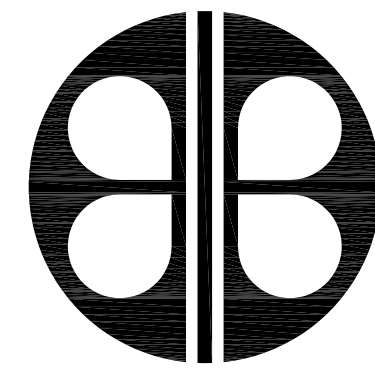


KELLY PARK RESTROOM (CP 17156)



BORRELLI + PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
ACC 000711

720 VASSAR STREET
ORLANDO, FL. 32804 (407) 418-1338

17-109

ORANGE COUNTY PARKS
400 E. SOUTH STREET, ORLANDO, FLORIDA 32801

PERMIT SET
04 - 05 - 2018

DRAWING INDEX

CONSULTANTS:

CIVIL ENGINEERS

SK CONSORTIUM, INC.

105.3 N. ORLANDO AVE #3
MAITLAND, FLORIDA 32751

STRUCTURAL ENGINEERS

C. LOUIS STRUCTURAL ENGINEERS

901 DOUGLAS AVENUE
ALTAMONTE SPRINGS, FLORIDA 32714

MECHANICAL, PLUMBING & ELECTRICAL ENGINEERS

BOBES ASSOCIATES CONSULTING ENGINEERS, INC.

150 CIRCLE DRIVE
MAITLAND, FLORIDA 32751

BOARD OF COUNTY COMMISSIONERS

TERESA JACOBS
COUNTY MAYOR

BETSY VANDERLEY
DISTRICT 1

JENNIFER THOMPSON
DISTRICT 4

BRYAN NELSON
DISTRICT 2

EMILY BONILLA
DISTRICT 5

PETE CLARKE
DISTRICT 3

VICTORIA P. SIPLIN
DISTRICT 6

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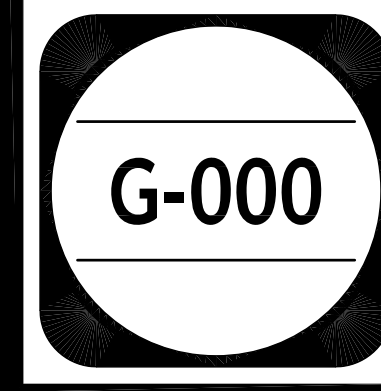
SIGNATURE AND DATED SEAL
JAMES L. MOORE
ARY8990

CONSULTANTS

DRAWING TITLE
COVER SHEET AND INDEX OF DRAWINGS

PROJECT ADDRESS
400 E. KELLY PARK RD.
ORLANDO, FL 32712
OWNER NAME AND ADDRESS
ORANGE COUNTY PARKS
400 E. SOUTH STREET
1ST FLOOR
ORLANDO, FLORIDA 32801

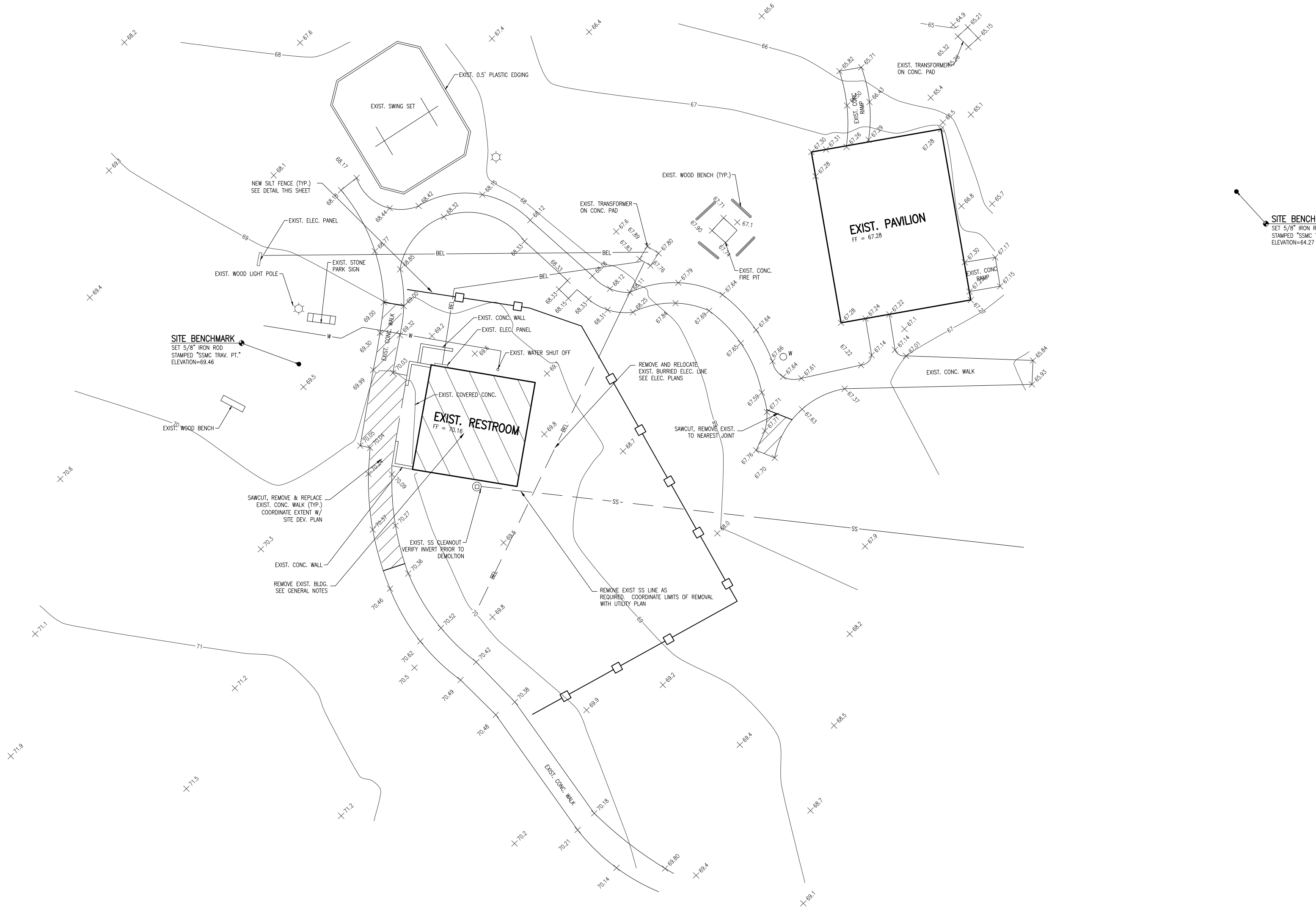
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17-109	PERMIT SET	
	AS NOTED	
	FILE NAME	17-109
	DRAWN BY	RP
	CHECKED BY	JLM
	DATE	04-05-2018



ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

DEMOLITION AND EROSION CONTROL PLAN

SCALE: 1" = 20'



SOIL EROSION & SEDIMENTATION CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO ORANGE COUNTY AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWD).
2. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION.
3. SOIL MATERIALS, SHALL BE CONTAINED, AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND POND.
4. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF THESE EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY.
5. ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING STATE-COUNTY-CITY OR PRIVATE ROADS AND FACILITIES FROM THIS SITE, DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR/BUILDER.
6. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN (15) FIFTEEN CALENDAR DAYS AFTER FINAL GRADING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA IMMEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED. A CERTIFICATE OF COMPLIANCE WILL NOT BE ISSUED UNTIL THE ABOVE REQUIREMENTS HAVE BEEN MET.

SITE DEMOLITION NOTES:

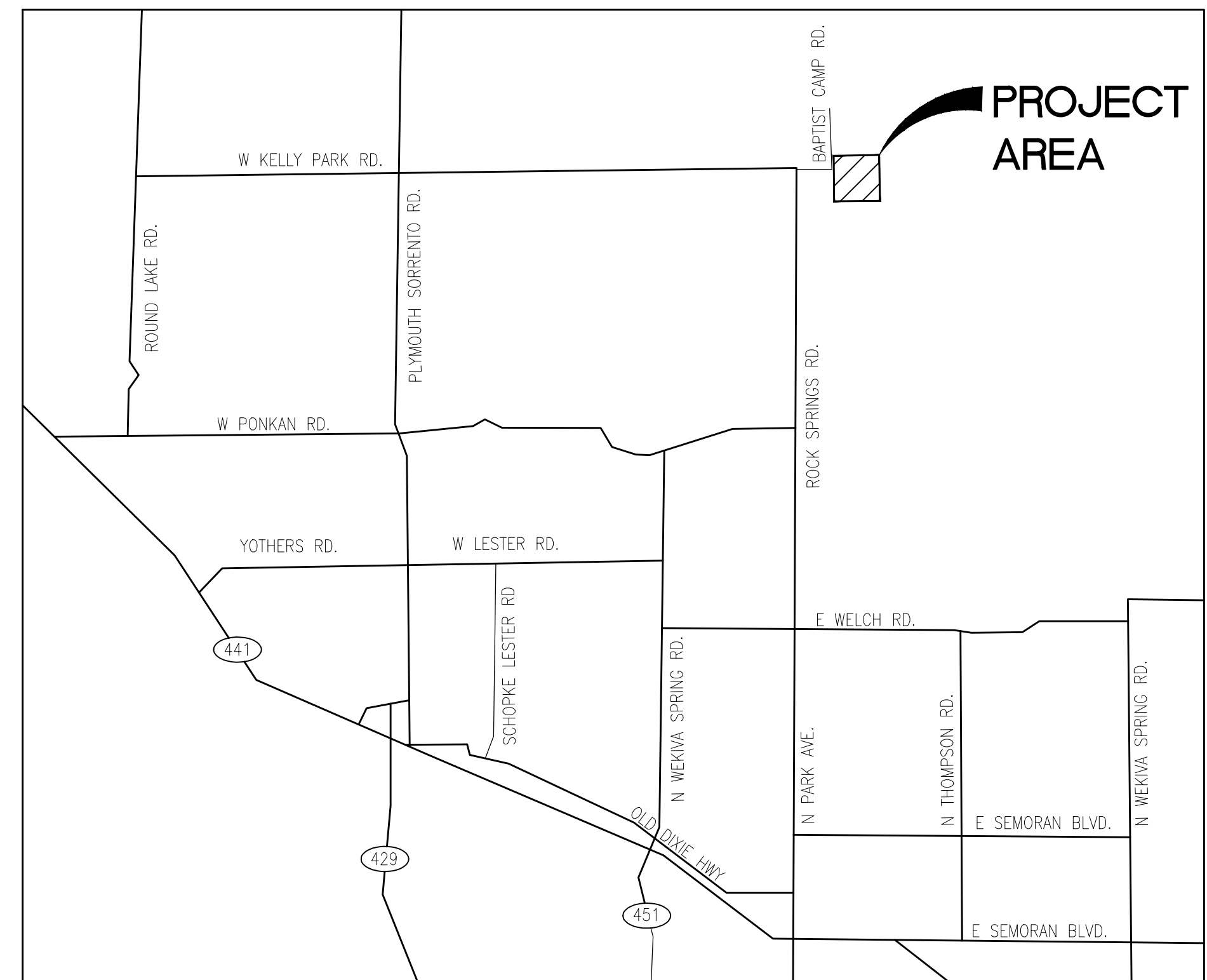
1. ALL DEMOLITION AND CONSTRUCTION ACTIVITY WILL BE ACCOMPLISHED IN APPROPRIATE PHASES IN ORDER TO KEEP EXISTING FACILITY OPERATIONAL.
2. CONTRACTOR SHALL OBTAIN COPIES OF RECORD DRAWINGS, AND BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES WITHIN THE PROJECT AREA.
3. DISPOSAL OF ALL MATERIAL LEAVING THE SITE WILL BE ON HAUL ROUTES, AND BY METHODS AS APPROVED BY OWNER.
4. COORDINATE LOCATION OF CONTRACTOR STAGING AREA WITH OWNER CONSTRUCTION REPRESENTATIVE.
5. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
6. ALL SURVEY DATA USED AND CONDITIONS ASSUMED TO BE PRESENT IN PREPARATION OF THESE PLANS WAS PROVIDED BY OC AND RECORD/AS-BUILT DOCUMENTS FOR THE EXISTING PARK PROVIDED BY OCCP. SKC IS NOT RESPONSIBLE FOR INACCURACY OF INFORMATION PERTAINING TO EXISTING CONDITIONS.
7. CONTRACTOR SHALL CLEAN THE CONSTRUCTION AREA OF ALL DEBRIS, AGGREGATES, ETC. ALL WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
8. CONTRACTOR SHALL PROTECT THE EDGE OF ALL REMAINING PAVEMENT AND HARDSCAPE. DO NOT HAUL OVER UNPROTECTED PAVEMENT OR SAWCUT EDGES.
9. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND IMPROVEMENTS PRIOR TO START OF CONSTRUCTION.
10. EXISTING SITE MAY CONTAIN ABOVE AND BELOW GROUND IMPROVEMENTS NOT DEPICTED ON THIS PLAN. CONTRACTOR SHALL VERIFY SITE CONDITIONS WITH OWNER'S REPRESENTATIVE AND BE RESPONSIBLE FOR REMOVAL OR RELOCATION OF EXISTING IMPROVEMENTS INTERFERING WITH NEW DEVELOPMENT.
11. ALL DISTURBED AREAS WITHIN PROJECT AREA SHALL BE SODDED.
12. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF PROJECT AREA AND MAINTENANCE OF PEDESTRIAN AND VEHICULAR TRAFFIC. CONTRACTOR SHALL PROVIDE TEMPORARY SIDEWALK FOR PEDESTRIAN TRAFFIC FROM EXISTING PARKING AREA.
13. REMOVAL OF EXISTING BUILDING INCLUDES FOUNDATION, AND PROPER CAPPING OF EXISTING UTILITIES SERVING THE BUILDING.

LEGAL DESCRIPTION:

KELLY PARK CAMP GROUND LOCATED AT EAST KELLY PARK ROAD AND BAPTIST CAMP ROAD IN SECTION 10, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

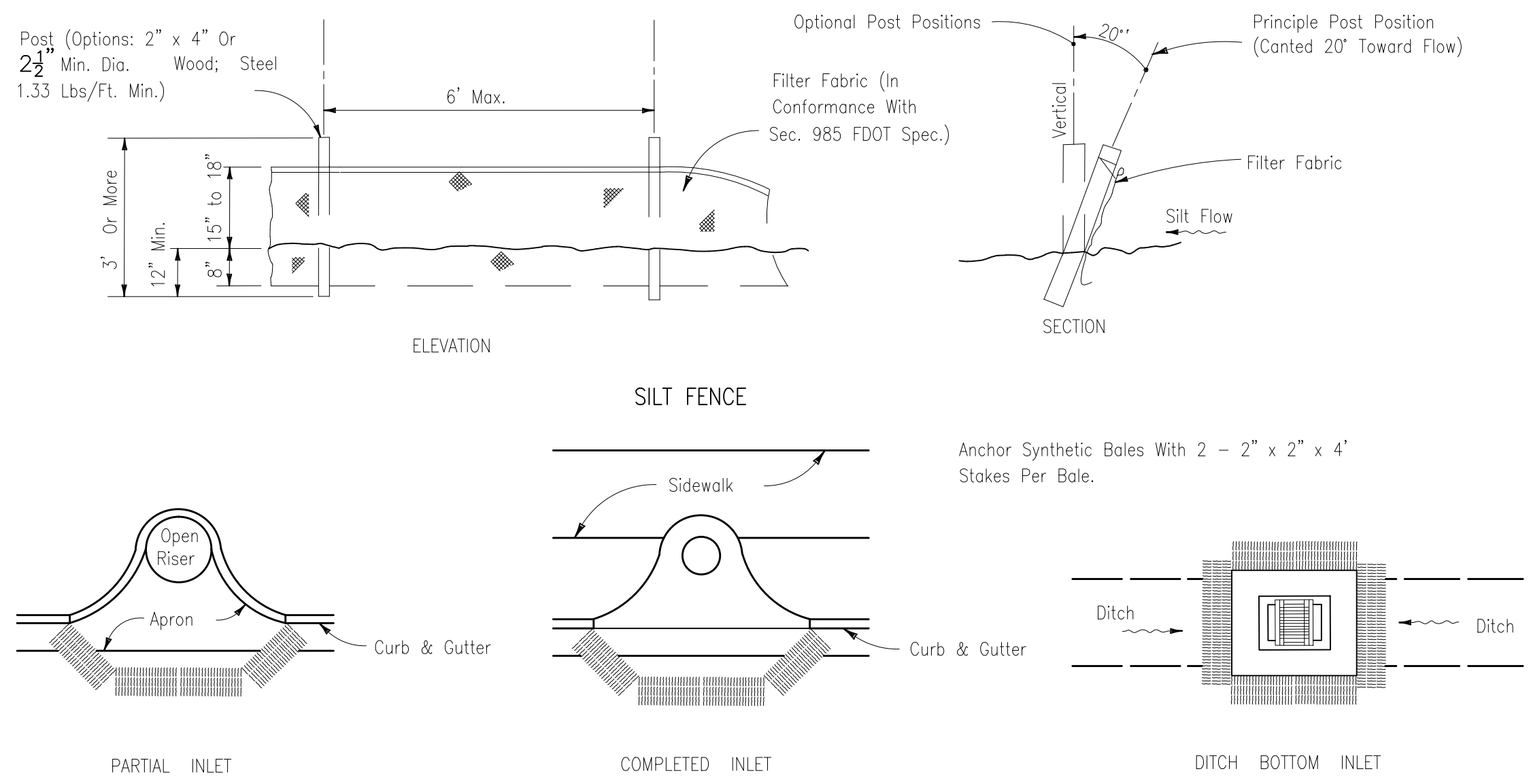
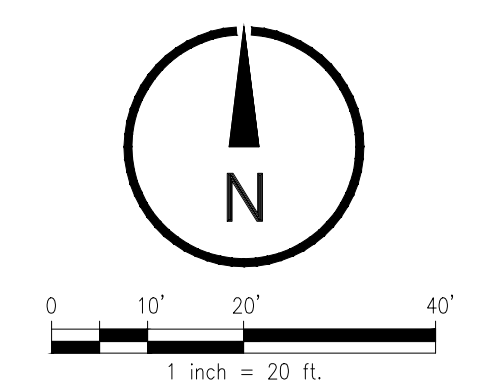
SURVEYOR'S REPORT:

1. VERTICAL INFORMATION SHOWN HEREON REFERS TO AN ORANGE COUNTY BENCHMARK POINT #1152016 WITH WITH A PUBLISHED ELEVATION = 94.332 NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
2. THE HORIZONTAL POSITIONS FOR ALL FEATURES SHOWN ON THE MAP ARE RELATIVE TO NORTH AMERICAN DATUM, NAD 1983, 2007 ADJUSTMENT, STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE.



