAST/EASTING
	CABLE TELEVISION - RISER		TELECOMMUNICATION - RISER		S SOUTH
	CABLE TELEVISION - VAULT		TRAFFIC - DELINEATOR		W WEST
	ELECTRICAL - CONCRETE LIGHT POLE		TREE - LIVE OAK		N NORTH/NORTHING
	ELECTRICAL - PANEL		TREE - PALM		BTV BURIED UTILITY - CABLE TV
	ELECTRICAL - TRANSFORMER		WATER - BACKFLOW PREVENTER		BE BURIED UTILITY - ELECTRICAL
	ELECTRICAL - VAULT		R RADIUS		BO BURIED UTILITY - FIBER OPTIC
	MISCELLANEOUS - BOLLARD CASING		L ARC LENGTH		BM BURIED UTILITY - FORCE MAIN
	MISCELLANEOUS - SINGLE STAND SIGN		Δ DELTA		BT BURIED UTILITY - TELECOMMUNICATION
	MISCELLANEOUS - CAMERA POLE		C CHORD		BW BURIED UTILITY - WATER
	MISCELLANEOUS - VENT		CD CHORD BEARING		BS BURIED UTILITY - SANITARY SEWER
	SANITARY SEWER - MANHOLE		ELEV. ELEVATION		SD STORM DRAINAGE - PIPE
	SANITARY SEWER - VALVE		INV. INVERT		EP EDGE OF PAVEMENT
	STORM DRAINAGE - MANHOLE		LB LICENSED BUSINESS		FL FENCE LINE
	SURVEY CONTROL - FOUND NAIL & DISK		PCP PERMANENT CONTROL POINT		CONTOUR
	SURVEY CONTROL - FOUND IRON ROD		PVC POLYVINYL CHLORIDE		SE SPOT ELEVATION
	SURVEY CONTROL - FOUND BRASS OR ALUMINUM DISK				

LOCATED IN
SECTION 21, TOWNSHIP 24 SOUTH, RANGE 29 EAST
CITY OF ORLANDO, ORANGE COUNTY, FLORIDA

ALLIANT NATIONAL TITLE INSURANCE COMPANY PROPERT INFORMATION REPORT
FILE NUMBER: 18004784 DATE: APRIL 4TH, 2018 AT 6:00 AM:

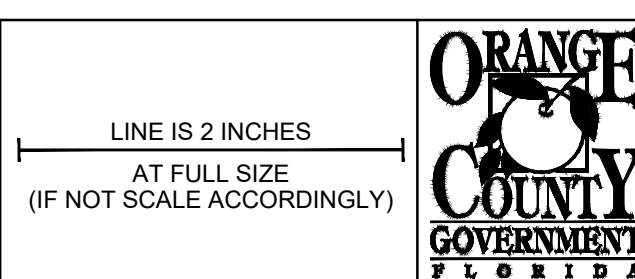
- RESTRICTIONS, RESERVATIONS, COVENANTS, EASEMENTS, CONDITIONS AND ALL OTHER MATTERS AS SHOWN ON AS RECORDED IN PLAT BOOK 37, PAGE 1 THROUGH 4, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. (NOTE: ACCESS IS BY PRIVATE ROADS AND DEDICATED TO THE HOMEOWNERS ASSOCIATION. BLANKET - AFFECTS PROPERTY)
- RESTRICTIVE COVENANTS, CONDITIONS, EASEMENTS, STIPULATIONS, RESERVATIONS AND OTHER PROVISIONS, AS CONTAINED IN INSTRUMENT RECORDED IN OFFICIAL RECORD BOOK 5127, PAGE 3969, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C).
- USE AGREEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORD BOOK 5120, PAGE 1221, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. BLANKET - AFFECTS PROPERTY.
- WATER UTILITIES AGREEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORD BOOK 3609, PAGE 1295, AMENDED IN O.R. BOOK 3876, PAGE 2345, O.R. BOOK 5064, PAGE 1043, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. BLANKET - AFFECTS PROPERTY.
- WASTEWATER UTILITIES AGREEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORD BOOK 3609, PAGE 1334, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. BLANKET - AFFECTS PROPERTY.
- CONSERVATION EASEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORD BOOK 5395, PAGE 340, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. NOT PLOTTABLE - DOES NOT AFFECT PROPERTY.
- AMENDED AND RESTATED WASTEWATER UTILITIES AGREEMENT AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORD BOOK 5055, PAGE 2581 AND O.R. BOOK 5064, PAGE 995, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. BLANKET - AFFECTS PROPERTY.
- AMENDED AND RESTATED DEVELOPMENT ORDER AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORD BOOK 5000, PAGE 3480, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. BLANKET - AFFECTS PROPERTY.
- RESOLUTIONS AS CONTAINED IN THAT CERTAIN INSTRUMENT RECORDED IN OFFICIAL RECORD BOOK 6008, PAGE 1719, O.R. BOOK 6269, PAGE 43, O.R. BOOK 6526, PAGE 1760, O.R. BOOK 6905, PAGE 4314, O.R. BOOK 7524, PAGE 3901, O.R. BOOK 7971, PAGE 1749, O.R. BOOK 8611, PAGE 4322, O.R. BOOK 9266, PAGE 3536, O.R. BOOK 9698, PAGE 4000, O.R. BOOK 10050, PAGE 5430, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. BLANKET - AFFECTS PROPERTY.