VICINITY MAP

SCALE: NTS



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

1 EROSION CONTROL DETAILS

C001 NTS

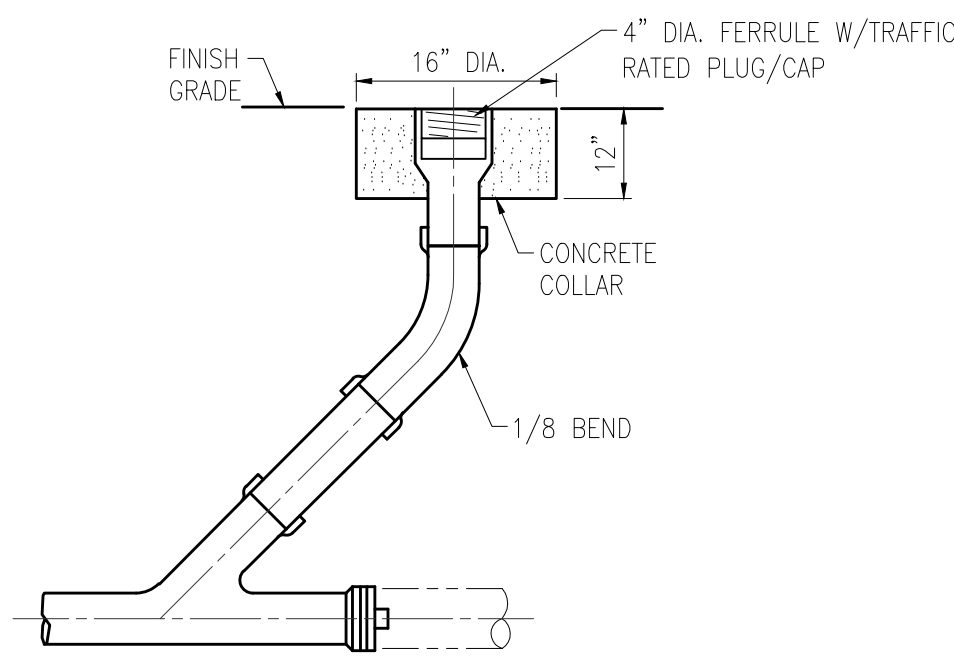
LEGEND		EXIST.	TO BE REMOVED
ASPHALT PAVEMENT		=====	=====
CONCRETE PAVEMENT		=====	=====
CONCRETE CURB		=====	=====
SIGN		○	○
CHAIN LINK FENCE		-X-X-X-	-X-X-X-
WATER LINE		— W —	— W —
SANITARY SEWER LINE		— SS —	— SS —
BURIED ELEC. LINE		— BEL —	— BEL —
LIGHT POLE		⊙	⊙
FIRE HYDRANT		⊙	⊙
SANITARY SEWER CLEANOUT		⊙	⊙
STORM DRAIN INLET		□	□
STORM YARD DRAIN		□	□
TREE		☆	⊗

URBAN DESIGN PLANNING ENGINEERING
SK Consortium, Inc.
 1053 N. ORLANDO AVE. SUITE 3 MAILLAND FLORIDA 32751
 TELEPHONE 407-629-4288 FACSIMILE 407-629-1656

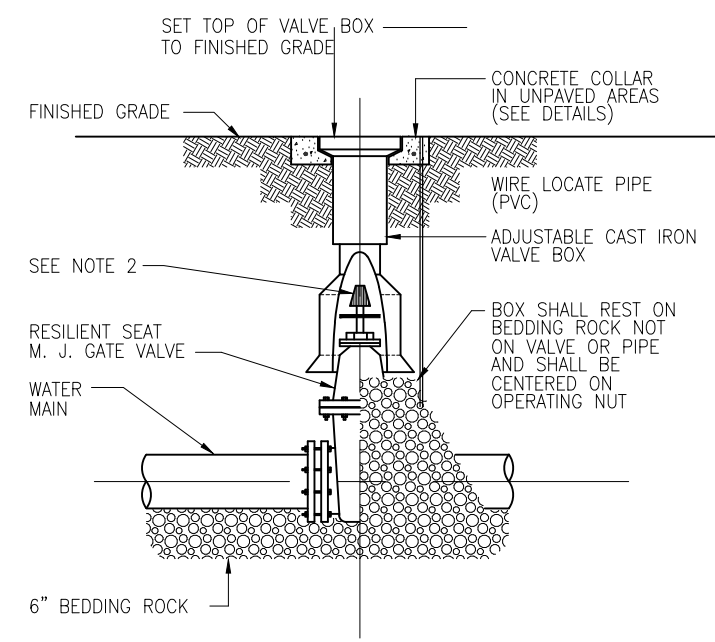
ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP17156)

PROJECT NO. 17-109	DATE 04-02-2018	PROJECT ADDRESS 400 E KELLY PARK RD. APOPA, FL 32712	DRAWING TITLE DEMOLITION AND EROSION CONTROL PLAN	CONSULTANTS BORELLI + PARTNERB ARCHITECTURE PLANNING LANDSCAPE INTERIOR ORLANDO, FL 32804 (407) 416-1338
PHASE POINT SET	SCALE	FILE NAME	DRAWN BY	CHECKED BY
17-109	1" = 20'	CP17156	JK	JK
OWNER NAME AND ADDRESS ORANGE COUNTY PARKS 400 E SOUTH STREET 5TH FLOOR ORLANDO, FLORIDA 32801		SIGNATURE AND DATED SEAL		
		AUDI KALAGICHI PE10106		

C001

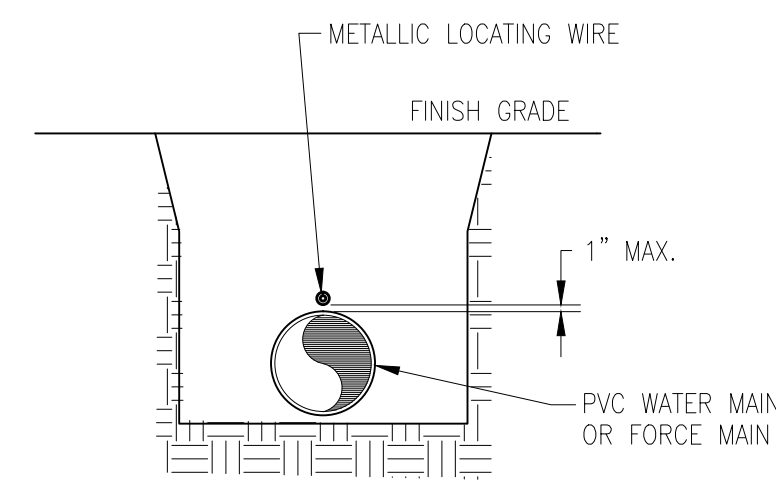


1 TYPICAL CLEANOUT DETAIL
C-401 NOT TO SCALE



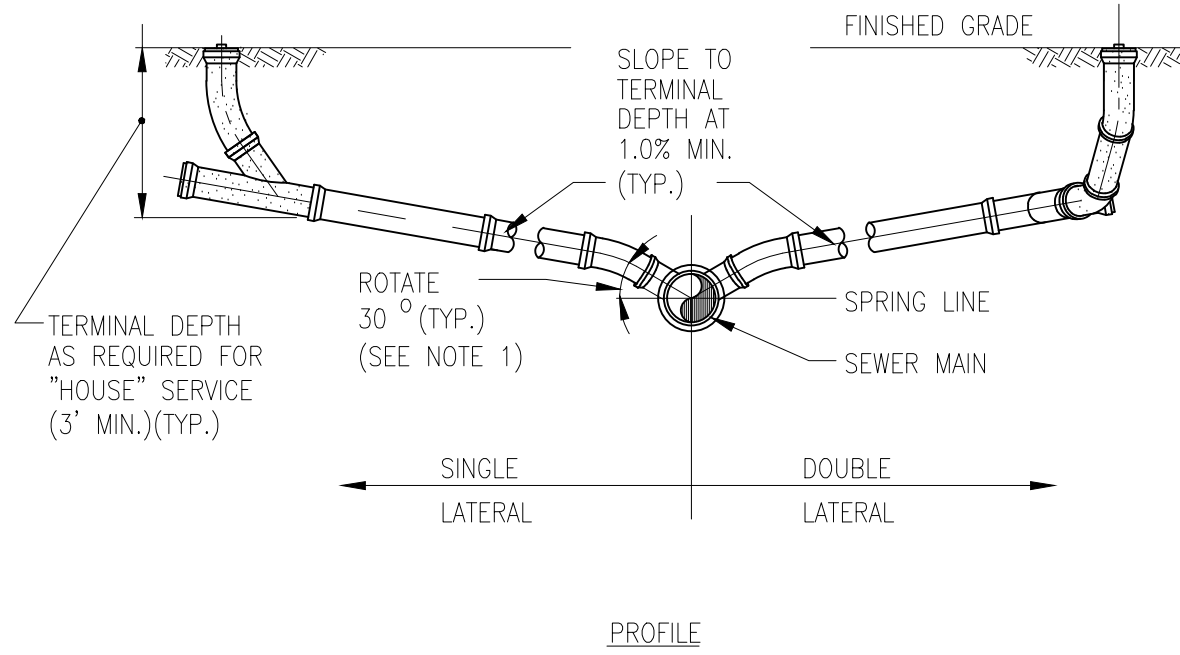
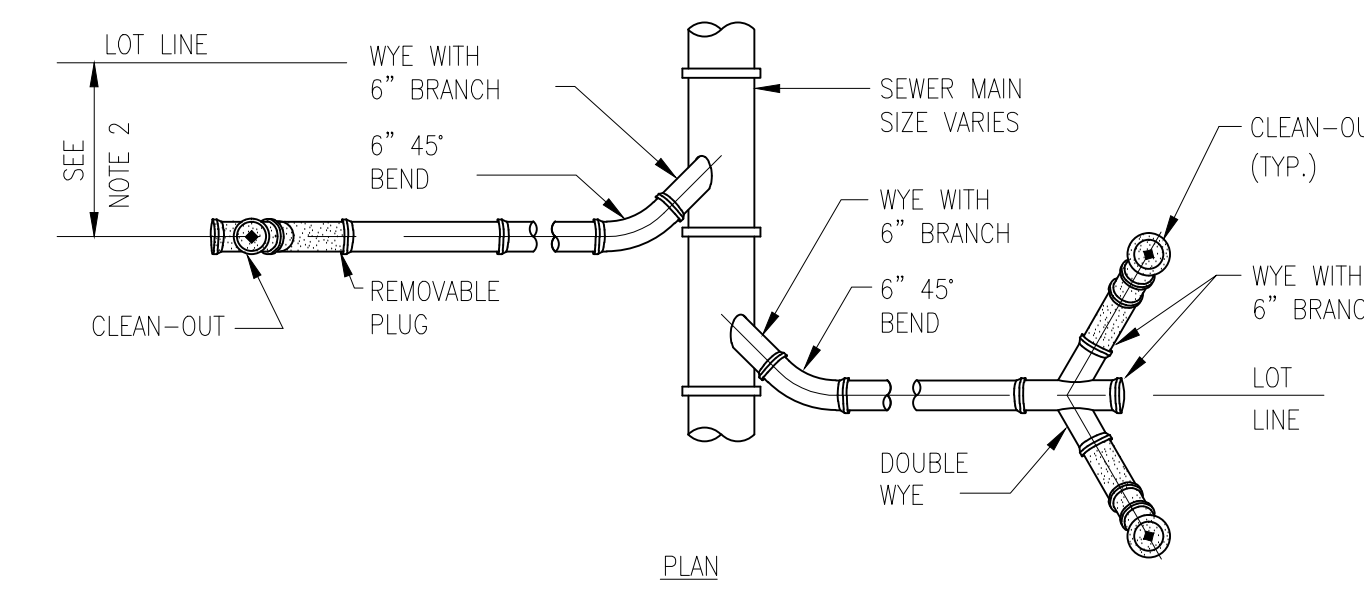
2 GATE VALVE AND BOX
C401

NOTES:
1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.



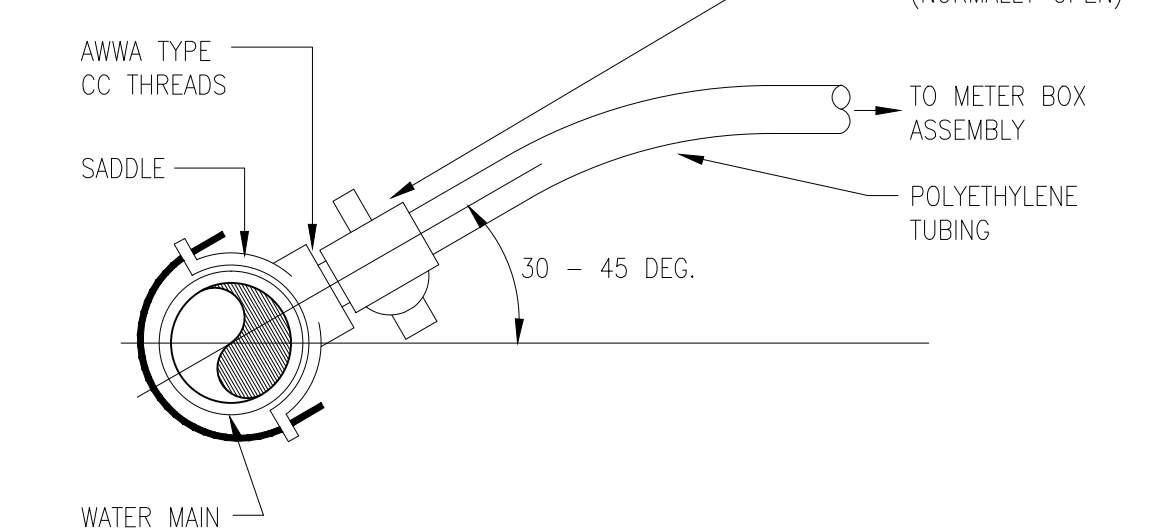
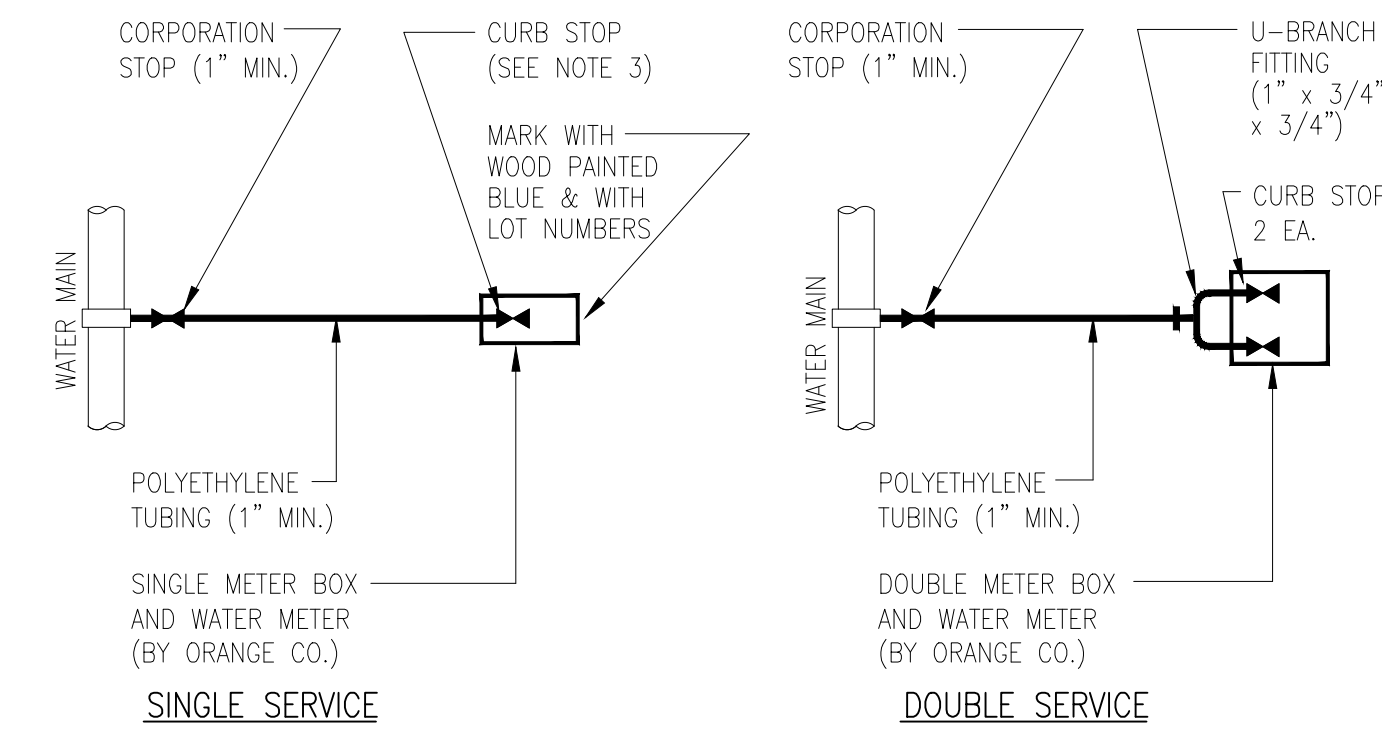
3 PVC PIPE LOCATING WIRE DETAIL
C-401 1/2"=1'-0"

NOTE:
1. ALL PVC PIPES LOCATED IN COUNTY R/W SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A LOCATOR AND SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE.
2. LOCATING WIRE SHALL TERMINATE AT THE TOP OF EACH VALVE BOX, AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.
3. USE DUCT TAPE AS NECESSARY TO HOLD WIRE DIRECTLY ON THE TOP OF THE PIPE.



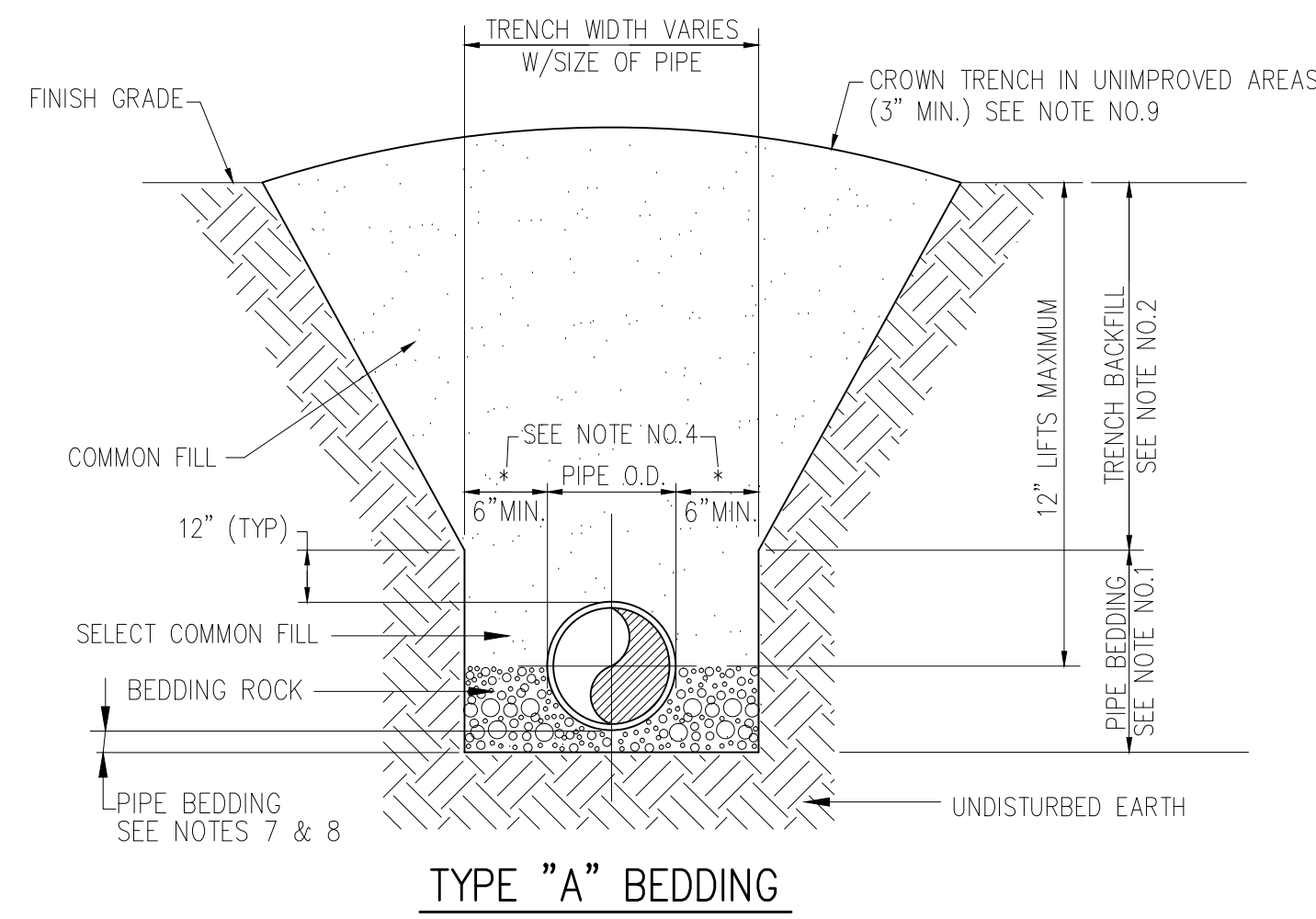
NOTES:
1. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.

4 SERVICE LATERAL DETAIL
C401 NTS

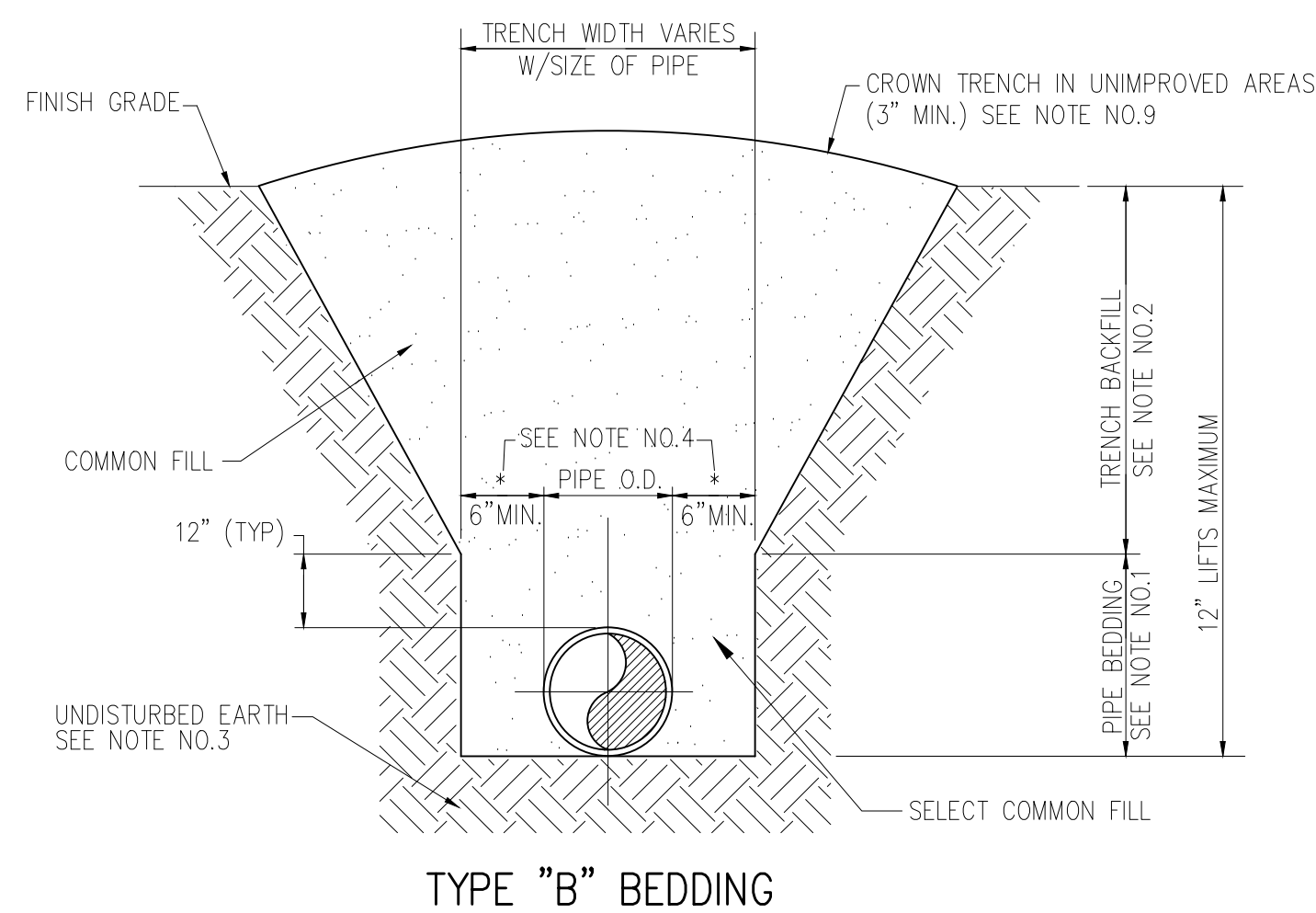


NOTES:
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/PACK JOINT TYPE CONNECTIONS.
2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
3. EACH SERVICE LINE SHALL TERMINATE AT A CURB STOP(S) WHICH SHALL BE BURIED APPROXIMATELY 3" BELOW FINAL GRADE AND SHALL BE CLEARLY MARKED WITH A 2" X 2" X 18" STAKE WITH THE TOP PAINTED BLUE AND MARKED WITH THE NUMBER OF THE LOT(S) TO BE SERVED.

5 WATER SERVICE CONNECTION DETAILS
C401



TYPE "A" BEDDING



TYPE "B" BEDDING

NOTES:
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE COUNTY.
4. (*): 15" MAX. FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
7. GRAVITY SEWERS SHALL UTILIZE TYPE A BEDDING, IF REQUIRED BY THE COUNTY. BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER LESS THAN 15" AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.
8. DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. COUNTY SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION.
9. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

6 UTILITY TRENCH DETAILS
C-401 NTS

URBAN DESIGN PLANNING ENGINEERING
SK Consortium, Inc.
1053 N. ORLANDO AVE. SUITE 3 MAILLAND FLORIDA 32751
TELEPHONE 407-629-4288 FACSIMILE 407-629-1656

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP17156)

BORELLI + PARTNERB
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
770 VASSAR STREET
ORLANDO, FL 32804 (407) 418-1338
CONTRACT NO. 17-109
BY THE COUNTY OF ORANGE, FLORIDA TO BE FURNISHED TO THE ENGINEER BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

CONSULTANTS
SIGNATURE AND DATED SEAL
PE10106
MAJID KALAGIRCHI

SITE DETAILS

PROJECT ADDRESS
400 E. KELLY PARK RD.
ORLANDO, FL 32712

OWNER NAME AND ADDRESS
ORANGE COUNTY PARKS
400 E. SOUTH STREET
5TH FLOOR
ORLANDO, FLORIDA 32801

PROJECT NO.	17-109	DATE	DESCRIPTION
PHASE	PERMIT SET		
SCALE			
FILE NAME			
DRAWN BY	AK		
CHECKED BY	AK		
DATE	04-02-2018		

C401

GENERAL NOTES

Coordinate with all drawings for pertinent information related to structural work. Any changes to the building structural system shall be redesigned by a professional engineer registered in the state of Florida. All changes must have prior authorization of the Architect and shall be made at no additional cost to the Owner or Architect. All calculations, drawings and other design information shall be submitted to the Architect as a reference submittal. Do not begin construction until Architect has given written authorization.

Building Code: Florida Building Code 6th Edition (2017).

Design Live Loads:

Roof----- 20 psf

Wind Design ASCE 7-10 Chapter 28 MWFRS Envelope Procedure and Chapter 30 Components and Cladding

Ultimate Design Wind Speed (Vult)----- 139 mph
Nominal Design Wind Speed (Vasd)----- 108 mph
Risk Category----- II

Exposure Category----- C
Internal Pressure Coefficients (Enclosed)---- +0.18 , -0.18

General Contractor shall verify all dimensions and conditions related to existing construction, existing services and the site.

Construction loads shall not exceed design live loads. Shoring and reshoring is the responsibility of the Contractor.

SHOP DRAWINGS

Shop drawings shall conform to the requirements of the Contract Documents unless the Architect has given written approval for changes.

All submittals are to be in electronic PDF format.

The General Contractor shall review, check and stamp "Approved" all shop drawings prior to submitting them to the Architect. Shop drawings which have not been stamped "Approved" by the General Contractor or which do not conform to the requirements of the Contract Documents will be rejected.

The General Contractor's approval of the shop drawings represents that he has checked and coordinated the information contained within them with the requirements of the Work and of the Contract Documents.

FOUNDATIONS

The Contractor shall become familiar with the survey and the sub-surface investigation report before starting construction.

Design Bearing Pressure: 2,000 psf on compacted soil.

Notify the Architect of any unusual soil conditions that are in variance with test borings, such as spring or seepage water encountered, or when a different bearing material is evident and there is a question of the bearing capacity.

Set foundation at elevations shown, or on firm undisturbed bearing material of design capacity, whichever is lower, as directed by the Architect. The Soils Engineer of Record shall verify that each footing is bearing on design material.

Foundation elevations shown on plan are top elevations, unless otherwise noted.

Step footings at a ratio of one vertical to two horizontal, with a maximum vertical step of 2'-0", unless otherwise noted.

Backfilling against foundation or pit walls will not be permitted until the supporting floors or walls are in place and able to resist the imposed forces. Proper temporary bracing may be used in lieu thereof with prior approval of the Architect. The design of temporary bracing is the responsibility of the Contractor.

Contractor shall be responsible for the design, installation and final clearance of any required needling, underpinning, shoring or bracing of existing structures.

CAST-IN-PLACE CONCRETE

Cast-in-place concrete work shall conform to ACI 318-14, "Building Code Requirements for Structural Concrete" and to the American Concrete Institute codes and standards listed in the Project Specifications, except as modified therein or on the drawings.

Minimum ultimate compressive strength of concrete at 28 days shall be 3,000 psi for footings, 4,000 psi for all others including concrete columns, beams, walls, and slabs on grade.

Normal Weight Aggregates: ASTM C 33.

Pea rock aggregate is not permitted for floor slabs on grade.

Reinforcing bars: ASTM A 615, Grade 60.

Welded wire fabric: ASTM A185.

Provide a minimum 6x6 - W1.4xW1.4 welded wire fabric in slabs on grade unless noted otherwise.

Place welded wire fabric, in slabs, 1-1/2" down from top of slab, unless otherwise noted.

Provide control joints in all slab on grade. The maximum spacing of control joints shall be 20'-0" o.c., unless otherwise noted.

Openings shall not be provided in framed slabs, beams or columns unless shown on structural drawings, or approved by the Architect in writing prior to placing. Cutting through framed beams and columns will not be permitted.

Reinforcing bar lap splices shall be 48 bar diameters unless noted otherwise. No splices will be permitted except where shown on the drawings.

All horizontal wall bars shall be bent and lapped around all corners, unless otherwise noted.

Provide a minimum of 2-#5 top reinforcing bars in beams where no other bars are available for supporting stirrups.

All horizontal footing, masonry bond and concrete beam bars shall be bent and lapped around all corners unless otherwise noted.

All wall footing and thickend slab reinforcing shall extend to intersecting centerline of column footings.

Concrete beams shall have 8" bearing on masonry walls, unless otherwise noted.

Chamfer exposed edges on concrete 3/4" x 3/4", unless otherwise noted.

Refer to architectural drawings for location and extent of finishes or other treatments to exposed concrete.

Determine size and location of mechanical equipment, and make provisions for bolts, sleeves, pads, etc., from manufacturer's certified drawings. This work shall be coordinated with the trades involved.

MASONRY WORK

Masonry work shall conform to ACI 530-13/ASCE5-13 "Building Code Requirements for Masonry Structures and ACI 530.1-13/ASCE6-13 "Specification for Masonry Structures".

Submit manufacturer's product data for each type of masonry unit, accessory, wall reinforcement, anchors, or other manufactured product of system used, including certifications that each type or assembly complies with specified requirements. Show all fire resistance ratings and at which locations those apply. See Project Specifications for detailed submittal requirements.

Hollow Concrete Masonry Units: Standard, Regular Weight, conforming to ASTM C90, Grade N-II, average unit compressive strength of 1,900 PSI.

Mortar shall be ASTM C270 Type S. Minimum compressive strength of 1,800 psi. Specified compressive strength of masonry f'm= 1,500 psi.

Grout shall conform to ASTM C476. Use fine grout when grouting cells of hollow masonry units, with or without vertical reinforcing. Use coarse grout when grouting bond beams. Grout slump to be 8" TO 11", f'c28 = 3,000 PSI.

Provide solid masonry, 32" long and 16" high, centered under each wall bearing steel beam, precast concrete beam or cast-in-place concrete beam.

Grout cores behind expansion bolts anchors solid. Do not install anchors in head joints.

Wall reinforcement for concrete block shall be cold drawn steel wire per ASTM A32, hot-dipped galvanized per ASTM A153, Class B2 coating.

All masonry walls shall have hot-dipped galvanized horizontal reinforcing of Ladder type, #9 gage side rods and #9 gage cross rods spaced 16" on-center vertically.

Provide special prefabricated units at corners and intersections.

Conventional reinforcing bars, horizontal and vertical, shall be ASTM A615, Grade 60.

All units shall be laid with full mortar coverage on head, bed (face shells), webs and collar joints, unless otherwise noted.

Provide #5 vertical in concrete filled cells at 2'-0" on center maximum spacing and #5 horizontal in knock-out block below window sill extending 2'-0" beyond sides of opening, unless otherwise noted.

Provide precast concrete "U" lintels of sufficient capacity to support the imposed loads over all openings.

The masonry walls are not designed to withstand temporary construction loads. It is the Contractor's responsibility at all times to maintain wall stability during the construction phase of the project.

Use Low-lift grouting techniques. For low lift grouting lay CMU to maximum pour height. Do not exceed 5' height, or if bond beam occurs below 5' height, stop pour at course below bond beam.

Vertical cores to be filled are to have an unobstructed alignment.

Whenever work is stopped for one hour or longer, a horizontal construction joint shall be made by stopping the grout pour about 1-1/2" below the top of the masonry unit to form a key with the next lift.

During placement, grout is to be rodded or mechanically vibrated to ensure complete filling of the grout space and solid embedment of the reinforcement.

Terminate intermediate grout pours 1-1/2" below top course of pour.

Masonry protrusions projecting more than 3/8" into the grout space are to be removed. Care is to be taken that excess mortar does not extrude and fall into the grout space.

Vertical and horizontal reinforcing bars are to be accurately positioned and rigidly secured at intervals by wire ties or spacing devices.

STRUCTURAL METAL

Detail, fabricate and erect structural steel in accordance with the American Institute of Steel Construction Specification for Structural Steel Buildings - Allowable Stress Design.

Structural Steel: ASTM A36 - rolled plates, shapes, bars, and rod except

ASTM A992 Gr 50 Wide Flange Shapes
ASTM A53, type E or S, Grade B - pipe or
ASTM A501 - pipe
ASTM A500, Grade B - tubing

Bolts: 3/4" diameter minimum, unless noted otherwise.
ASTM A325 bearing type for all beam and column connections.
ASTM F1554 Gr 36 for all anchor bolts.

HILTI Kwik Bolt 3 Expansion Anchors - Metro-Dade County NOA No. #06-0810.13

Welding electrodes shall be E70XX. For welding symbols no length dimension given, the welding shall be continuous between abrupt changes in direction.

Welding shall be done by certified welders in accordance with the American Welding Society standards.

Do not weld until the part of the structure stiffened thereby has been properly aligned. Sequence the placing of welds to avoid distortion.

STRUCTURAL WOOD

Detail, fabricate and erect structural wood in accordance with The American Institute of Timber Construction Standards and Specifications.

Stress-grade lumber for joists, beams, columns, ledger plates, bracing shall develop minimum working stresses and a modulus of elasticity as follows:

Species-----Southern Pine #2 (SP)
Bending (Single Members)-----1250 psi
Tension Parallel to Grain-----725 psi
Horizontal Shear-----90 psi
Compression Parallel to Grain-----1600 psi
Compression Perpendicular to Grain-----565 psi
Modulus of Elasticity-----1,600,000 psi
Specific Gravity-----0.55

Stress-grade lumber for structural wall studs shall develop minimum working stresses and a modulus of elasticity as follows:

Species-----Southern Pine #2 (SP)
Bending (Single Members)-----1500 psi
Tension Parallel to Grain-----825 psi
Horizontal Shear-----90 psi
Compression Parallel to Grain-----1650 psi
Compression Perpendicular to Grain-----565 psi
Modulus of Elasticity-----1,600,000 psi
Specific Gravity-----0.55

Miscellaneous steel shall conform to ASTM A36 and bolts shall conform to ASTM A307.

Stud Framing shall be spaced at 16" on center, unless otherwise shown. Double studs at all corners, angles, and openings.

Provide all blocking and fire stops that are required by Building Officials and/or truss manufacturer.

Provide framing and blocking to support all edges of openings in floor and roof decks.

All wood exposed to weather or in contact with ground, concrete or masonry to be pressure treated.

PRE-MANUFACTURED WOOD TRUSSES

The wood and fabrication criteria of all pre-fabricated wood trusses shall meet with "National Design Specifications for Stress-Grade Lumber and its Fastening", by National Forest Products Associations; "Timber Construction Manual" (latest revision); and "Design Specification for Light Metal Plate Connected Wood Trusses", by Truss Plate Institute.

All lumber used for the truss members shall conform to the published stress rating for the species and grades as set out in the official grading rules of the appropriate lumber association or as listed in the reference specifications; except that, wherever this specifications, or notes on the plans or truss engineering design calls for lumber which exceeds the minimum set forth therein, the specification, plans and/or truss engineering designs shall be applicable.

All truss connector plates shall be manufactured from only prime commercial quality galvanized sheet metal of no less than 20 gage thickness which has a minimum yield of 33,000 psi and a minimum ultimate tensile strength of 48,000 psi

The corrosion-resistant coating shall be G-60 commercial class, hotdipped galvanized before stamping.

See Project Specifications for detailed Submittal requirements. Submittals include as follows:

Manufacturer's product data and installation instructions.

Shop drawings showing design and fabrications data, member, materials, type, location, pitch, spacing, span, size of members, method of attachment to supporting members, and all necessary erection details. Indicate supplemental bracing, strapping, splices, bridging, accessories and details required for proper installation.

Where field connections of truss sub-assemblies are necessary, the connections shall be in accordance with the details shown on the truss design drawings and approved by a professional licensed engineer and the architect.

Indicate design loadings of trusses and allowable stress increase; camber and permanent bracing required to prevent compression buckling of individual truss members.

Submit detailed truss layout.

All truss designs shall bear the name and seal and/or registered number of a Florida licensed professional engineer.

All truss drawings shall be furnished by the fabricator. All critical dimensions for determining fit and placement shall be approved by the General Contractor and Architect prior to fabrication.

Finish: Provide components with protective zinc coating complying with ASTM A653, minimum G60 coating.

Do not alter, cut, or remove truss members or connection of truss members. Erect trusses with plane of truss webs plumb and parallel to each other, align, and accurately position at spacing indicated.

Install continuous bridging and permanent truss bracing per truss design requirements.

Install necessary roof cross and diagonal bracing per design drawings.

Erection of trusses, including proper handling, safety precautions, temporary bracing and other safeguards or procedures are the responsibility of the Contractor and Contractor's installer.

Exercise care and provide erection bracing required to prevent toppling of trusses during erection.

Provide vapor barrier at all trusses bearing directly on masonry.

PLYWOOD DIAPHRAGMS

Plywood shall be attached according to the following schedule:

USE	PLYWOOD THICKNESS	NAILING @ EDGE	NAILING @ INT. SUPPORTS
Roof Deck	5/8"	8d @ 4"	8d @ 6"
Exterior Walls	5/8"	8d @ 6"	8d @ 12"

Wall sheathing - nail spacing shall be 4" on center at corner studs, in all cases.

Block all edges of plywood attached to walls. Galvanized ring shank nails shall be used on the roof deck and galvanized common wire nails at shearwalls.

Install plywood roof deck with a minimum 2'-0" offset in plywood joints.

Plyclips shall be used between all unsupported edges of plywood roof deck. Install one (1) in spans from 1'-0" to 2'-0" and two (2) in spans greater than 2'-0".

Plywood roof deck shall be installed with the long dimension perpendicular to roof trusses.

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GENERAL NOTES

PROJECT NO.	DATE	DESCRIPTION	REV.
17-109			
PHASE	PERMIT SET		
SCALE	N.T.S.		
FILE NAME	CAD FILE		
DRAWN BY	CLS		
CHECKED BY	CLC		
DATE	04-05-2018		