SURVEY NOTES:

- THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DESCRIBED BY STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THIS SURVEY IS LIMITED TO: (1) THE DOCUMENTATION OF THE PERIMETER OF THE PARCELS OF LAND SHOWN HEREON BY MONUMENTING THE BOUNDARY LINES FOR THE PURPOSE OF DESCRIBING SAID PARCELS. (2) THE LOCATION OF SURFACE IMPROVEMENTS. (3) SPOT ELEVATIONS AND CONTOURS. (4) STORM DRAINAGE AND SANITARY SEWER AS-BUILT. (5) SUBSURFACE UTILITIES ARE DESIGNATED BY L & S DIVERSIFIED.
- THE SURVEYED PROPERTY SHOWN HEREON CONTAINS A TOTAL AREA OF 0.07 ACRES (2993 SQUARE FEET) MORE OR LESS.
- BEARINGS SHOWN HEREON ARE BASED ON THE WEST LINE OF TRACT "L" AS BEING SOUTH 06°32'53" WEST, AS RECORDED IN PLAT BOOK 37, PAGES 4.
- THE HORIZONTAL SURVEY DATA SHOWN IS BASED ON THE NORTH AMERICAN DATUM (1983 ADJUSTMENT (NAD83/1990)), STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE, AND ARE RELATIVE TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION CERTIFIED CORNER RECORD NUMBER 0041861, BEING A 6"x6" CONCRETE MONUMENT AND HAVING THE COORDINATES OF N:1459396.225 E:540632.996.
- THE VERTICAL DATUM AND ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88), AND ARE RELATIVE TO THE ORANGE COUNTY FLORIDA BENCHMARK POINT# A1200025, HAVING AN ELEVATION OF 84.678 FEET. AND ORANGE COUNTY FLORIDA BENCHMARK POINT# 468, HAVING AN ELEVATION OF 84.509 FEET.
- THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD PER PANEL NUMBER 650 OF 750, MAP NUMBER 12095C0650F WITH AN EFFECTIVE DATE OF AUGUST 25, 2009.
- THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
- THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS.
- FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF WALLS AND FENCES.
- THIS FIRM IDENTIFIED VARIOUS TYPES OF TREES LOCATED ON THIS SITE BASED ON COMMON KNOWLEDGE OF TREE SPECIES. A QUALIFIED LANDSCAPE ARCHITECT SHOULD BE EMPLOYED FOR POSITIVE IDENTIFICATION OF TREE SPECIES. TREE DIAMETERS ARE APPROXIMATE AND WERE MEASURED AT BREAST HEIGHT. ONLY TREES 4 CALIPER INCHES OR LARGER WERE LOCATED AND SHOWN ON THE SURVEY. HEDGES AND GROUND COVER WERE NOT LOCATED AND ARE NOT SHOWN. EXOTIC TREES SUCH AS MELALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE WERE NOT LOCATED OR SHOWN HEREON.
- ORNAMENTAL PLANTS, HEDGES AND SPRINKLER HEADS WERE NOT LOCATED.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION EXCAVATIONS, CONTACT 811.COM (811) AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.
- A SUNSHINE 811 "DESIGN" TICKET 086804439 WAS OBTAINED TO DETERMINE THE UTILITY PROVIDERS WITHIN THE PROJECT LIMITS. THE PROJECT WAS SCANNED FOR UNDERGROUND UTILITIES USING ELECTRONIC DETECTION DEVICES AND GROUND PENETRATING RADAR (GPR). ANY UTILITIES FOUND WITHIN THE PROJECT LIMITS WERE SURFACE PAINTED AND FLAGGED WITH THE APPROPRIATE COLOR AS RECOGNIZED BY THE NATIONAL UTILITY LOCATING CONTRACTORS ASSOCIATION (NULCA). ANY UTILITIES MARKED BY ANOTHER FIRM WILL BE VERIFIED BY AN L&S DIVERSIFIED UTILITY LOCATOR.
- IT SHOULD BE UNDERSTOOD BY THE CLIENT THAT SOME UNDERGROUND UTILITIES MAY NOT BE MADE OF A CONDUCTIVE MATERIAL OR MAY NOT RETURN A GPR ECHO AND THEREFORE CANNOT BE DESIGNATED WITH ELECTRONIC PROSPECTING EQUIPMENT OR GPR.
- L & S DIVERSIFIED, LLC DID NOT SEARCH THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY L & S DIVERSIFIED, LLC (L&S). L&S HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYORS CERTIFICATION SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. L&S MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT L&S DIRECTLY FOR VERIFICATION OF ACCURACY.
- THIS SURVEY MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1/10 OR SMALLER.
- THIS SURVEY CANNOT BE RELIED UPON BY PERSONS OR ENTITIES OTHER THAN THE PERSONS OR ENTITIES CERTIFIED TO HEREON.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE WITH NO GORES, GAPS, OVERLAPS OR HIATUS.