S-100

SIGNATURE AND DATED SEAL

CONSULTANTS

DRAWING TITLE

PROJECT ADDRESS

OWNER NAME AND ADDRESS

400 E. KELLY PARK RD., APOPKA, FLORIDA 32712

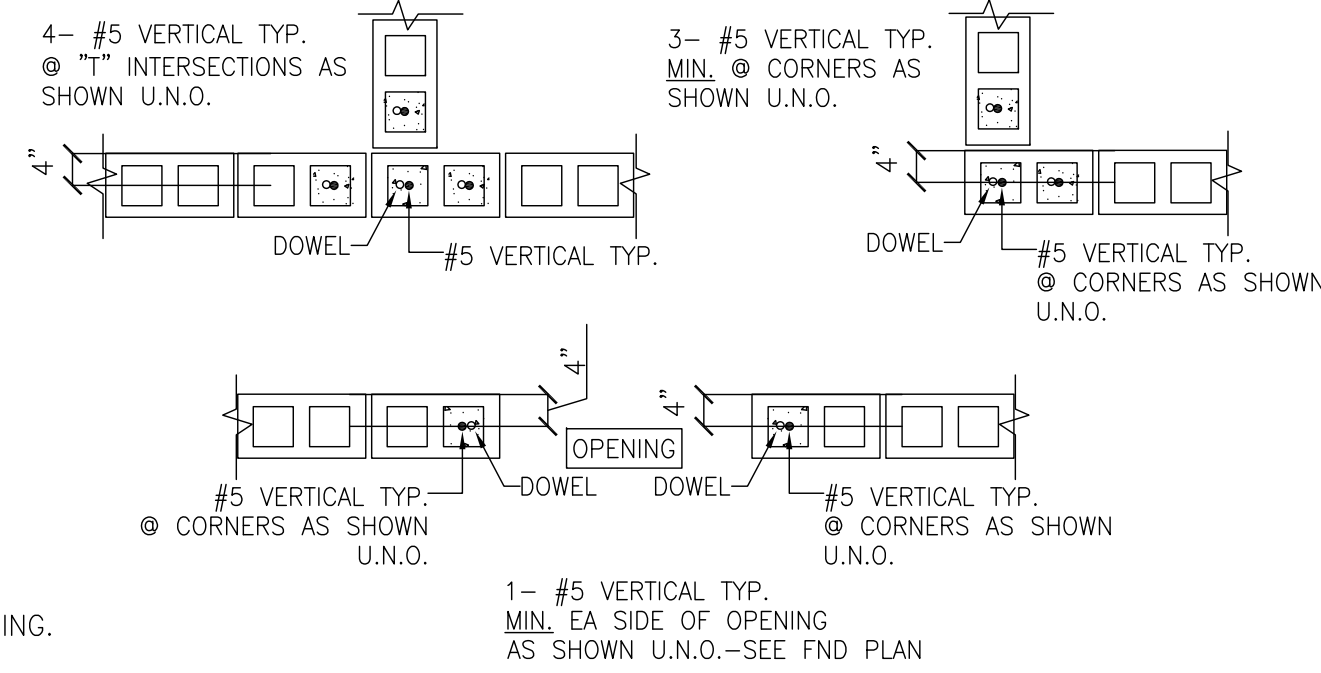
ORANGE COUNTY PARKS, 400 E. SOUTH STREET, 5TH FLOOR, ORLANDO, FLORIDA 32801

#35251

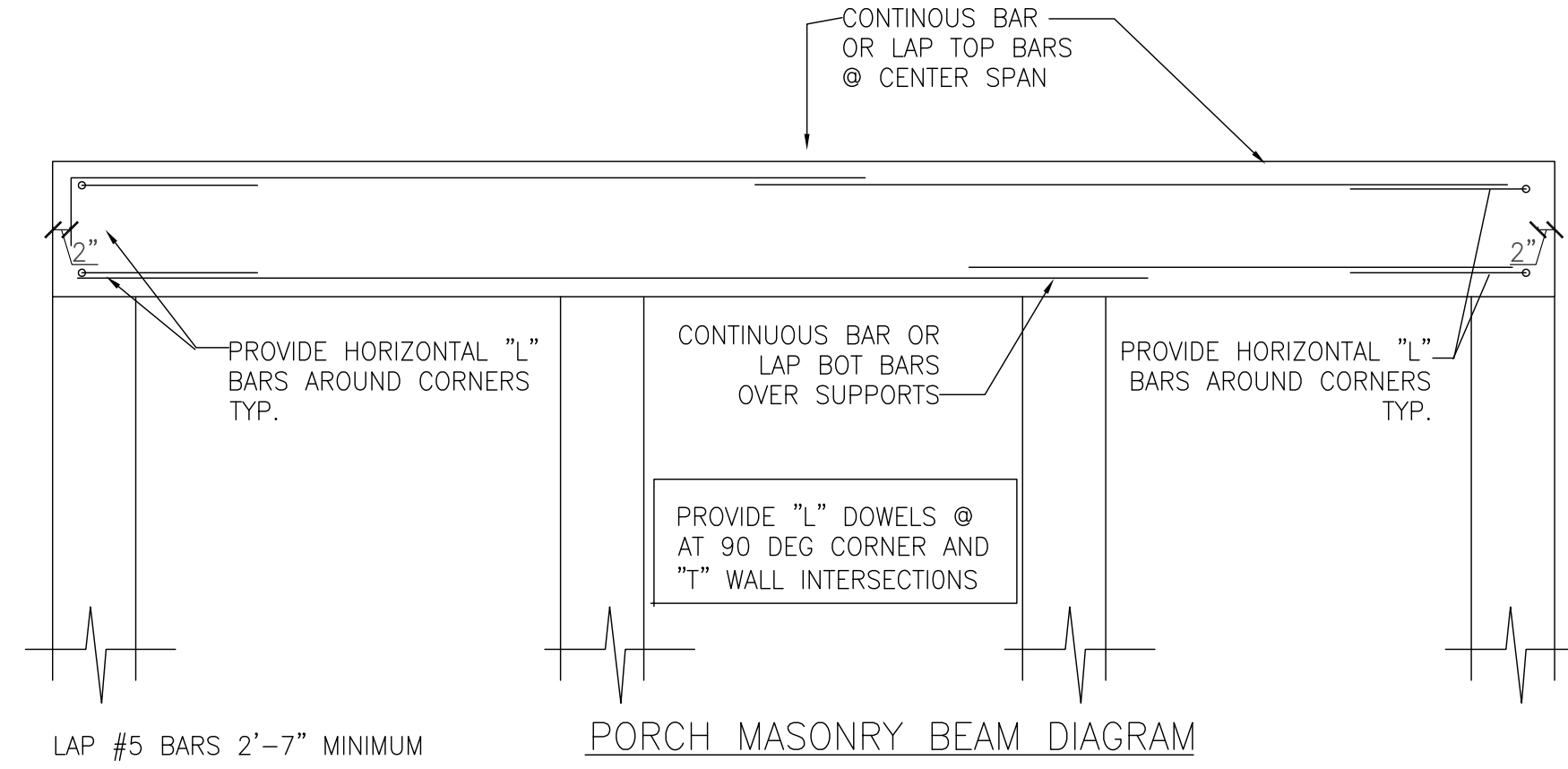
Cinda L. Chalkias

MASONRY WALL LINTEL SCHEDULE					
TYPE	OPENING WIDTH	LINTEL SIZE B X H	COMPOSITE SAFE LOAD LBS/FT	FIELD REINFORCING*	REMARKS
L-1	2'-8"	8" X 24"	8,974	1-#5 EA COURSE	
L-2	3'-4"	8" X 16"	6,113	1-#5 EA COURSE	
L-3	6'-8"	8" X 16"	1,843	1-#5 EA COURSE	
L-4	8'-8"	8" X 16"	1,533	1-#5 EA COURSE	
L-5	10'-0"	8" X 16"	1,366	1-#5 EA COURSE	
L-6	11'-4"	8" X 16"	1,075	1-#5 EA COURSE	
L-7	1'-4"	8" X 8"		1-#5	masonry lintel

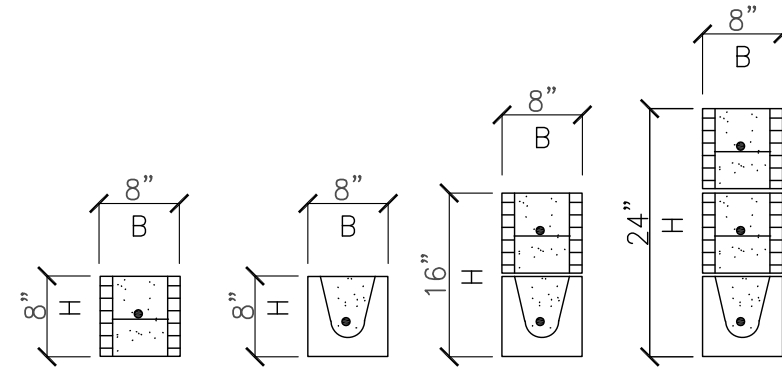
* FIELD REINFORCING IS PLACED IN FIELD AND IS IN ADDITIONS TO PRECAST LINTEL REINFORCING. EXTEND REINFORCING 2'-0" MINIMUM BEYOND SIDES OF OPENING U.N.O.



TYPICAL MASONRY WALL DETAILS U.N.O. - SEE FOUNDATION PLAN



PORCH MASONRY BEAM DIAGRAM



REINF. TO BE AS SHOWN - CONTINUOUS BOND BM REINF. TO BE CONSIDERED AS PART OF LINTEL REINF. GROUT PRECAST LINTELS AT THE SAME TIME AS COMPOSITE BOND BEAMS.

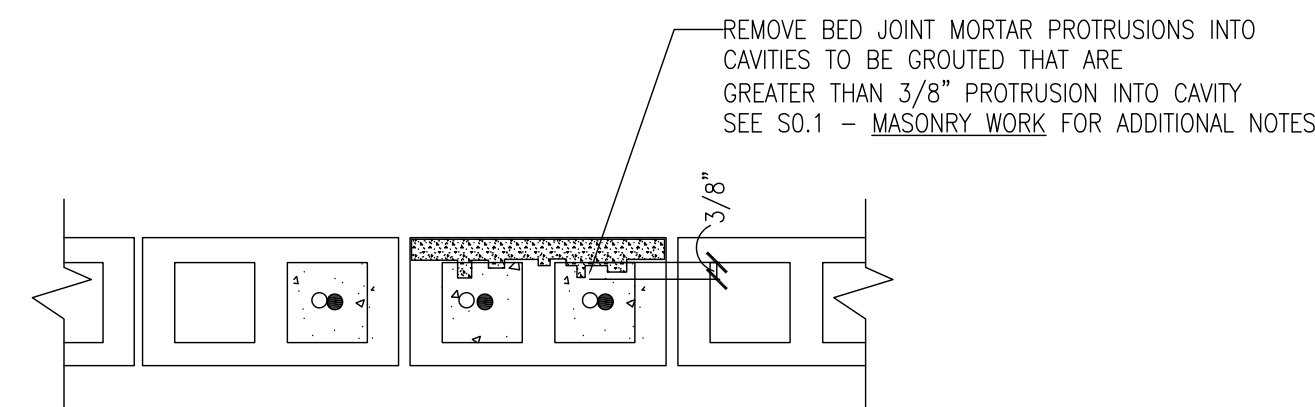
LINTELS TO BE PRECAST CONCRETE "U" LINTELS - AS MANUFACTURED BY CAST-CRETE FLORIDA CERTIFICATE OF PRODUCT APPROVAL NO. FL158.

SEE MANUFACTURER'S SAFE LOAD TABLES AND DESIGN CROSS SECTIONS FOR EXACT REINFORCING, DIMENSIONS AND SPECIFICATIONS.

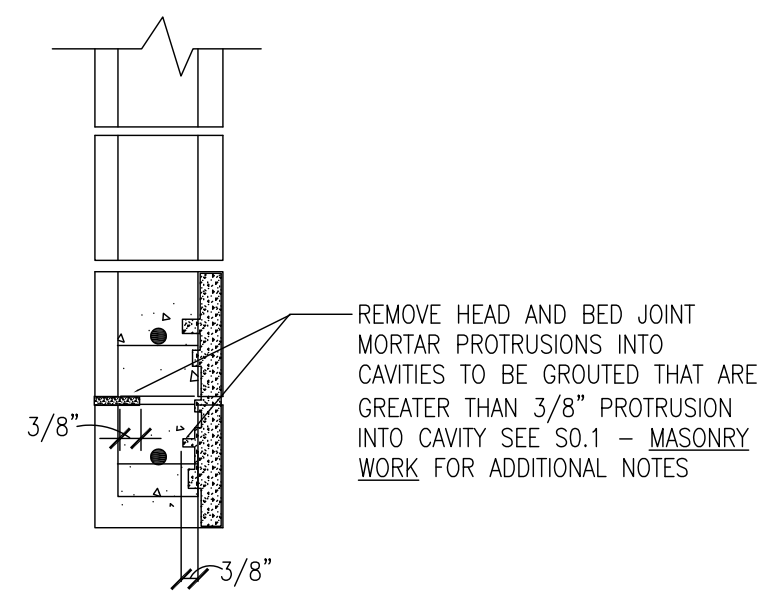
WHERE LINTEL CONSISTS OF 2 OR MORE COURSES GROUT ALL COURSES AT SAME TIME.

LINTELS ARE TO BEAR A MINIMUM OF 8" AT EACH END U.N.O.

PROVIDE PRECAST LINTEL OVER ALL MECHANICAL MASONRY WALL OPENINGS 2'-0" AND WIDER U.N.O. PROVIDE LINTELS AT MECH DUCTS AND LOUVERS AS REQUIRED - SEE ARCH/MECH DWGS.



PLAN SECTION REINFORCED AND GROUTED WALL



BOND BEAM SECTION

MASONRY BOND BEAM SCHEDULE				
BB-1	8" X 16"	1-#5 CONT.	1-#5 CONT.	TYP. AT TOPS OF MASONRY WALLS & AT ELEV 7'-4" (BM BOT.) U.N.O.

NOTE - ALL FASTENERS AND CONNECTORS EXPOSED TO EXTERIOR TO BE GALVANIZED OR STAINLESS STEEL

WOOD CONNECTOR SCHEDULE			
T1	SIMPSON	HETA16 w/ TSS vapor barrier	9 - 10d x 1-1/2" min. 4" embedment & 2" min edge distance
T2	SIMPSON	2 - HETA16 w/ TSS vapor barrier	12 - 16d - half ea strap. Place one strap on each side of 2-ply truss girder min. 4" embedment & 2" min edge distance

FOOTING SCHEDULE		
MARK	SIZE WIDTHxLENGTHxDEPTH	REINFORCEMENT
SF1.0	1'-0" X CONT. X 16"	2-#5 CONT. LW BOT 1-#5 CONT. LW TOP
WF1.5	1'-6" X CONT. X 12"	2-#5 CONT. LW BOT 2-#5 CONT. LW TOP #3 @ 12" OC THRUOUT
F3.0	3'-0" X 3'-0" X 16"	4-#5 EA WAY TOP AND BOTTOM

MASONRY WALL REINFORCING SCHEDULE			
MARK	THICKNESS	VERT WALL REINF IN GROUTED CELL *	REMARKS
MW4.0	8"	#5 @ 48" OC CENTER IN CELL	GROUT SOLID 48" GROUT SOLID #5 VERTICAL TYP.
MW2.6	8"	#5 @ 2'-8" OC CENTER IN CELL	GROUT SOLID 32" GROUT SOLID #5 VERTICAL TYP.

VERTICAL MASONRY WALL REINFORCING TO HAVE STD HOOKED DOWELS INTO ROOF BEAM AT TOP OF WALL - TYPICAL

LAP #5 VERTICAL BARS 2'-7" U.N.O.

* PLUS ADDITIONAL REINFORCING AS INDICATED ON PLANS AS WELL AS PLACE VERTICAL WALL REINF AT ALL INTERSECTIONS, CORNERS, ENDS OF WALLS, WALL CONTROL JOINTS AND SIDES OF OPENINGS. PROVIDE FOOTING DOWELS TO MATCH. PROVIDE HOOKED DOWELS AT TOPS OF WALLS INTO UPPERMOST BEAMS. LAP REINFORCING 48 BAR DIAMETERS U.N.O. EXCEPT LAP #5 BARS 2'-7" MIN.

NOTE - GROUT ALL STEM WALLS BELOW GRADE SOLID.

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

BORRELLI PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
770 VASSAR STREET
ORLANDO, FL 32804 (407) 418-1338

CONTRACTOR'S RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THAT THE CONTRACTOR IS REGISTERED WITH THE APPROPRIATE STATE AGENCIES.
#35251
Chris L. Chulavka

C. LOUIS
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SCHEDULES

PROJECT ADDRESS
400 E. KELLY PARK RD.
APOPKA, FLORIDA 32712

OWNER NAME AND ADDRESS
ORANGE COUNTY PARKS
400 E. SOUTH STREET
5TH FLOOR
ORLANDO, FLORIDA 32801

PROJECT NO.	PHASE	SCALE	FILE NAME	DRAWN BY	CHECKED BY	DATE
17-109	PERMIT SET	N.T.S.	CAD FILE	CLS	CLC	04-05-2018

S-101

FLOOR CONSTRUCTION: 4" MINIMUM THICK SLAB ON GRADE WITH W.W.F. 6X6-W2.1XW2.1 ON 15 MIL OLEFIN VAPOR BARRIER WITH 6" OVERLAP ON TERMITE TREATED COMPACTED SOIL. F'c28 = 4,000 PSI

TOP OF SLAB REFERENCE ELEVATION = 0'-0"

FLAIR SLOPED SLABS AT MAN DOORS TO PROVIDE A FLUSH THRESHOLD WITH SLAB AT OTHER SIDE.

TOP OF FOOTING ELEVATION -2'-0" UNLESS OTHERWISE NOTED.

■ INDICATES #5 VERTICAL MASONRY WALL REINFORCING—SEE MASONRY WALL REINFORCING SCHEDULE ON S101 FOR REINFORCING IN ADDITION TO THAT SCHEDULED. REINF. WALLS ACCORDING TO MW4.0 U.N.O.

□ INDICATES #5 VERTICAL MASONRY WALL REINFORCING @ 2'-0" OC MAX SPACING BELOW AND ABOVE OPENING.

MASONRY WALLS ARE 8" NORMAL WT BLOCK TYPICAL

ALL MASONRY STEM WALLS BELOW GRADE ARE TO BE GROUTED SOLID.

DIMENSIONS SHOWN ON STRUCTURAL FOR REFERENCE ONLY—SEE ARCHITECTURAL DWGS FOR DIMENSIONS—IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.

SEE TYPICAL SLAB AND STEP FOOTING DETAILS ON S-104. SEE S101 FOR FOOTING SCHEDULE.

SEE S103 FOR MASONRY WALL LINTEL (L-X) LOCATIONS. SEE LINTEL SCHEDULES ON S-101.

SEE ARCHITECTURAL DWGS FOR DIMENSIONS OF DEPRESSED SLAB AREAS TYPICAL.

SEE PLUMBING PLANS FOR FLOOR DRAIN LOCATIONS - SLOPE SLAB TO DRAINS.

PROVIDE HOUSEKEEPING PADS AT EQUIPMENT AS PER MECHANICAL AND PLUMBING DWGS. AND SPECIFICATIONS.

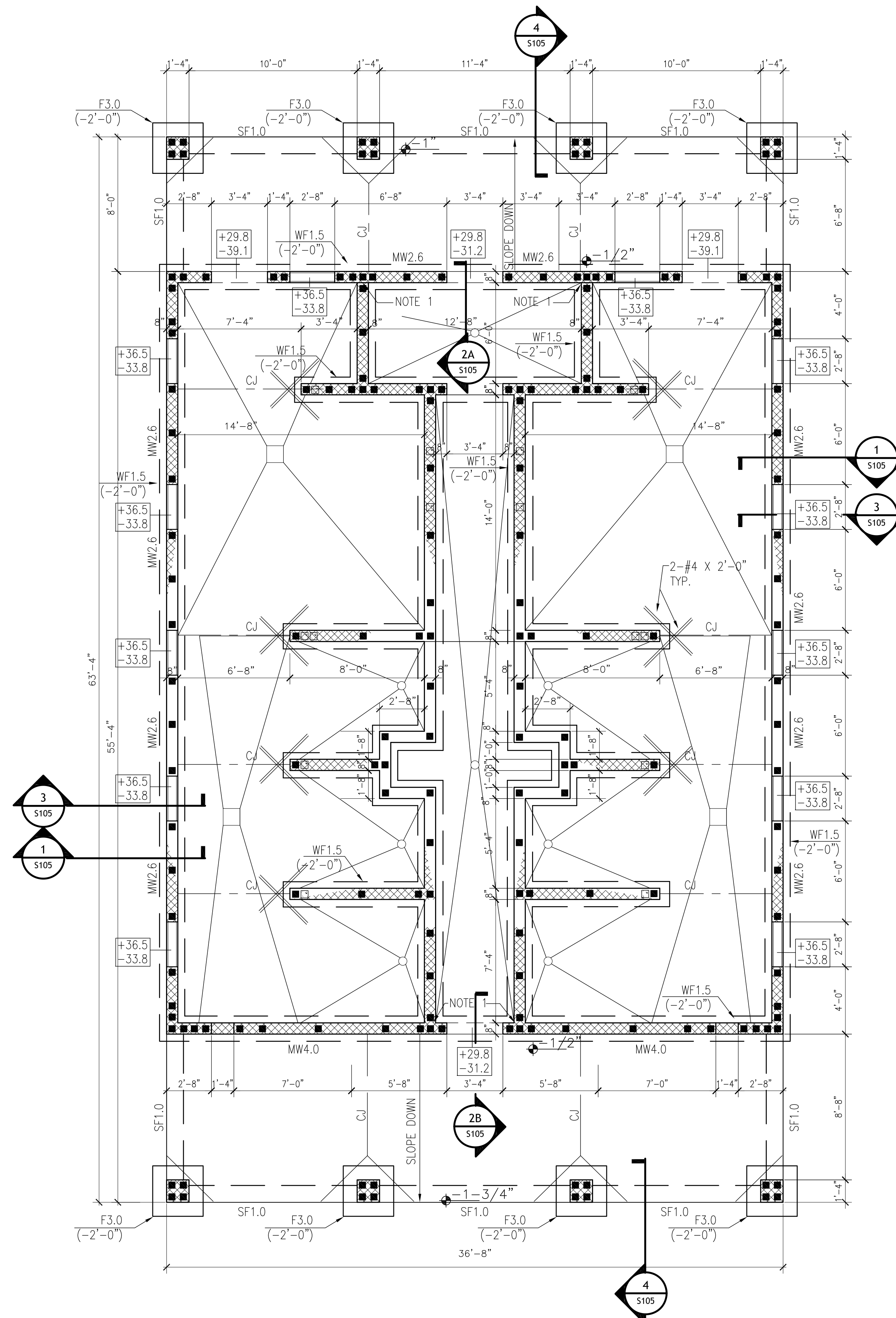
CONTRACTOR TO COORDINATE TOP OF FOOTING ELEVATION AND FOOTING STEP LOCATIONS WITH CIVIL, MECHANICAL, ELECTRICAL AND PLUMBING PIPING AND CONDUIT—TO PASS THRU MASONRY STEM WALL ABOVE FOOTING. PROVIDE LINTELS IN MASONRY STEM WALL AT PIPING AND CONDUIT AS REQUIRED.

COMPONENT NOMINAL (ASD) WIND LOAD ON OPENINGS

+24.5 INDICATES COMPONENT WIND LOAD ON OPENINGS IN PSF
-26.7 + INDICATES PRESSURE ; - INDICATES SUCTION

PROVIDE #5 VERTICAL IN CONCRETE FILLED CELLS AT 2'-0" ON CENTER MAXIMUM SPACING BELOW WINDOW OPENINGS U.N.O. AND PROVIDE #5 KNOCK-OUT BLOCK BOND BEAM BELOW WINDOW OPENINGS EXTENDING BM REINF. 2'-0" BEYOND SIDES OF OPENING, U.N.O.

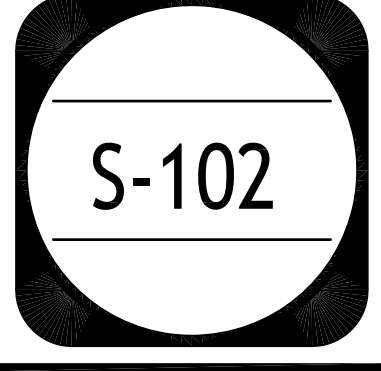
USE NOTE 2 RIGID TIE AT TYPICAL MASONRY WALL INTERSECTION IF MASONRY NOT INTERLOCKED. EXCEPT USE NOTE 1 ADJUSTABLE MASONRY TIE WHERE INDICATED - SEE DETAIL 7 AND 8 ON S104.



1 FOUNDATION PLAN
S102 1/4"=1'-0"

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

<p>BORRELLI PARTNERS ARCHITECTURE PLANNING LANDSCAPE INTERIOR 770 VASSAR STREET ORLANDO, FL 32804 (407) 418-1338</p>		<p>CONVENTIONAL DESIGN PROVIDED BY ARCHITECT OF RECORD. ARCHITECT'S LIABILITY LIMITED TO CONTRACT VALUE. PROVIDER OF PARTY EXCEPT AS NOTED BY THE ARCHITECT. COPYRIGHT BORRELLI PARTNERS, INC. 2017</p>	
<p>PROJECT ADDRESS 400 E. KELLY PARK RD. APOPPA, FL 32712</p>		<p>OWNER NAME AND ADDRESS ORANGE COUNTY PARKS 400 E. SOUTH STREET 5TH FLOOR ORLANDO, FLORIDA 32801</p>	
<p>PROJECT NO. 17-109</p>		<p>DATE 04-05-2018</p>	
<p>PHASE PERMIT SET</p>		<p>SCALE 1/4"=1'-0"</p>	
<p>FILE NAME CAD FILE</p>		<p>DRAWN BY CLS</p>	
<p>CHECKED BY CLS</p>		<p>DATE 04-05-2018</p>	
<p>PROJECT TITLE DRAWING TITLE</p>		<p>FOUNDATION PLAN</p>	
<p>CONSULTANTS</p>		<p>STRUCTURAL ENGINEERS C. Louis 901 Douglas Avenue Suite 203 Altamonte Springs Florida 32714 407/869-5533 FL Certificate of Authorization No. 6453 CLOUISINC@AOL.COM</p>	
<p>SIGNATURE AND DATED SEAL</p>		<p>#35251 Cinda L. Chulavskas</p>	



ROOF CONSTRUCTION: 5/8" THICK CDX EXTERIOR PLYWOOD SHEATHING ON PREMANUFACTURED WOOD TRUSSES SPACED AT 2'-0" ON CENTER MAXIMUM. ATTACH SHEATHING WITH 8d GALV RING-SHANKED NAILS SPACED AT 4" ON CENTER AT EDGES AND 6" ON CENTER AT INTERMEDIATE SUPPORTS.

PROVIDE VAPOR BARRIER AT TRUSS BEARING ON MASONRY - TYPICAL.

PRE-MANUFACTURED WOOD TRUSS DESIGN LOADS:

TOP CHORD:
 DL: 11 PSF
 LL: 20 PSF
 31 PSF

BOTTOM CHORD:
 DL: 19 PSF
 LL: 0 PSF
 19 PSF
 50 PSF TOTAL DESIGN LOAD

DL FOR TRUSS WIND UPLIFT CALCULATIONS TO BE 10 PSF (NOT INCLUDING 3/8 SAFETY FACTOR).

INSTALL PLYWOOD WITH A MINIMUM 2'-0" OFFSET IN PLYWOOD JOINTS.

PLYCLIPS SHALL BE USED BETWEEN ALL UNSUPPORTED EDGES OF PLYWOOD ROOF DECK. INSTALL ONE (1) PER SPAN.

PLYWOOD ROOF DECK SHALL BE INSTALLED WITH THE LONG DIMENSION PERPENDICULAR TO ROOF TRUSSES.

SEE ARCHITECTURAL DRAWINGS FOR OPENING DIMENSIONS AND LOCATIONS.

ALL ROOF FASTENERS AND CONNECTORS TO BE GALVANIZED OR STAINLESS STEEL.

(T1) TYPICAL ROOF TRUSS ANCHOR EXCEPT AS NOTED SEE SCHEDULE ON SHEET S101.
 PROVIDE ANCHORS AT INTERIOR MASONRY WALLS AS NOTED.

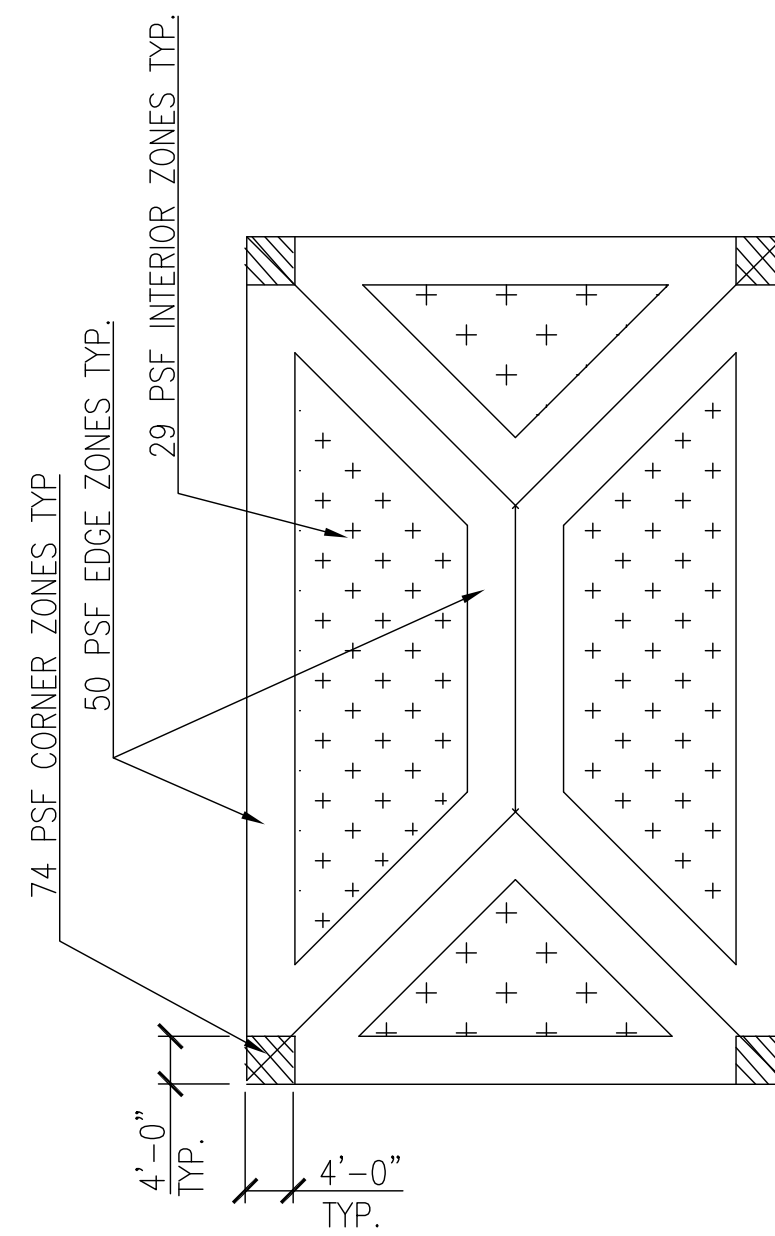
ADD 2X TOP CHORD FRAMING TO BLOCK OUT ROOF OPENINGS AS REQUIRED.

ADD 2X BOTTOM CHORD BLOCKING TO BRACE TOILET PARTITIONS.

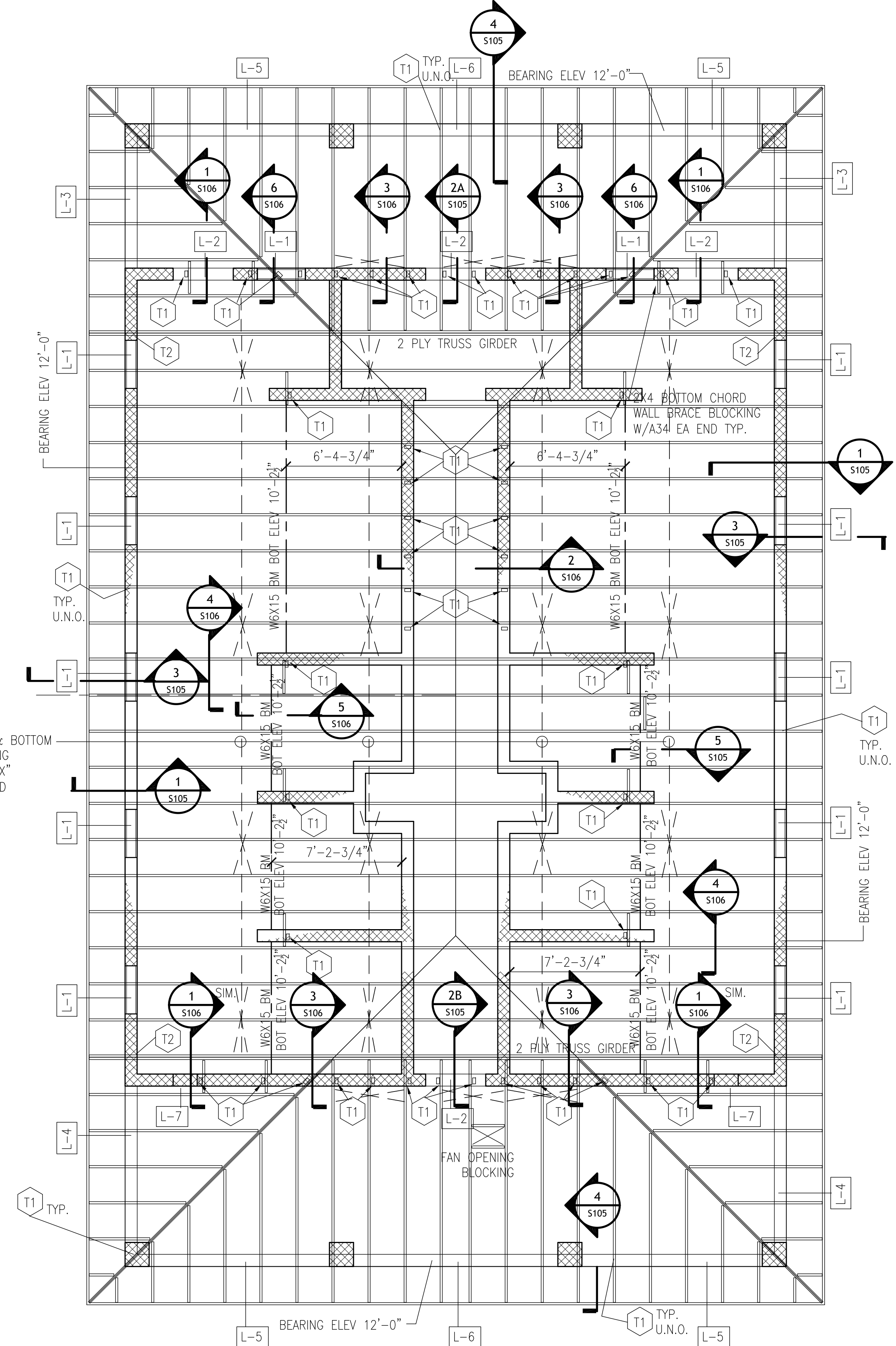
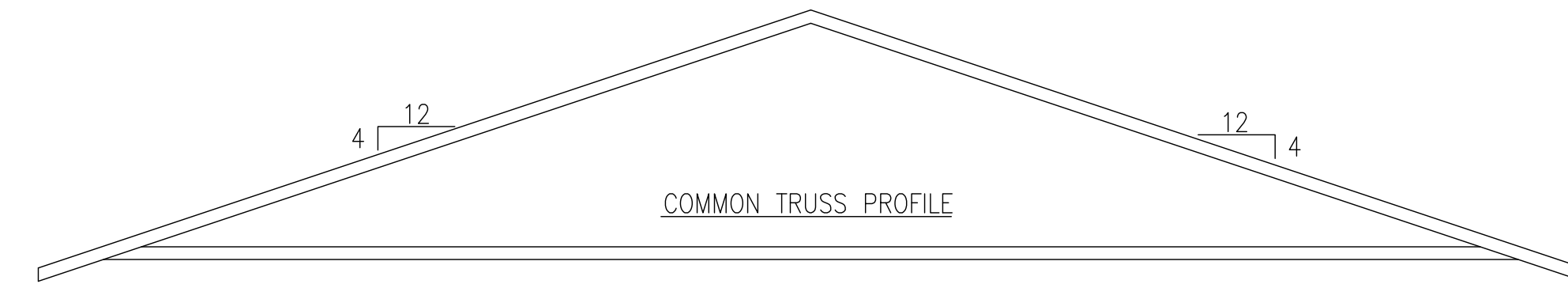
(L-X) INDICATES PRECAST CONCRETE LINTEL; PRECAST LINTELS ARE TO BE POURED COMPOSITE WITH CONTINUOUS BOND BEAMS. SEE SCHEDULES ON SHEET S101.

PROVIDE CONTINUOUS 8X16 MASONRY BOND BEAM WITH 2-#5 TOP AND BOTTOM AT TOPS OF ALL WALLS & CONTINUOUS 8X16 BOND BEAM WITH 2-#5 TOP AND BOTTOM, WITH BOTTOM OF BOND BEAM AT ELEV 7'-4" UNLESS INDICATED OTHERWISE. PROVIDE HOOKED DOWELS AT ALL CORNERS AND "T" SECTIONS.

PROVIDE 90 DEGREE HOOKED DOWELS AT FILL CELLS AT TOP OF MASONRY WALLS TYPICAL.



NOMINAL WIND COMPONENT UPLIFT



CONTINUOUS TOP & BOTTOM CHORD 2X4 BRACING INSTALL VERTICAL "X" BRACE AS INDICATED

1 ROOF FRAMING PLAN
 S103 1/4"=1'-0"

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

SIGNATURE AND DATED SEAL

CONSULTANTS

DRAWING TITLE

PROJECT ADDRESS

DATE

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DESCRIPTION

DATE

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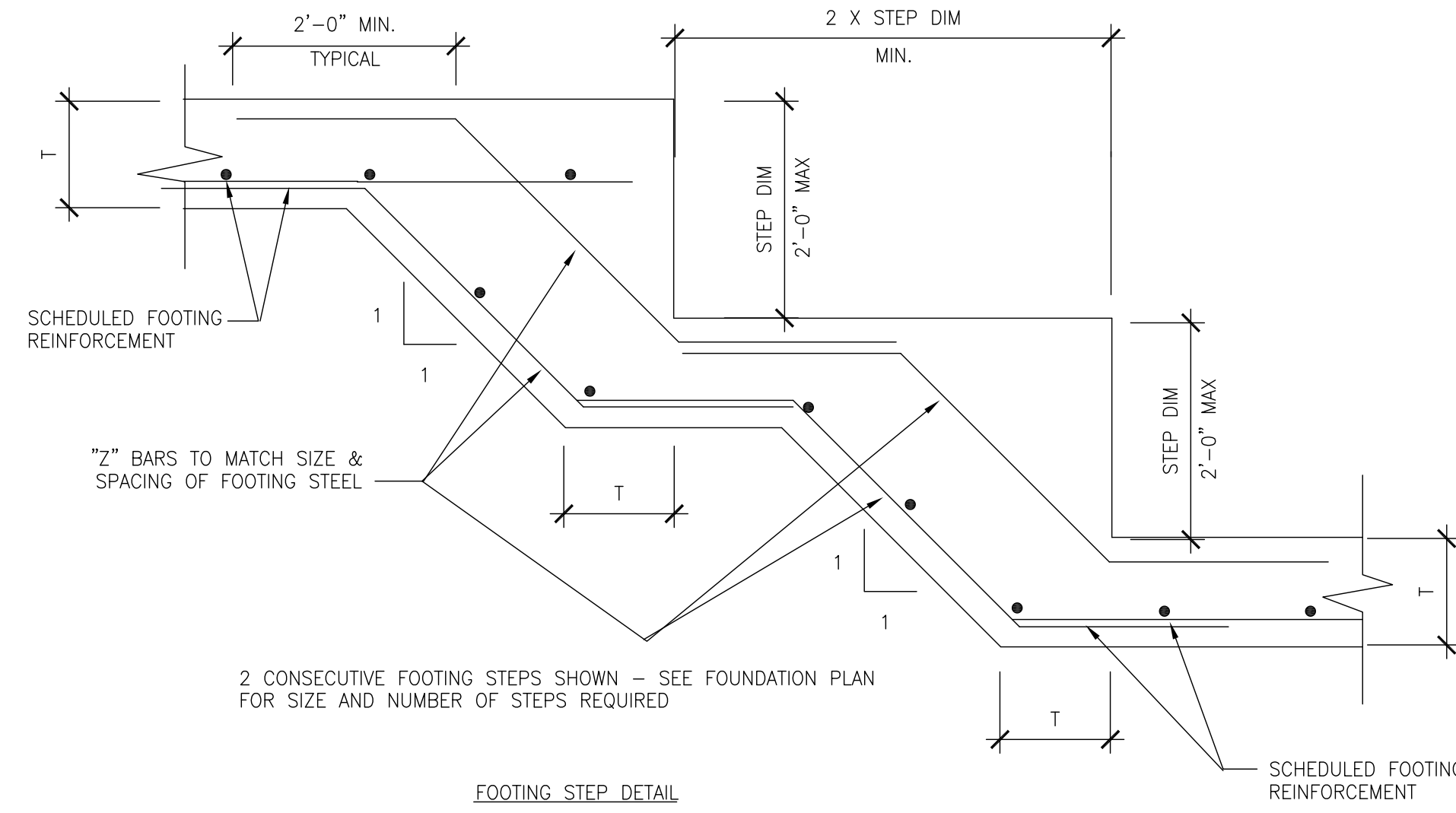
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PROJECT NO.