REV	DATE	DESCRIPTION



ORANGE COUNTY UTILITIES DEPARTMENT ENGINEERING DIVISION
9150 CURRY FORD ROAD ORLANDO, FL. 32825

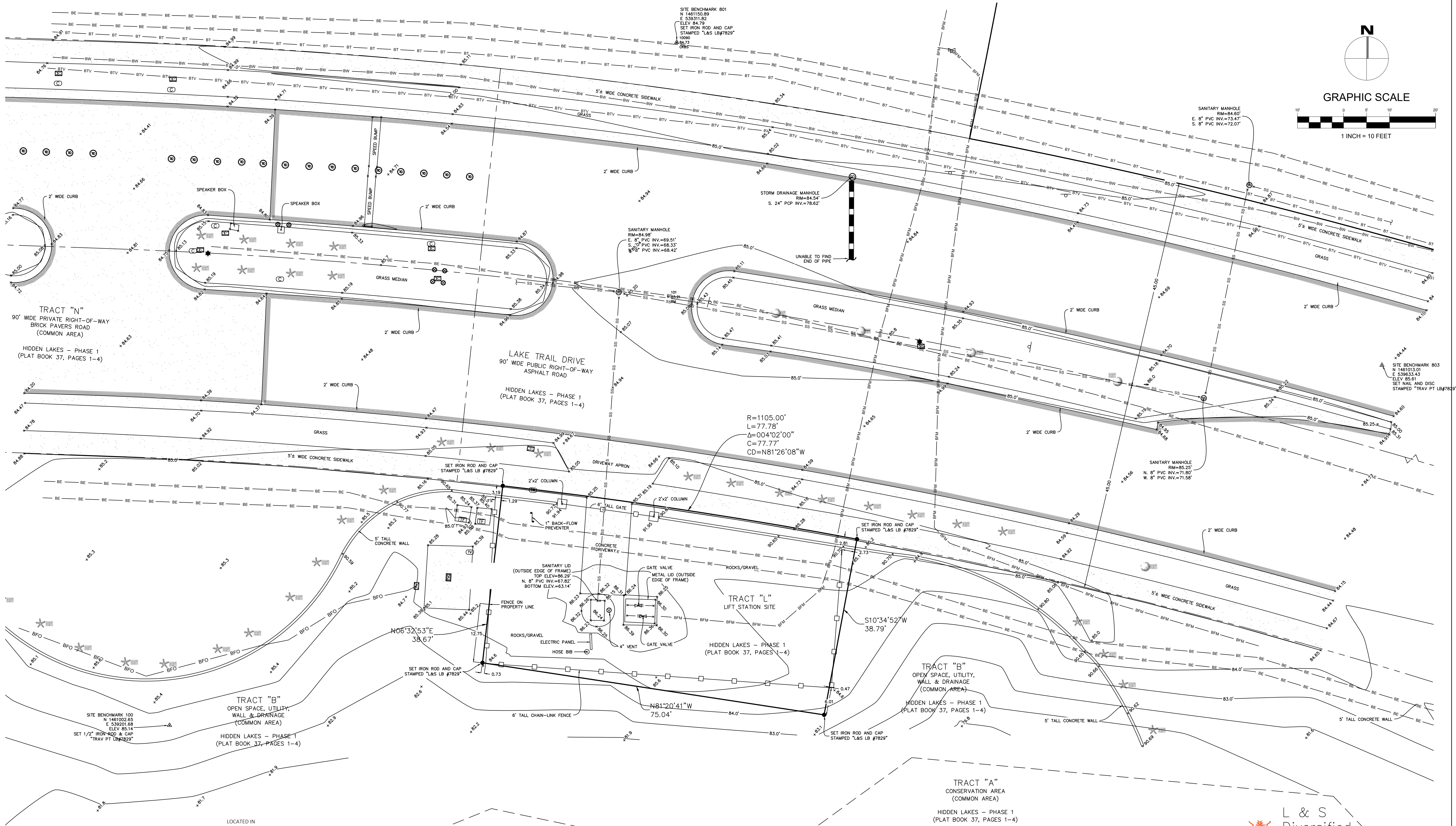


ATKINS
Member of the SNC-Lavalin Group

PUMP STATION 3852 (HIDDEN LAKES PH. 1) BOUNDARY AND TOPOGRAPHIC SURVEY

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DESIGNED BY: X
DRAWN BY: X
CHECKED BY: X
CADD FILE: X

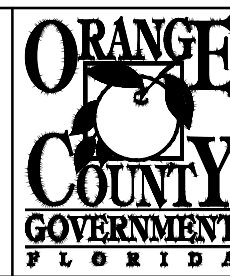
SCALE: X
DRAWING NO.: **V-500**
SHEET: X OF X



SECTION 21, TOWNSHIP 24 SOUTH, RANGE 29 EAST
CITY OF ORLANDO, ORANGE COUNTY, FLORIDA

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE
(IF NOT SCALE ACCORDINGLY)