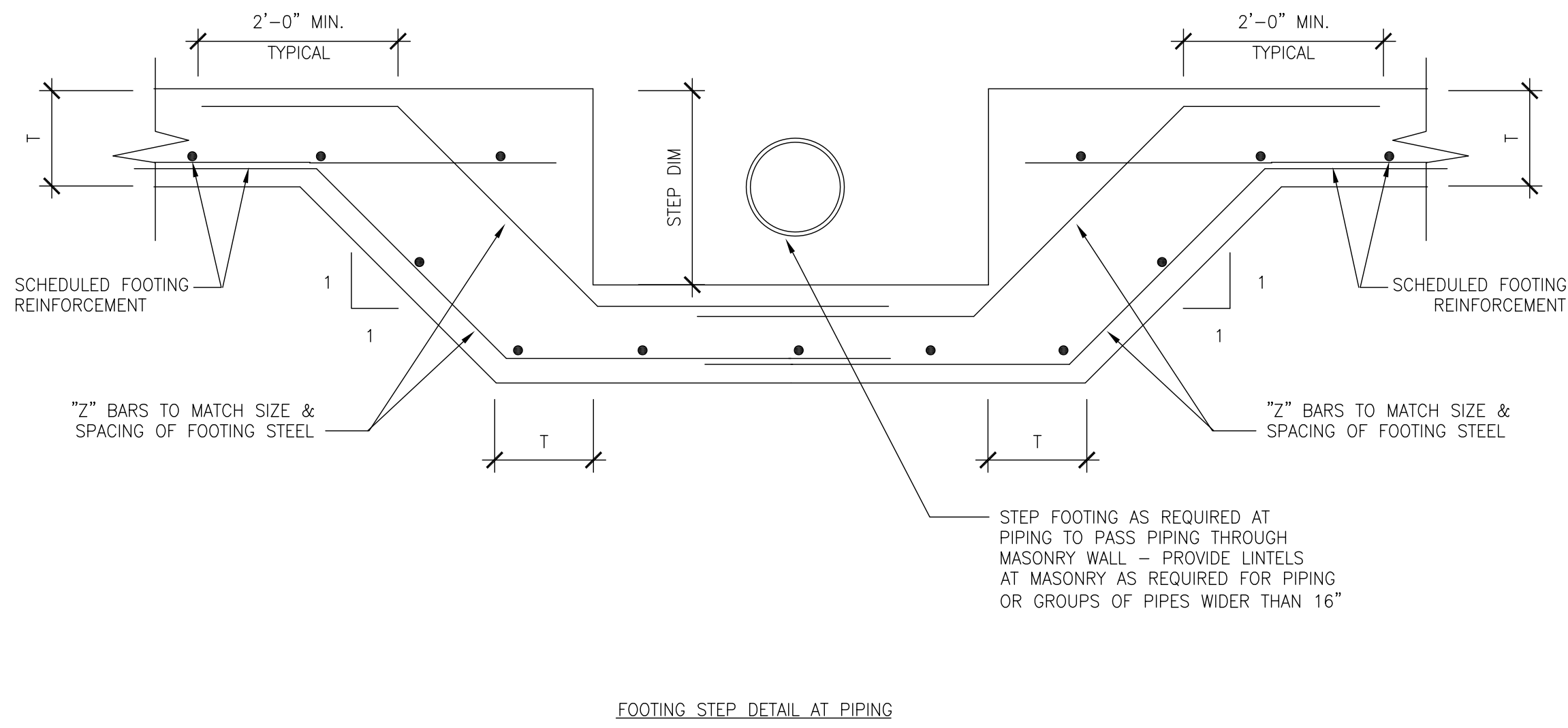
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SCALE

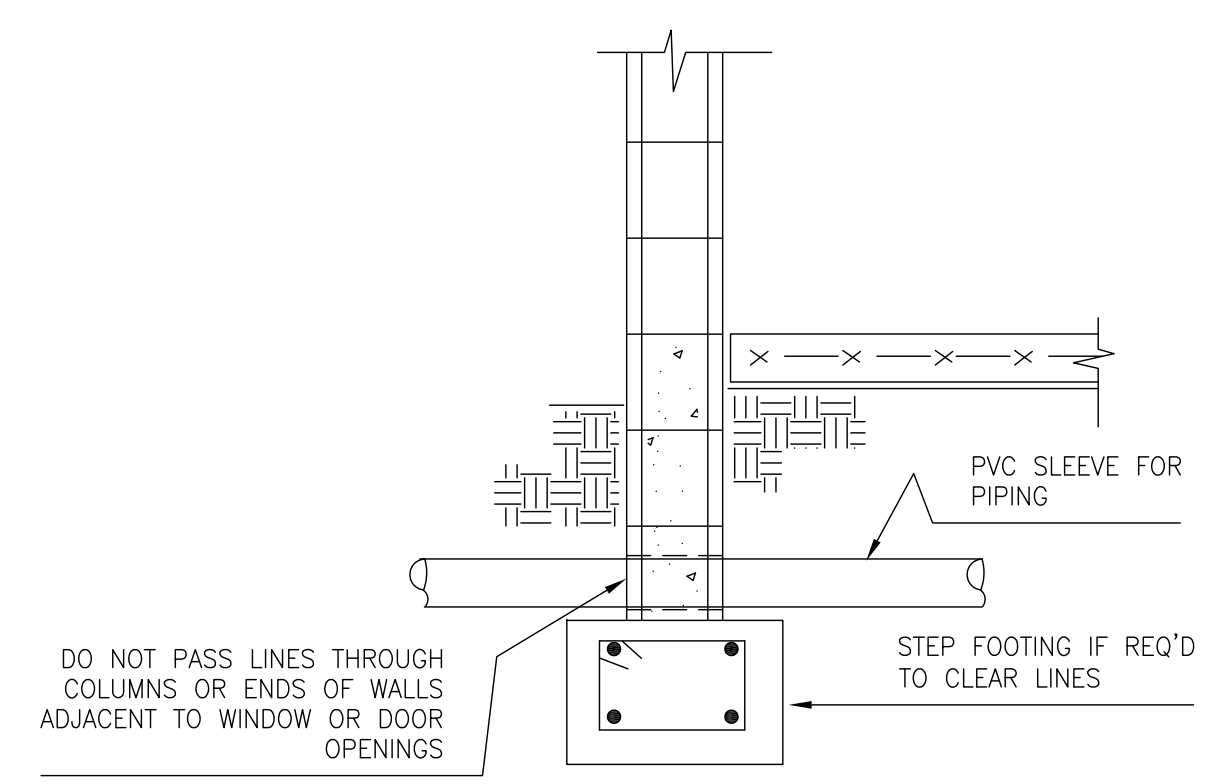
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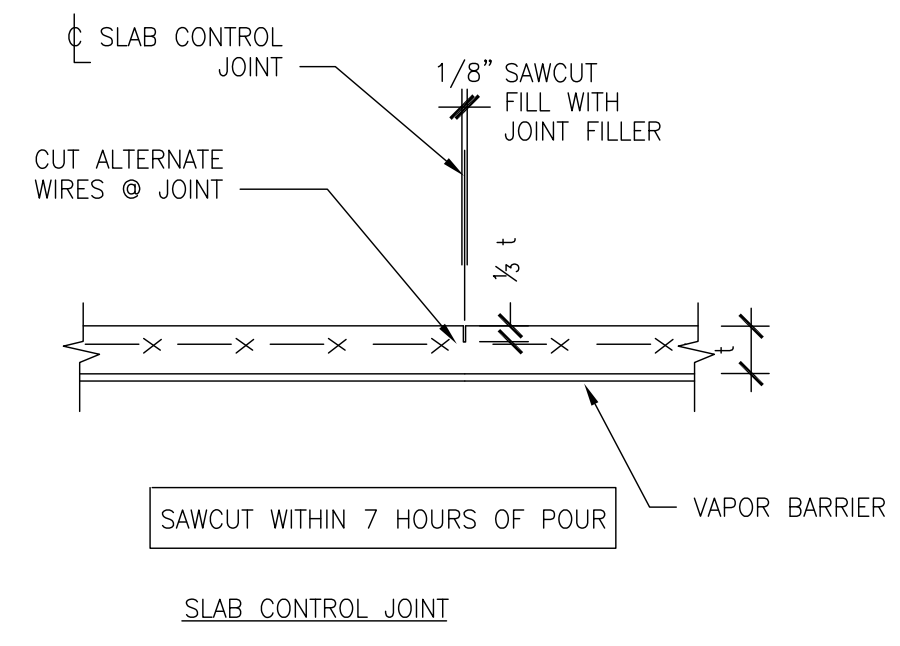
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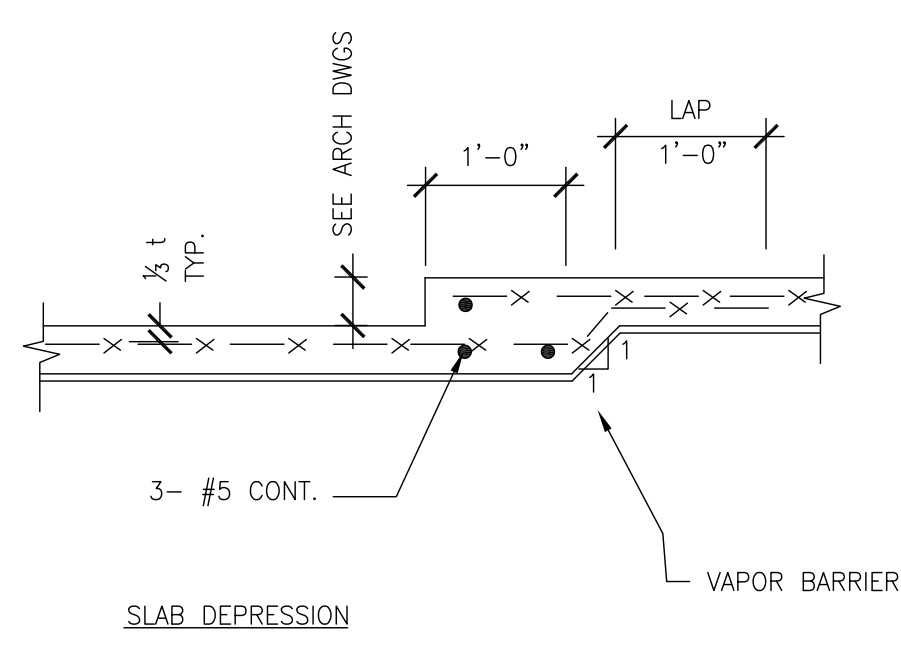
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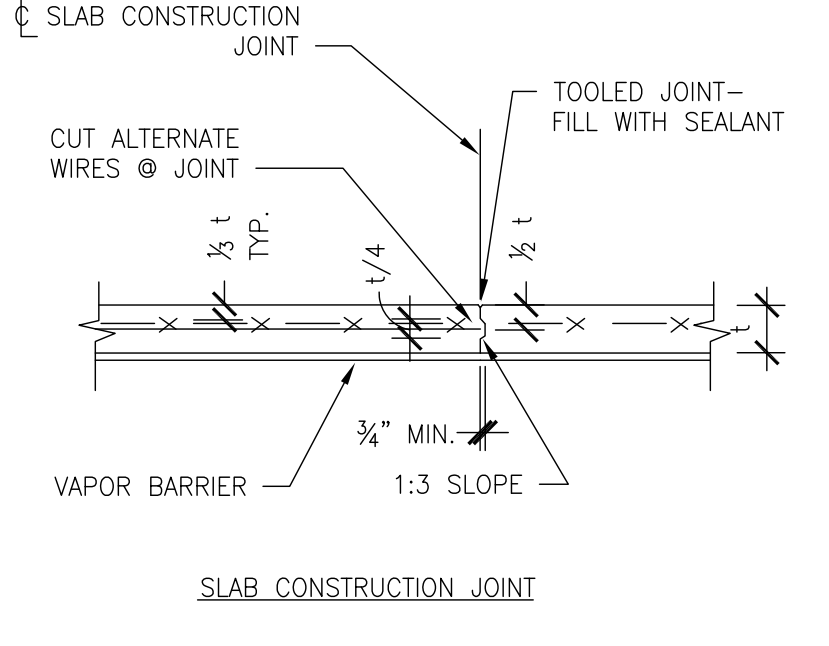
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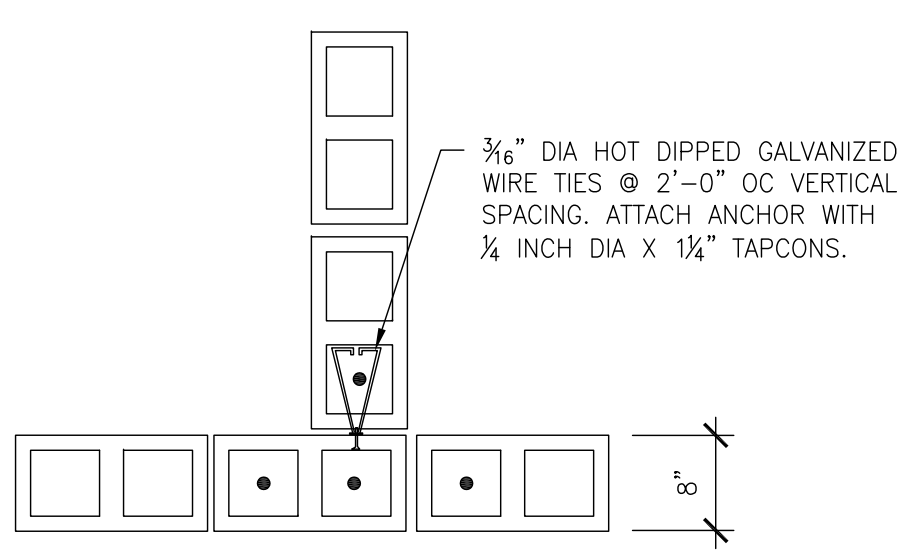
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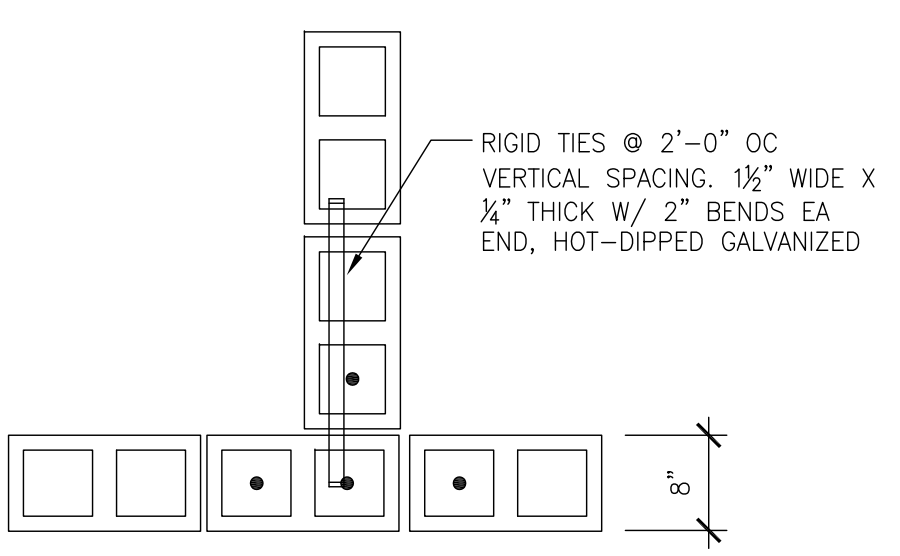
SECTION 5
SCALE: 3/4"=1'-0"



SECTION 6
SCALE: 3/4"=1'-0"



SECTION 7
SCALE: 3/4"=1'-0"



SECTION 8
SCALE: 3/4"=1'-0"

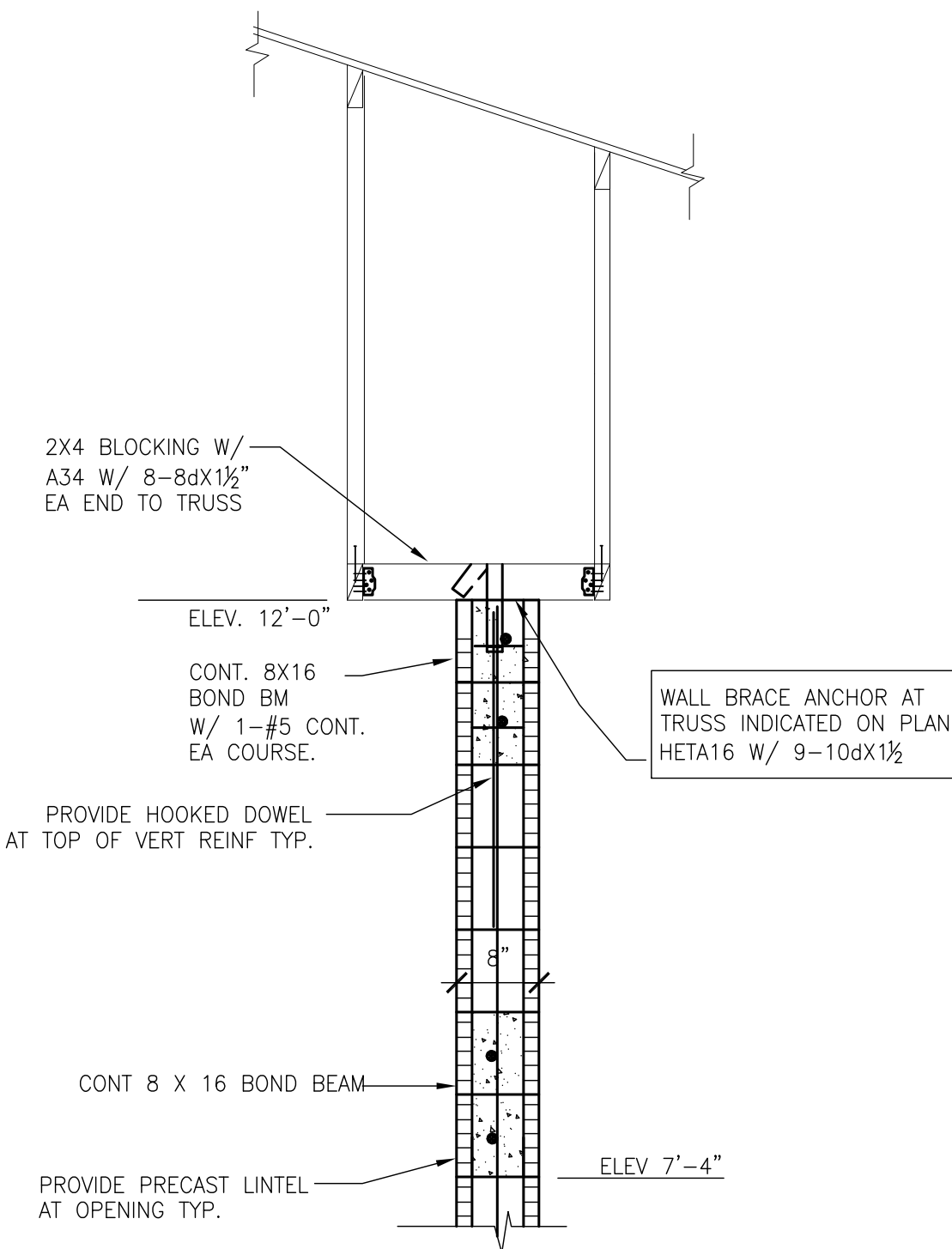
ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

PROJECT NO. 17-109		PROJECT ADDRESS 400 E. KELLY PARK RD. APOPPA, FLORIDA 32712		DRAWING TITLE TYPICAL CONCRETE DETAILS	
PHASE PERMIT SET	SCALE N.T.S.	DATE	DESCRIPTION	REV.	DATE
FILE NAME CAD FILE	DRAWN BY CLS	CHECKED BY CLC	OWNER NAME AND ADDRESS ORANGE COUNTY PARKS 400 E. SOUTH STREET 5TH FLOOR ORLANDO, FLORIDA 32801		
DATE 04-05-2018					

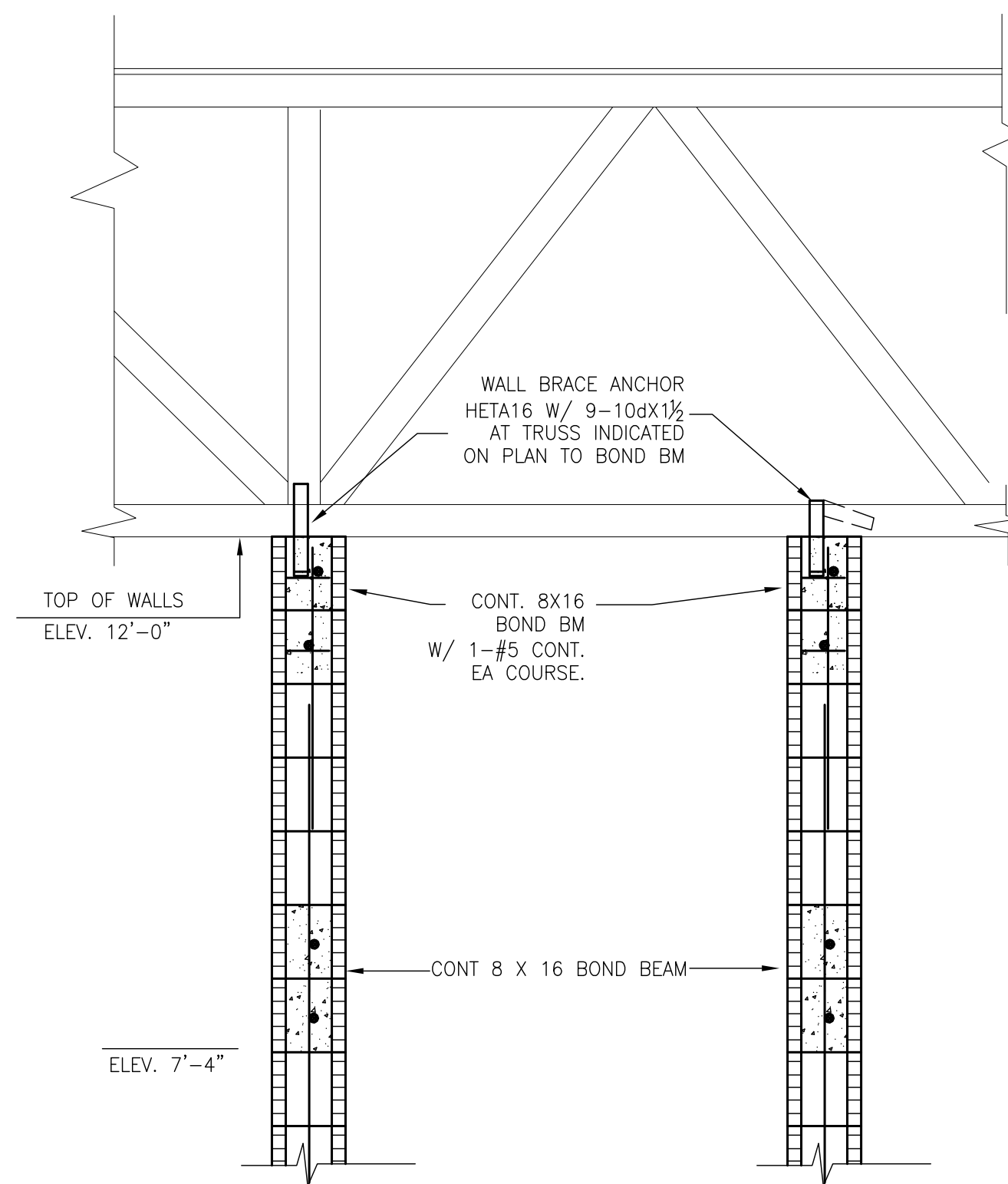
BORRELLI PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
770 VASSAR STREET
ORLANDO, FL 32804 (407) 418-1338
CONCRETE REINFORCEMENT SHALL BE PROVIDED BY THE CONTRACTOR. ALL REINFORCEMENT SHALL BE PROVIDED BY BARRY GROUP AS SHOWN ON THE DRAWINGS. © 2018 BORRELLI PARTNERS, INC. #35251
Chris L. Chulavskas