ORANGE COUNTY UTILITIES DEPARTMENT ENGINEERING DIVISION
9150 CURRY FORD ROAD ORLANDO, FL. 32825



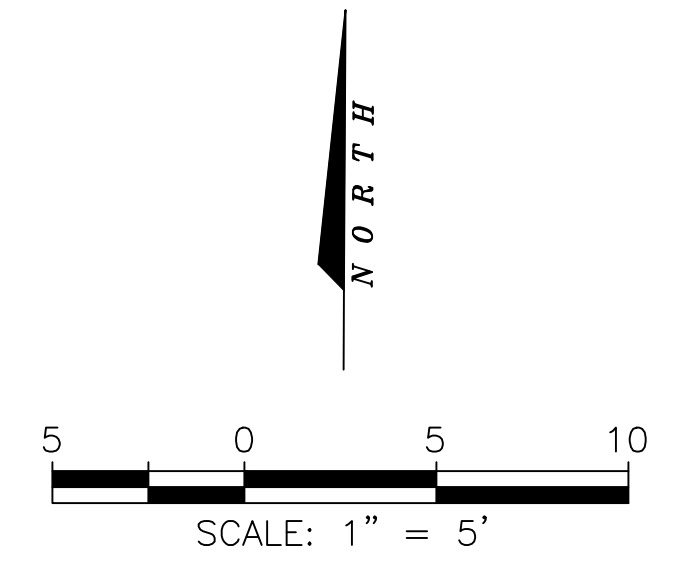
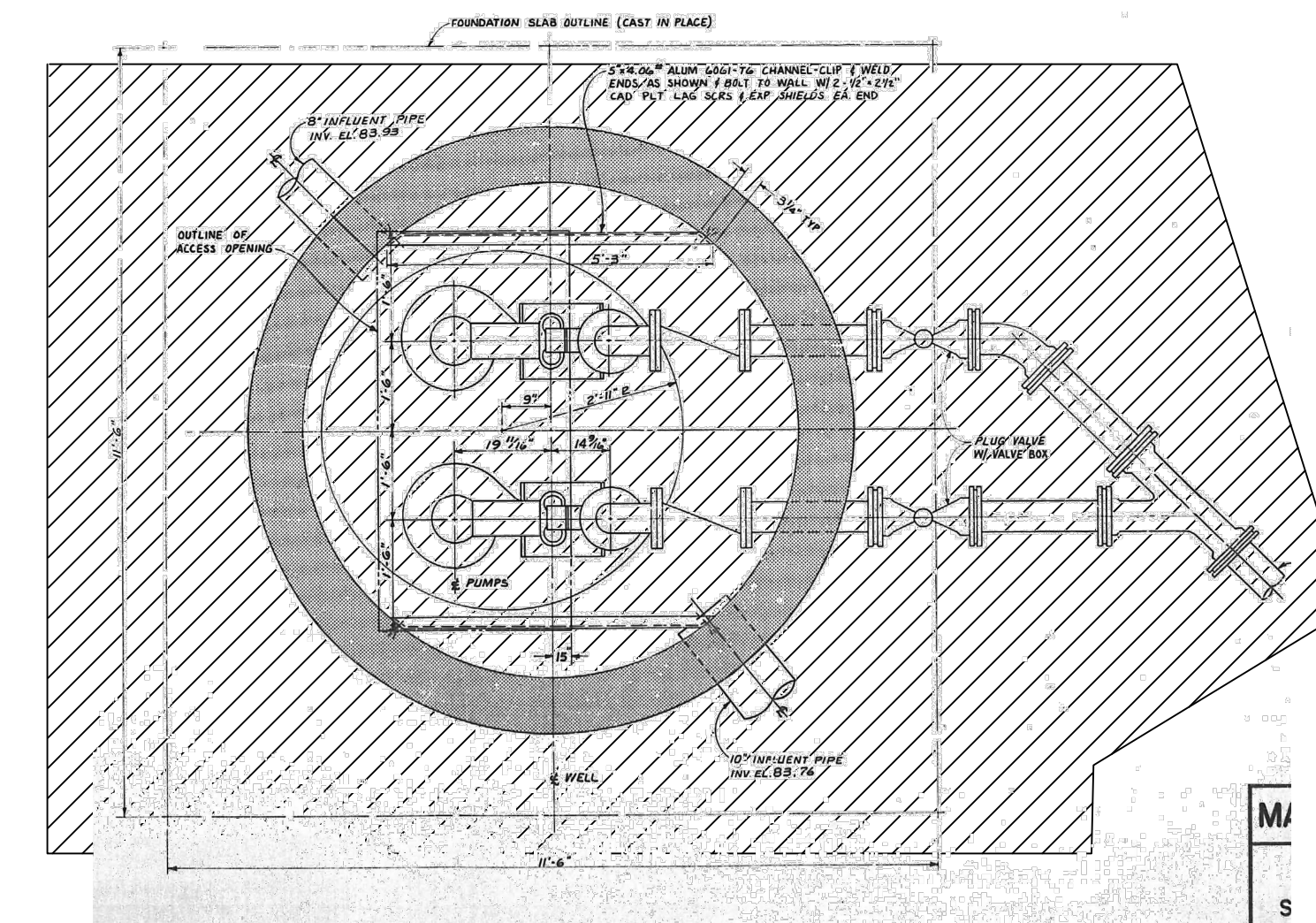
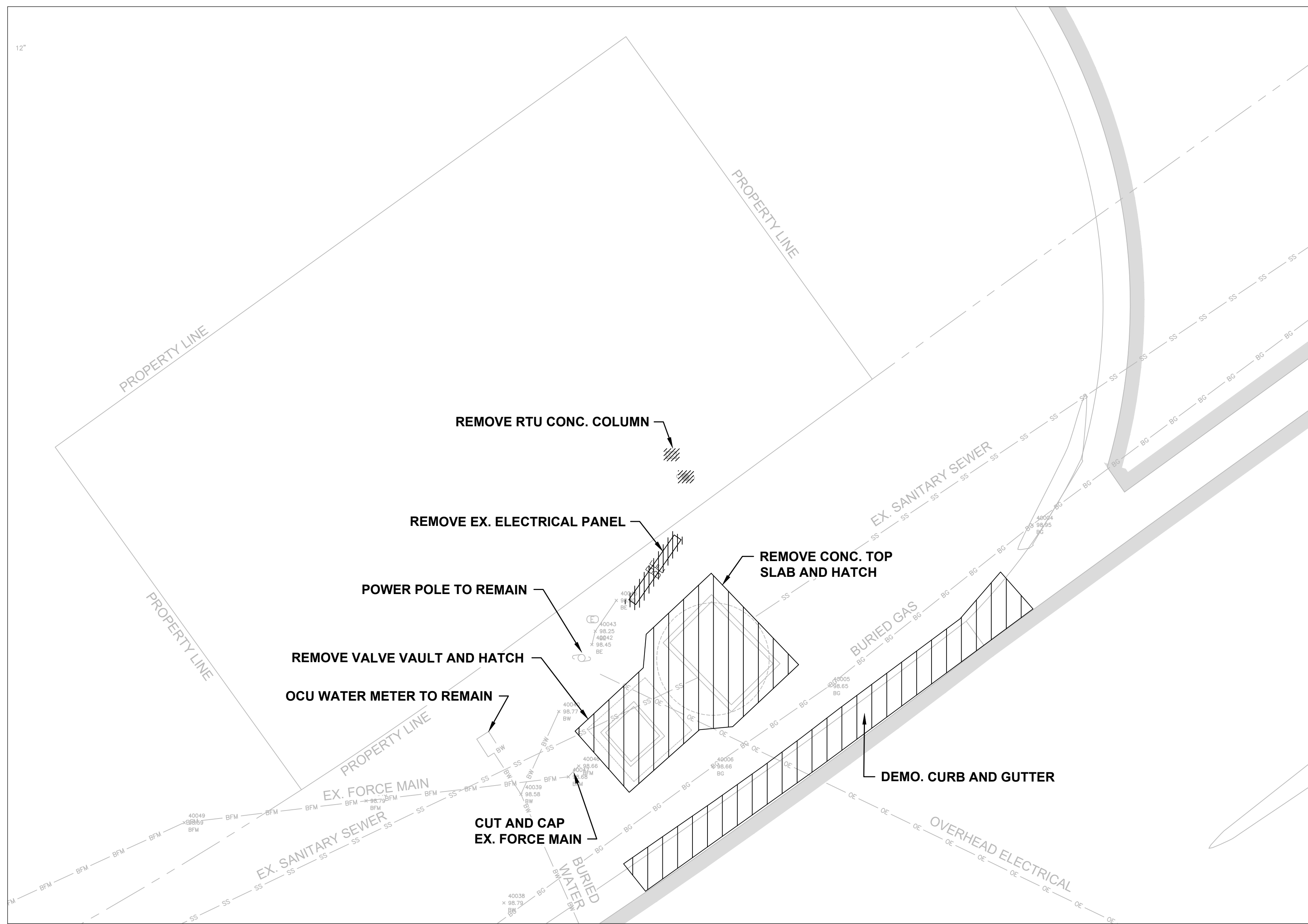
ATKINS
Member of the SNC-Lavalin Group