C. Louis
STRUCTURAL ENGINEERS
901 Douglas Avenue Suite 203
Altamonte Springs Florida 32714
407/869-5533
FL Certificate of Authorization No. 6453
CLOUISINC@AOL.COM

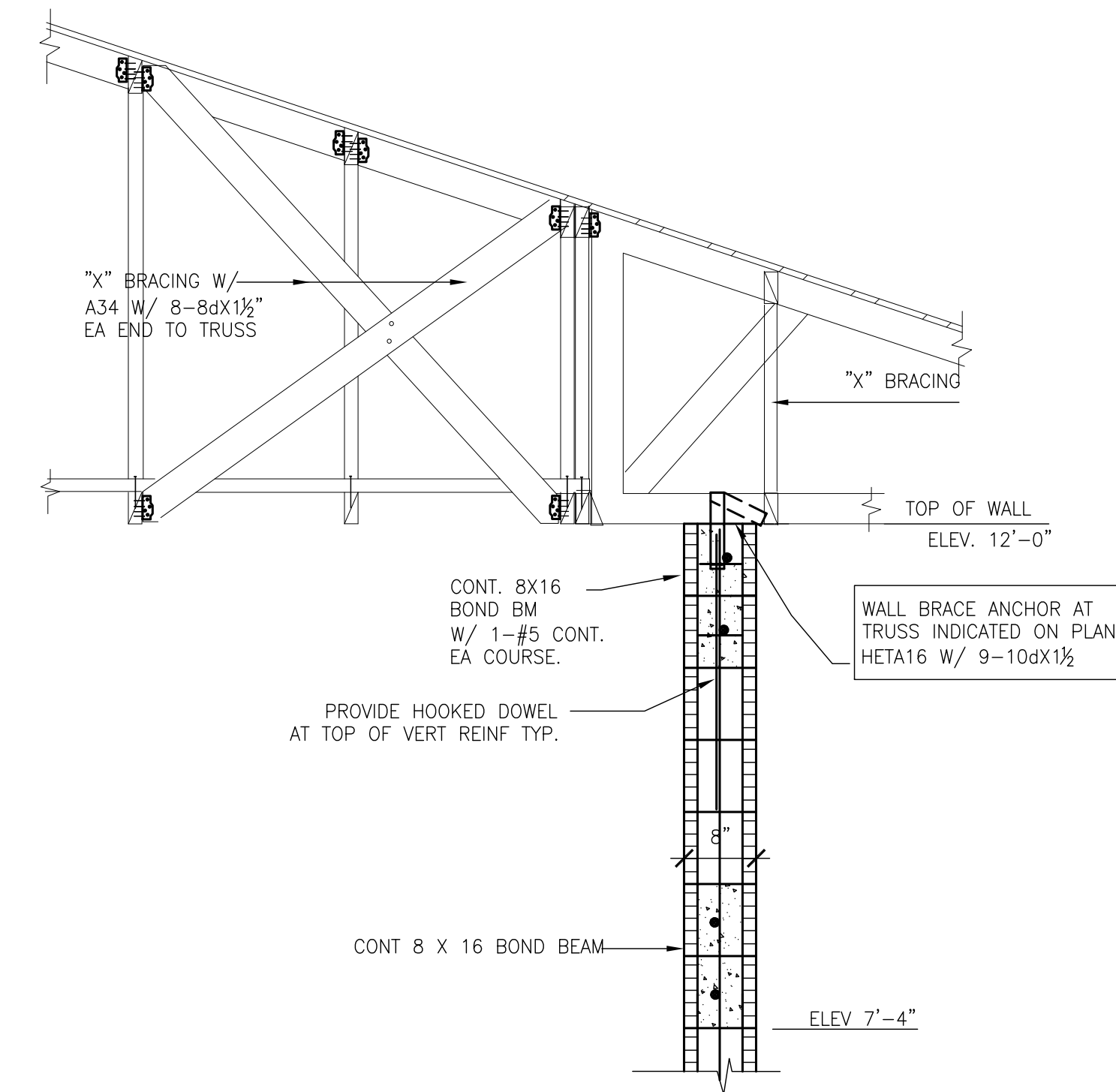
CONSULTANTS
SIGNATURE AND DATED SEAL



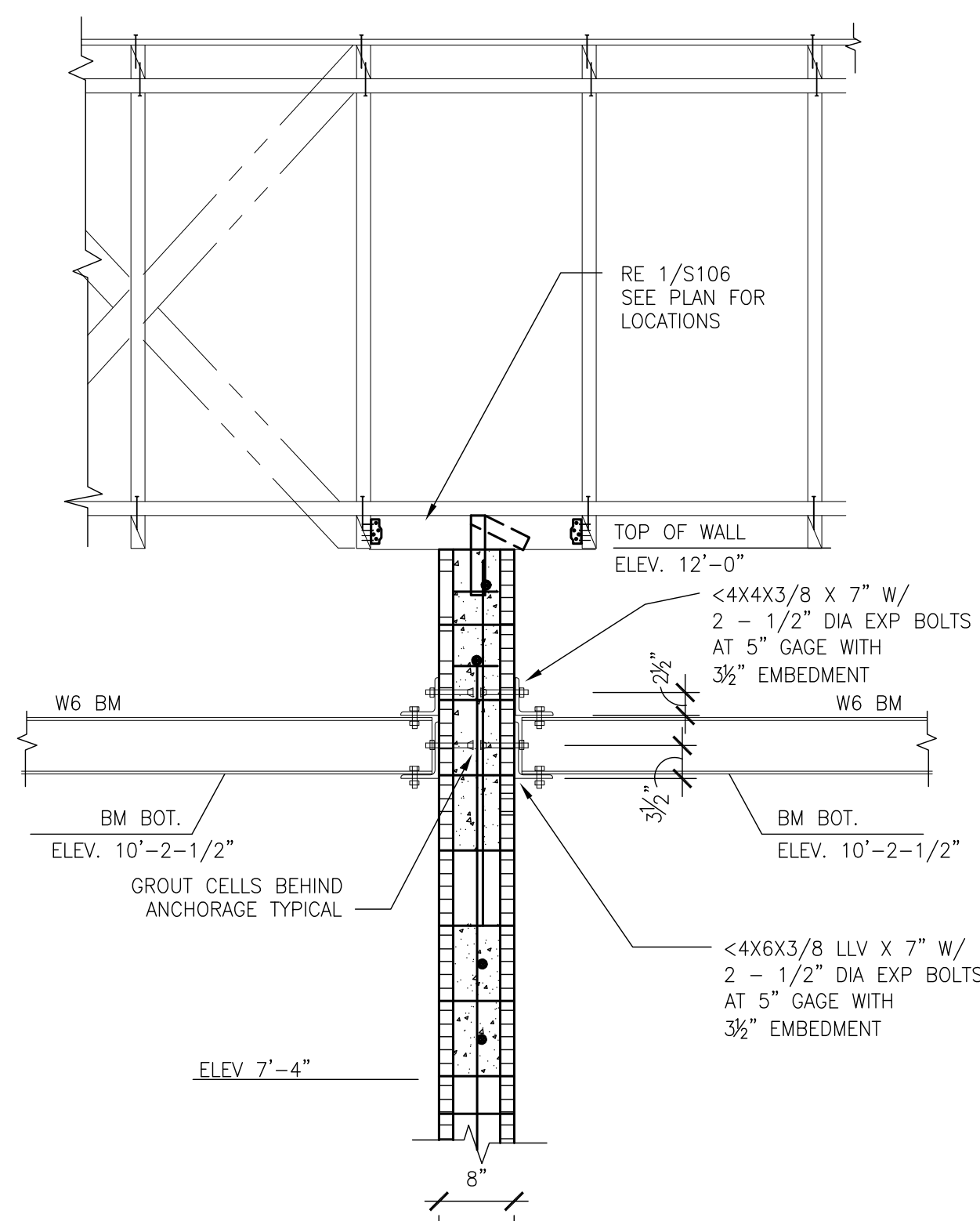
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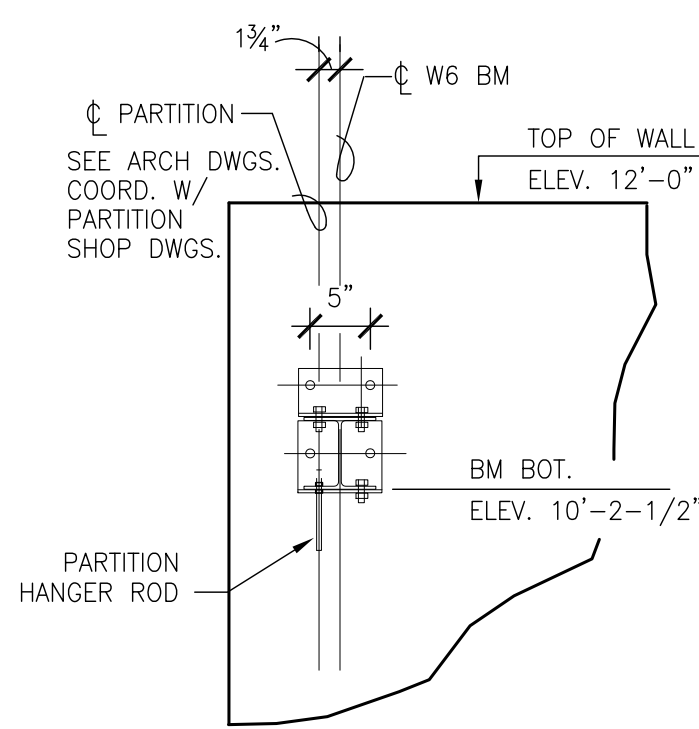
2 SECTION
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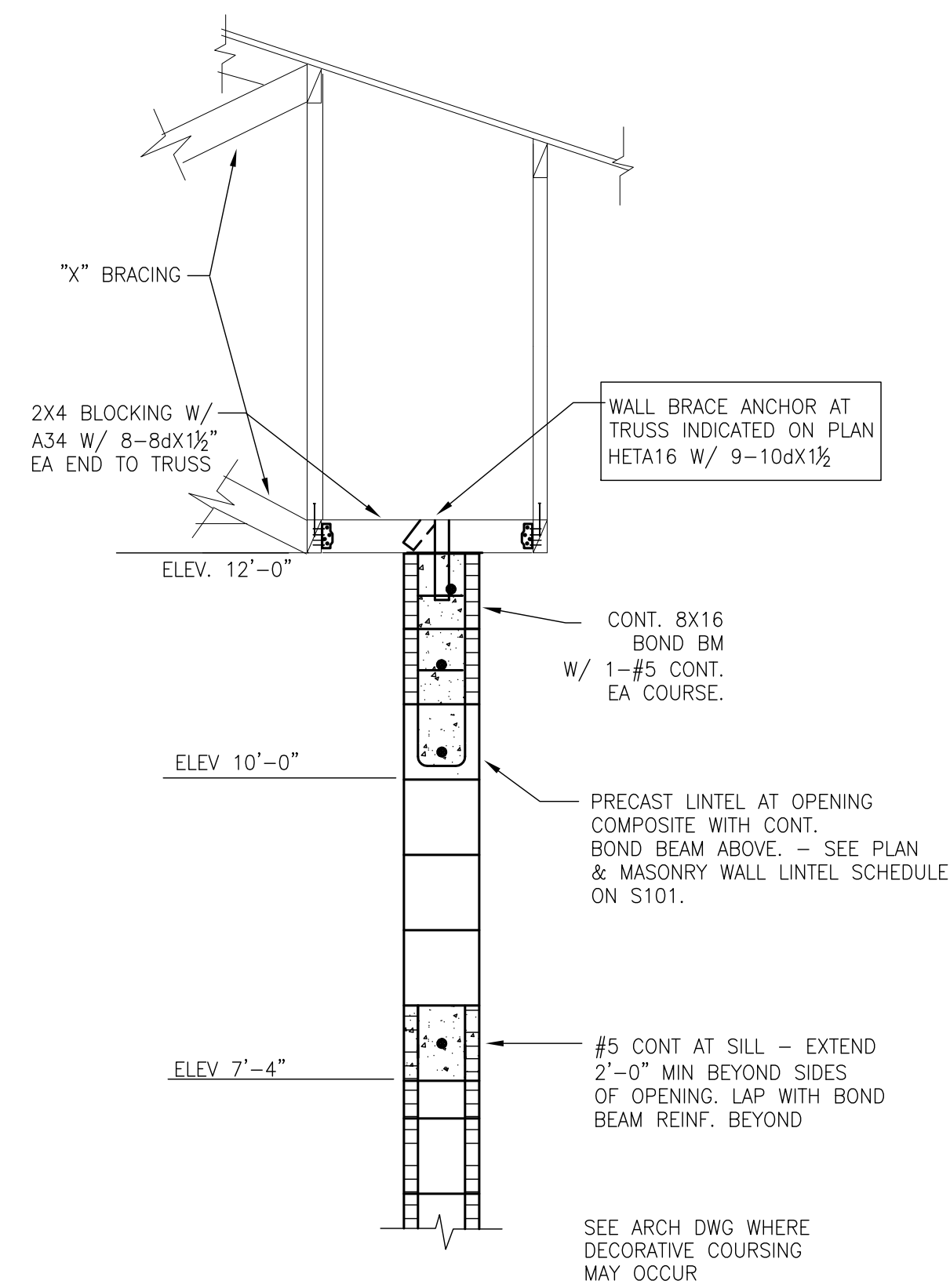
3 SECTION
S106 SCALE: 3/4"=1'-0"



4 SECTION
S106 SCALE: 3/4"=1'-0"



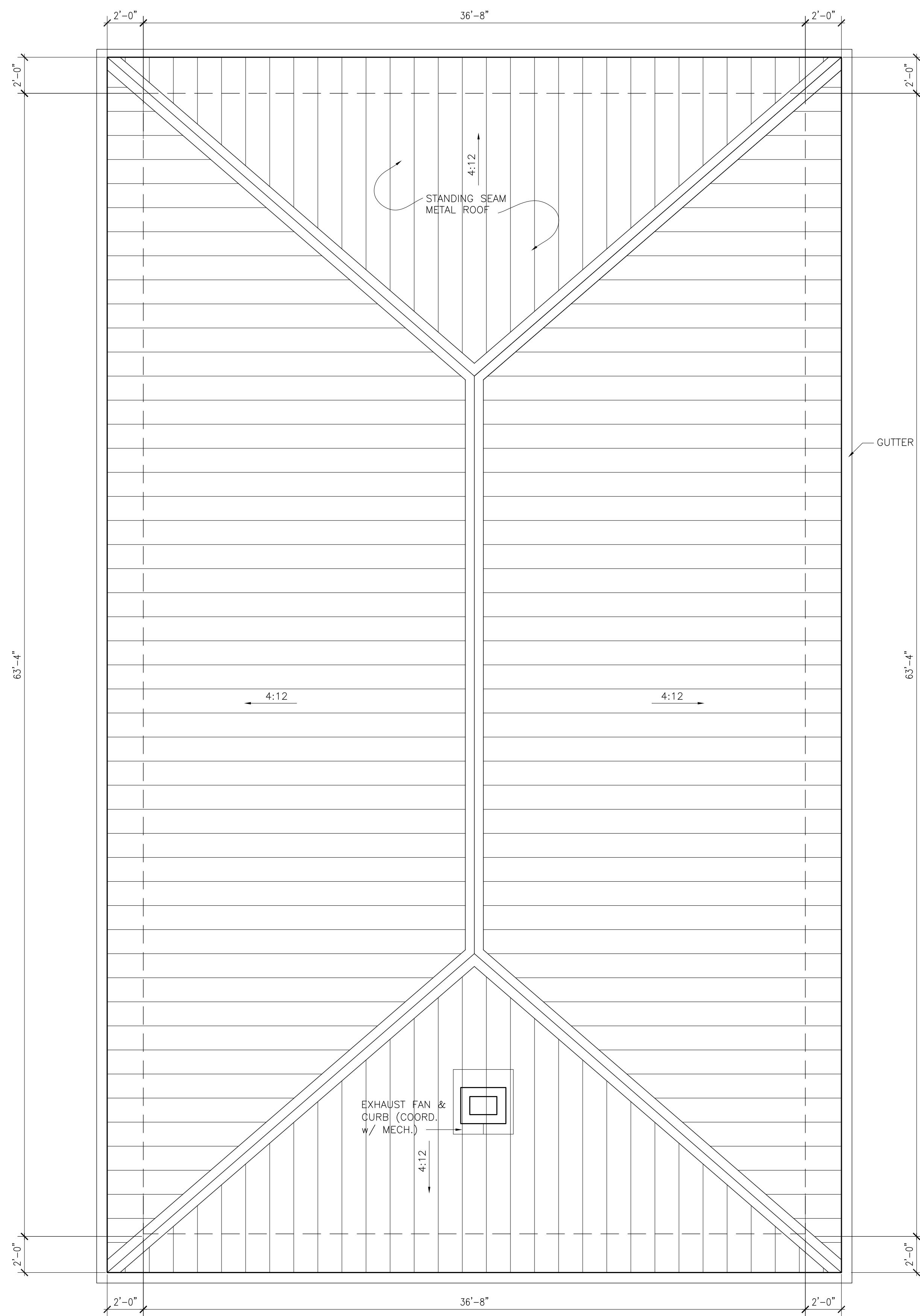
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S106 SCALE: 3/4"=1'-0"



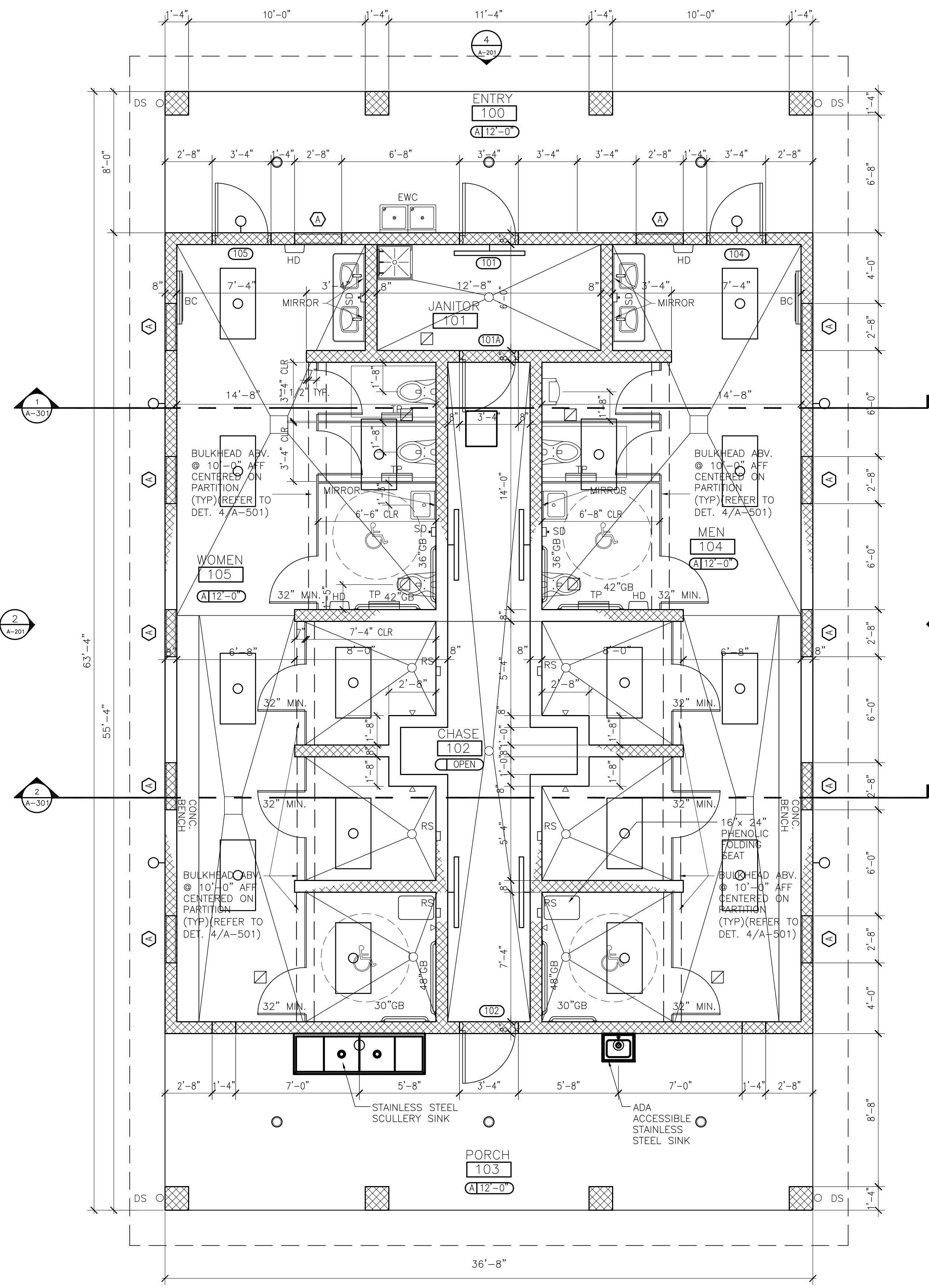
6 SECTION
S106 SCALE: 3/4"=1'-0"