PUMP STATION 3852 (HIDDEN LAKES PH. 1) BOUNDARY AND TOPOGRAPHIC SURVEY

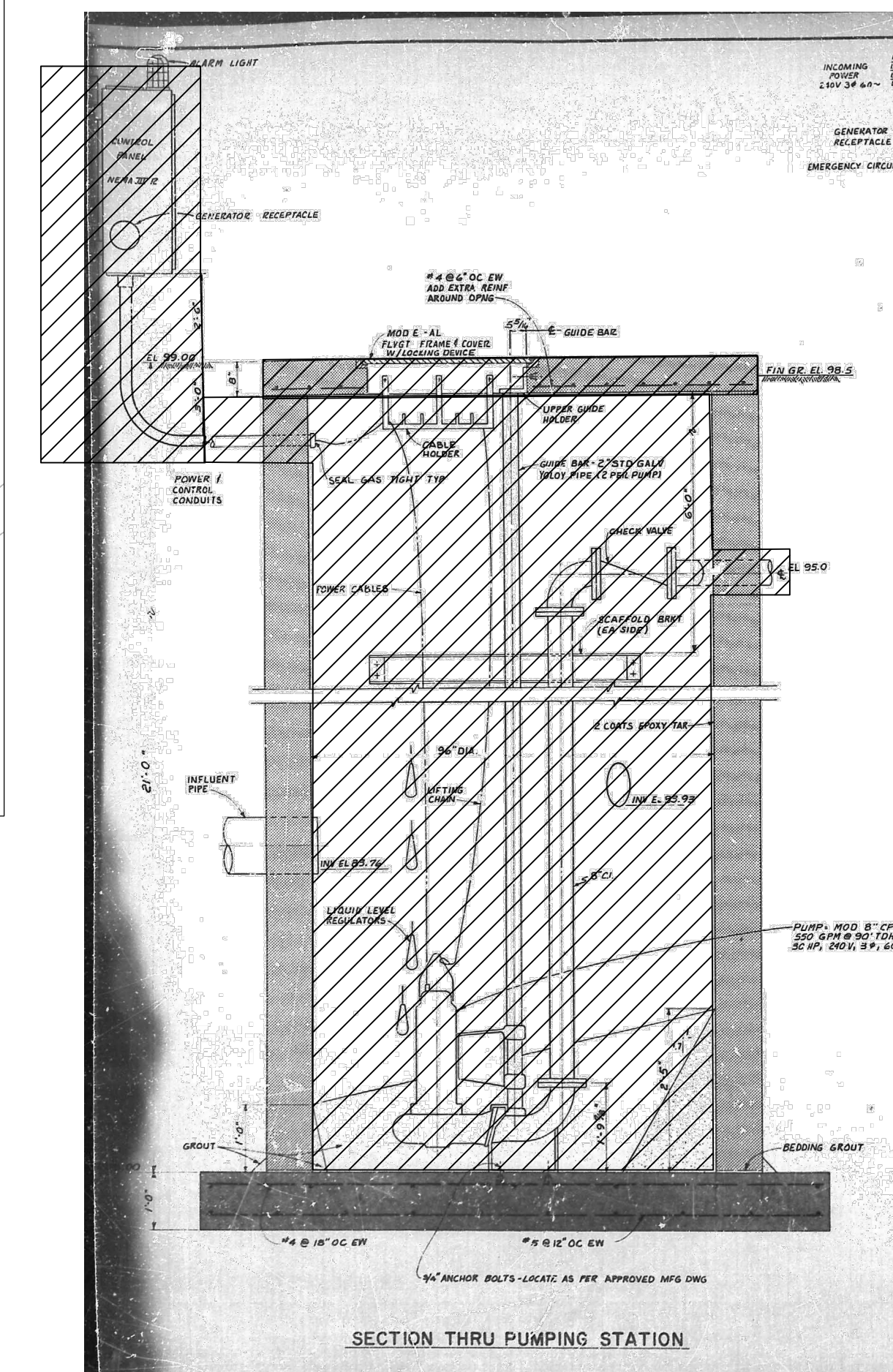
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DESIGNED BY: X
DRAWN BY: X
CHECKED BY: X
CADD FILE: X

SCALE: X
DRAWING NO.: **V-501**
SHEET: X OF X





PUMP STATION PLAN 3183 (MAJOR REALTY)
SCALE: N.T.S.



PUMP STATION SECTION 3183 (MAJOR REALTY)
SCALE: N.T.S.

LIQUID LEVEL REGULATOR SCHEDULE

ALARM SIGNAL ON	=	ELEV. <u>86.5</u>
LAG PUMP ON	=	ELEV. <u>84.0</u>
LEAD PUMP ON	=	ELEV. <u>83.5</u>
PUMPS OFF (ALSO ALTERNATES LEAD LAG SEQUENCE)	=	ELEV. <u>80.2</u>

EX. LIFT STATION DATA

NOTE:
SALVAGE AND/OR DISPOSAL OF ALL EXISTING EQUIPMENT SHALL BE AT THE DIRECTION OF THE RPR.

PUMP STATION 3183 (MAJOR REALTY) SITE
SCALE: 1" = 5'-0"



EX. PUMP STATION VALVE BOX

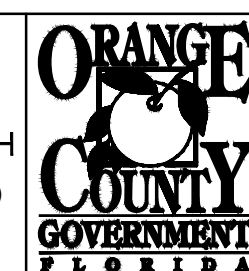
DEMO. CONTROL PANEL
DEMO. PUMP STATION LID, HATCH, PUMPS, RISER PIPES, GUIDERAILS, GUIDERAIL SUPPORTS. (PUMP STATION WALLS AND BOTTOM SLAB TO REMAIN)



EX. PUMP STATION SITE

REV	DATE	DESCRIPTION

LINE IS 2 INCHES
AT FULL SIZE
(IF NOT SCALE ACCORDINGLY)



ORANGE COUNTY UTILITIES DEPARTMENT ENGINEERING DIVISION
9150 CURRY FORD ROAD ORLANDO, FL. 32825



PUMP STATION 3183 (MAJOR REALTY)
DEMOLITION PLAN

OCU FILE NO.: X
DESIGNED BY: RS
DRAWN BY: KN
CHECKED BY: X
CADD FILE: X

SCALE: N.T.S.
DRAWING NO.: **C-100**
SHEET: X OF X

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