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

PROJECT NO.	DESCRIPTION	DATE	REV.	DRAWING TITLE
17-109	PERMIT SET			ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)
PHASE	N.T.S.			
SCALE	N.T.S.			
FILE NAME	CAD FILE			
DRAWN BY	CLS			
CHECKED BY	CLC			
DATE	04-05-2018			
PROJECT ADDRESS	DATE			
400 E. KELLY PARK RD. APOPKA, FLORIDA 32712	DATE			
OWNER NAME AND ADDRESS	DATE			
ORANGE COUNTY PARKS 400 E. SOUTH STREET 5TH FLOOR ORLANDO, FLORIDA 32801	DATE			
CONSULTANTS	DATE			
C. Louis STRUCTURAL ENGINEERS 901 Douglas Avenue Suite 203 Altamonte Springs Florida 32714 407/869-5533 FL Certificate of Authorization No. 6453 CLOUISINC@AOL.COM	DATE			
SIGNATURE AND DATED SEAL	DATE			
Chris L. Chulavskas	DATE			
#37251	DATE			

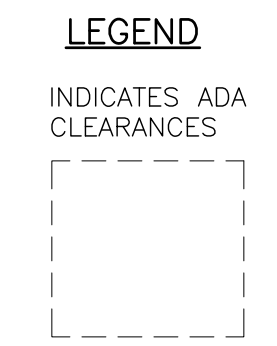


1 ROOF PLAN
1/4"=1'-0"



2 FLOOR PLAN
1/4"=1'-0"

- GENERAL NOTES**
- FOR FINISHES SEE SCHEDULE SHEET A-102
 - TOILET PARTITIONS INDICATED HEREIN ARE CLEAR DIMENSIONS OR FROM SIDE OF PARTITION TO A FIXTURE BASED ON 1" FOR PARTITION THICKNESS
 - ACCESSIBLE RESTROOM STALLS AND CHANGING ROOMS WILL HAVE A 32 INCH CLEAR DOOR OPENING FOR EGRESS.
 - ATTACH DOWNSPOTS TO CORNER BOARDS @ BUILDING AND COLUMN CORNERS AS INDICATED
 - APPLY 1x6 FURRING UNDER SIDING WHERE A DOWNSPOT OCCURS
 - REFER TO DETAILS 3/A-502 & 4/A-502 FOR FIRESTOPPING DETAILS
 - SHOP DRAWINGS WILL BE REQUIRED FOR STAINLESS STEEL SHELF @ COILING DOOR 101A PRIOR TO FABRICATION FOR APPROVAL



FINISH PLAN LEGEND

KEY NOTE	DESCRIPTION	KEY NOTE	DESCRIPTION
FLOORS		CEILING	
RE	RESINOUS FLOOR - COLOR TBD BY OWNER	GYP	5/8" GLASS MAT MOISTURE RESISTANT GYPSUM BOARD - FOR CEILING; WATER RESISTANT GYPSUM COVERED WITH EPOXY PAINT.
SC	SEALED CONCRETE	WALLS	
BASE		PTS-01	PAINT: ONE (1) COAT PRIMER AS RECOMMENDED BY MANUFACTURER. TWO (2) COATS OF VINYL ACRYLIC LATEX WITH AN EGGSHELL FINISH. COLOR: TBD BY OWNER
RE	RESINOUS FLOORING BASE - 6" RESINOUS BASE	PTS-02	TILE TO 5'-0" AND PTS-01 ABOVE (ONLY ON WET WALL, OTHER WALLS REMAIN PTS-01). PAINT: ONE (1) COAT PRIMER AS RECOMMENDED BY MANUFACTURER. TWO (2) COATS OF VINYL ACRYLIC LATEX WITH AN EGGSHELL FINISH. COLOR: TBD BY OWNER
		WET WALL	

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

BORRELLI PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
720 VASSAR STREET
ORLANDO, FL 32804 (407) 418-1338

CONSULTANTS

DRAWING TITLE
ROOF AND FLOOR PLAN

PROJECT ADDRESS
400 E. KELLY PARK RD.
APOPKA, FL 32712

OWNER NAME AND ADDRESS
ORANGE COUNTY PARKS
400 E. SOUTH STREET
8TH FLOOR
ORLANDO, FLORIDA 32801

REV. | **DESCRIPTION** | **DATE**



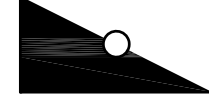
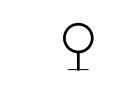

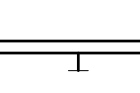
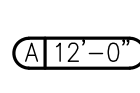
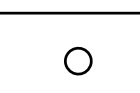
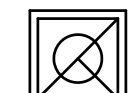
1	PERMIT SET	11-10
2	AS NOTED	11-10
3	FILE NAME	17-109
4	DRAWN BY	RP
5	CHECKED BY	JJA
6	DATE	04-05-2018

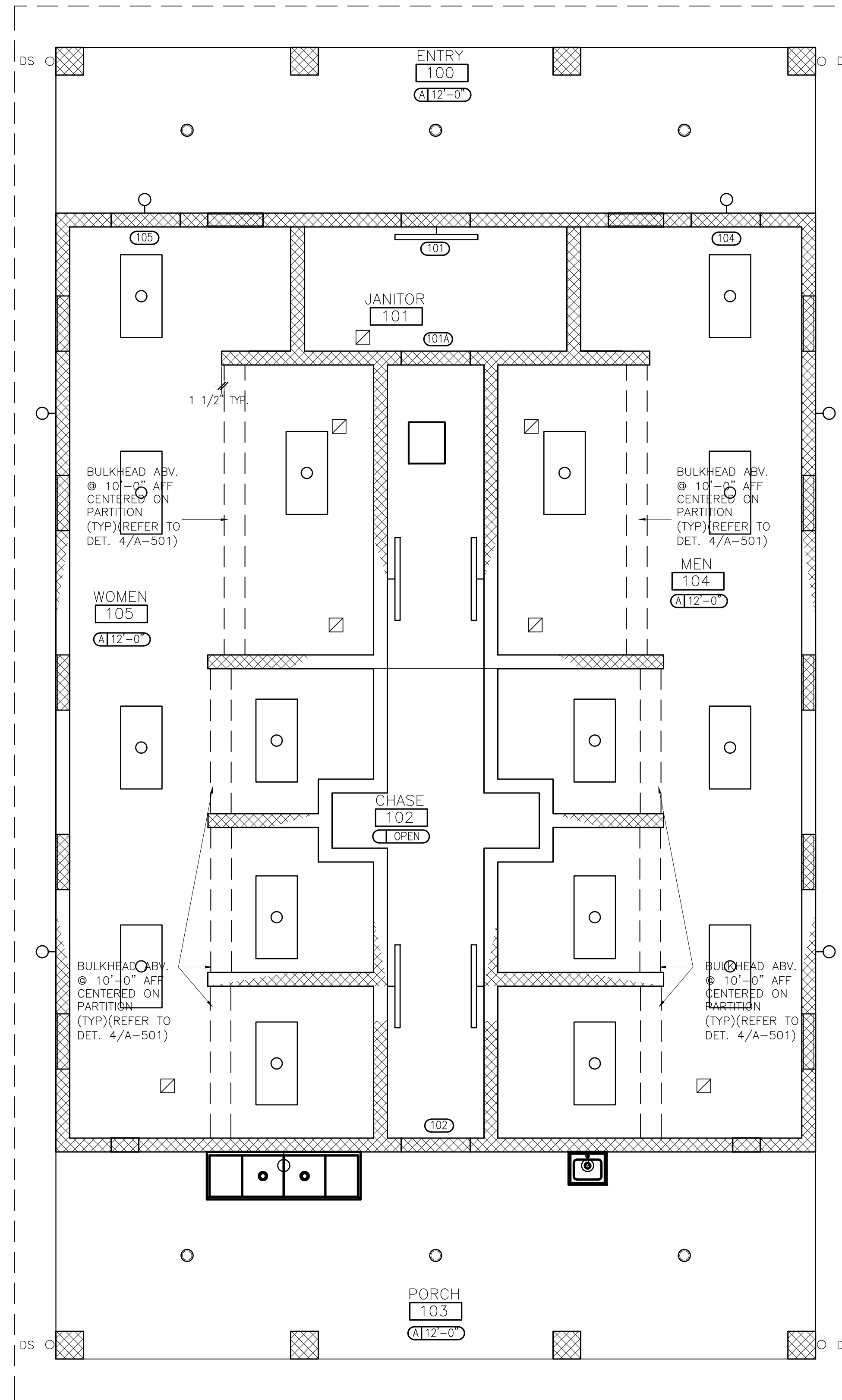
A-101

SIGNATURE AND DATED SEAL

JAMES L. MOORE
ARY8990

LEGEND

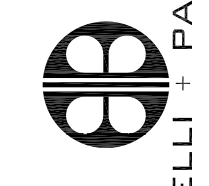
	DOWN LIGHT		EXHAUST FAN		2'X4' SURFACE MOUNTED EMERGENCY LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE		GYPSUM BOARD		
	MOUNTED LIGHT FIXTURE		GYPSUM BOARD		
	2'X4' SURFACE MOUNTED LIGHT FIXTURE		EXHAUST FAN		



1 REFLECTED CEILING PLAN
A-102 1/4"=1'-0" N

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

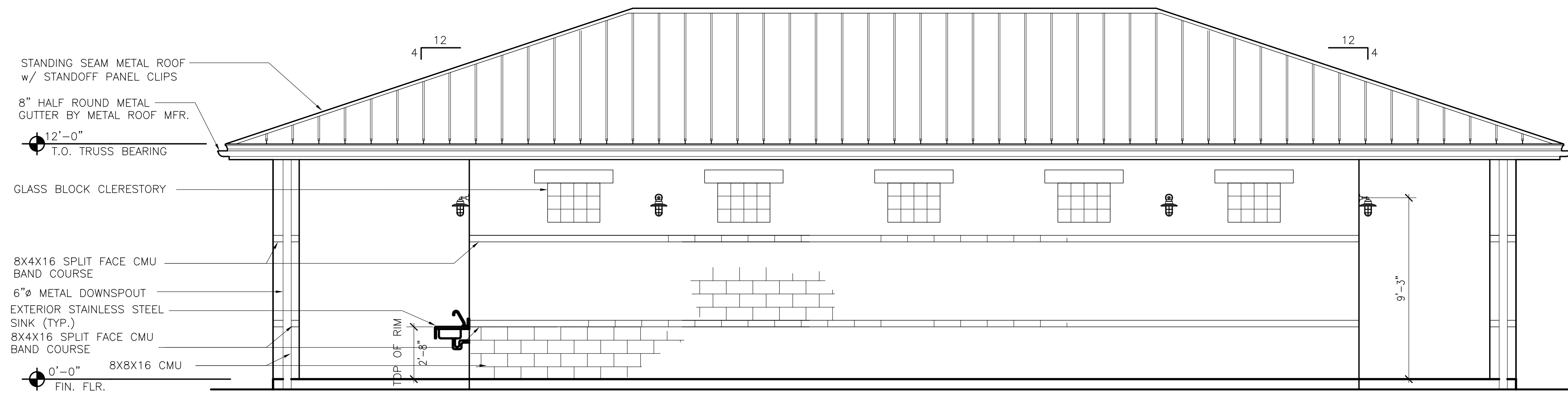
PROJECT NO. 17-100		PROJECT ADDRESS 400 E. KELLY PARK RD. APOPKA, FL 32712		DRAWING TITLE REFLECTED CEILING PLAN		CONSULTANTS		SIGNATURE AND DATED SEAL		
PHASE PERMIT SET	SCALE 1/4"=0'	FILE NAME ORANGE COUNTY PARKS	OWNER NAME AND ADDRESS ORANGE COUNTY PARKS 400 E. SOUTH STREET 8TH FLOOR ORLANDO, FLORIDA 32801							
DRAWN BY RP	CHECKED BY JM	DATE 04-05-2018								



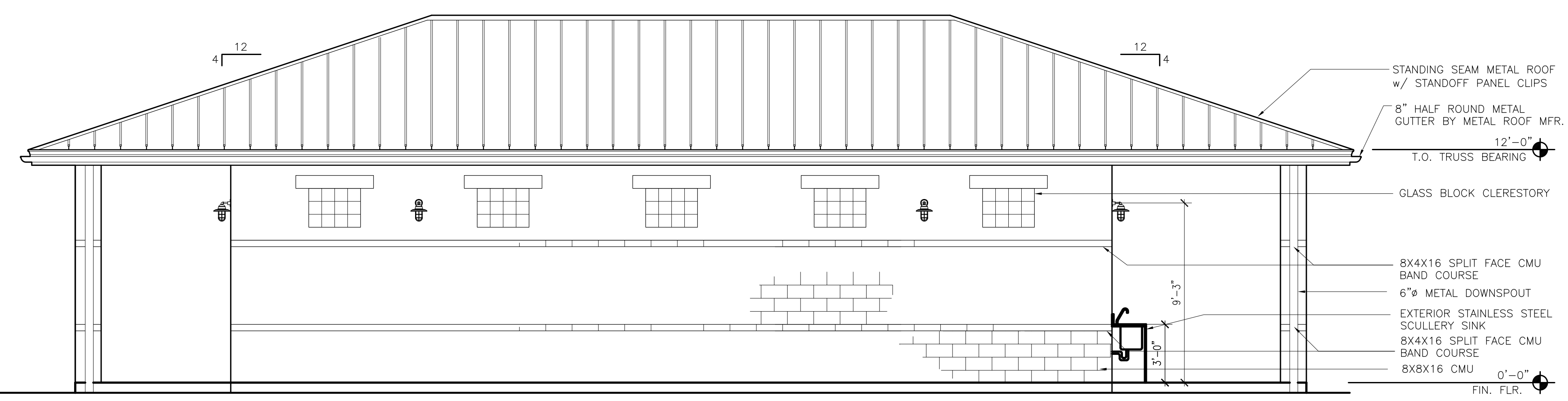
BORRELLI PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
ORLANDO, FL 32804 (407) 418-1338
720 VASSAR STREET
ORLANDO, FL 32804 (407) 418-1338

JAMES L. MOORE AR 9590

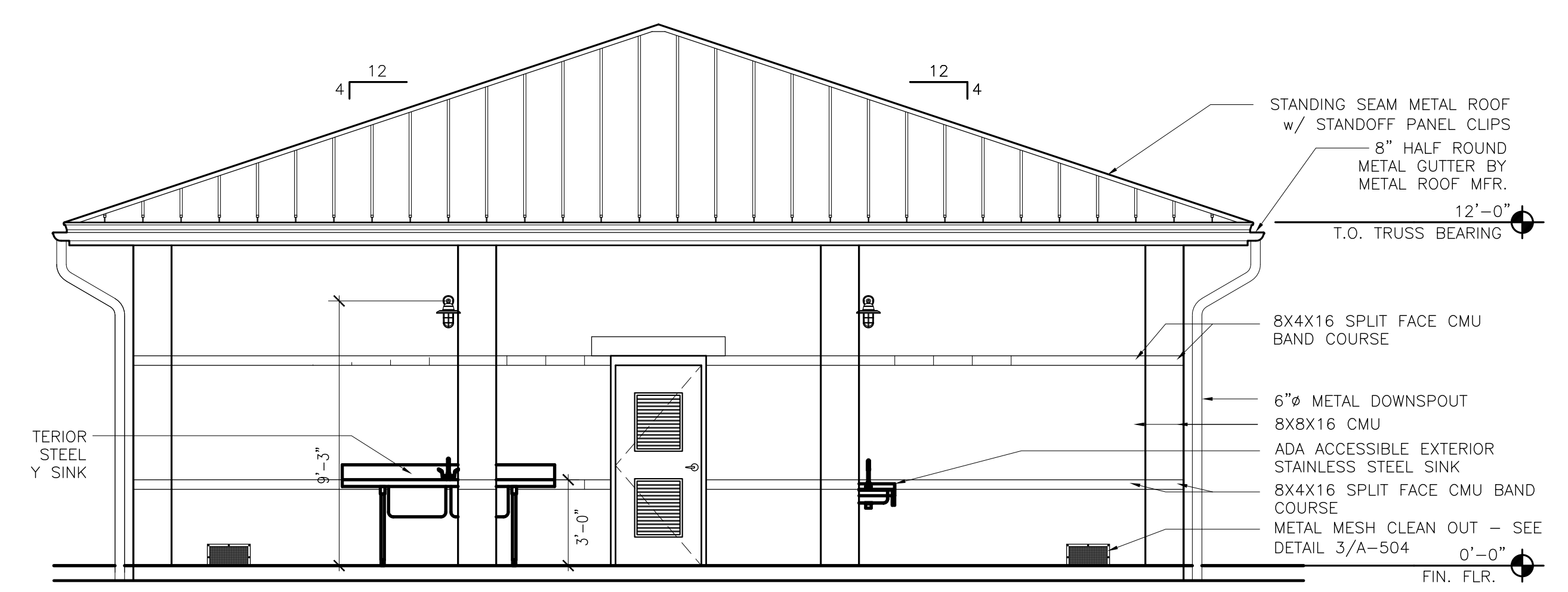
A-102



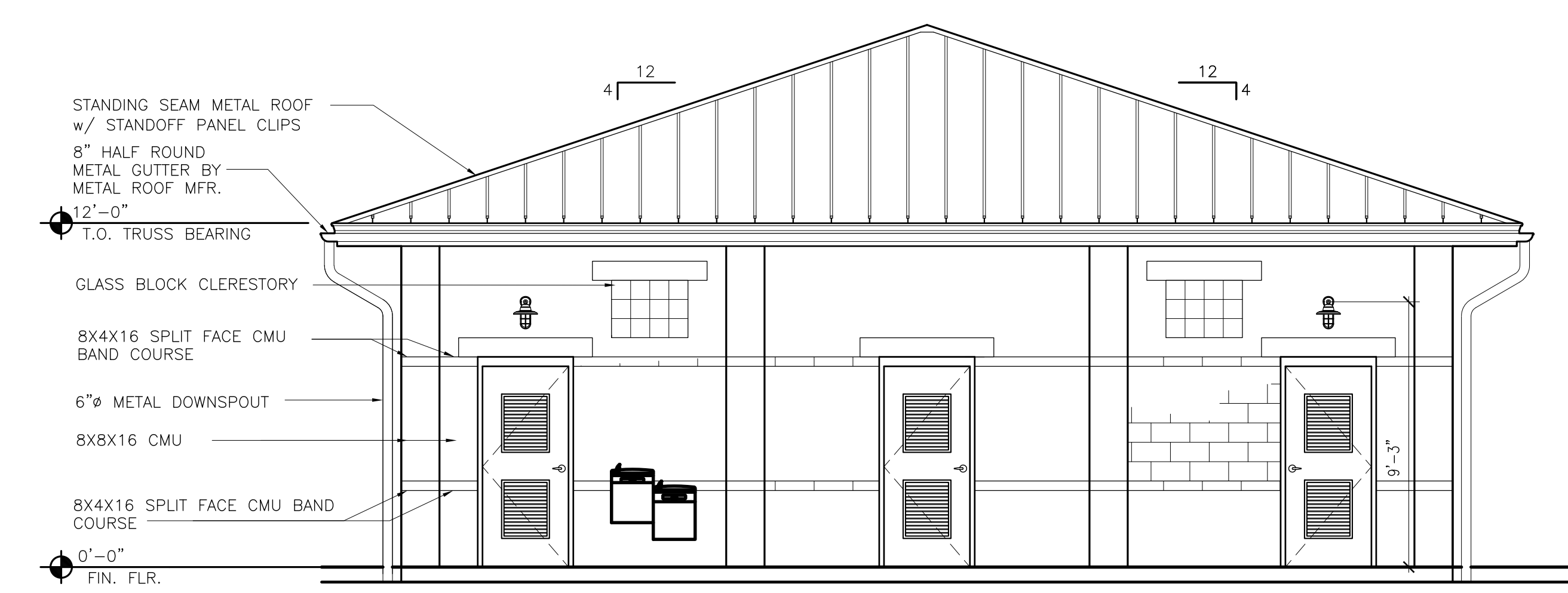
1 EAST ELEVATION
A-201 1/4"-1'-0"



3 WEST ELEVATION
A-201 1/4"-1'-0"



2 SOUTH ELEVATION
A-201 1/4"-1'-0"

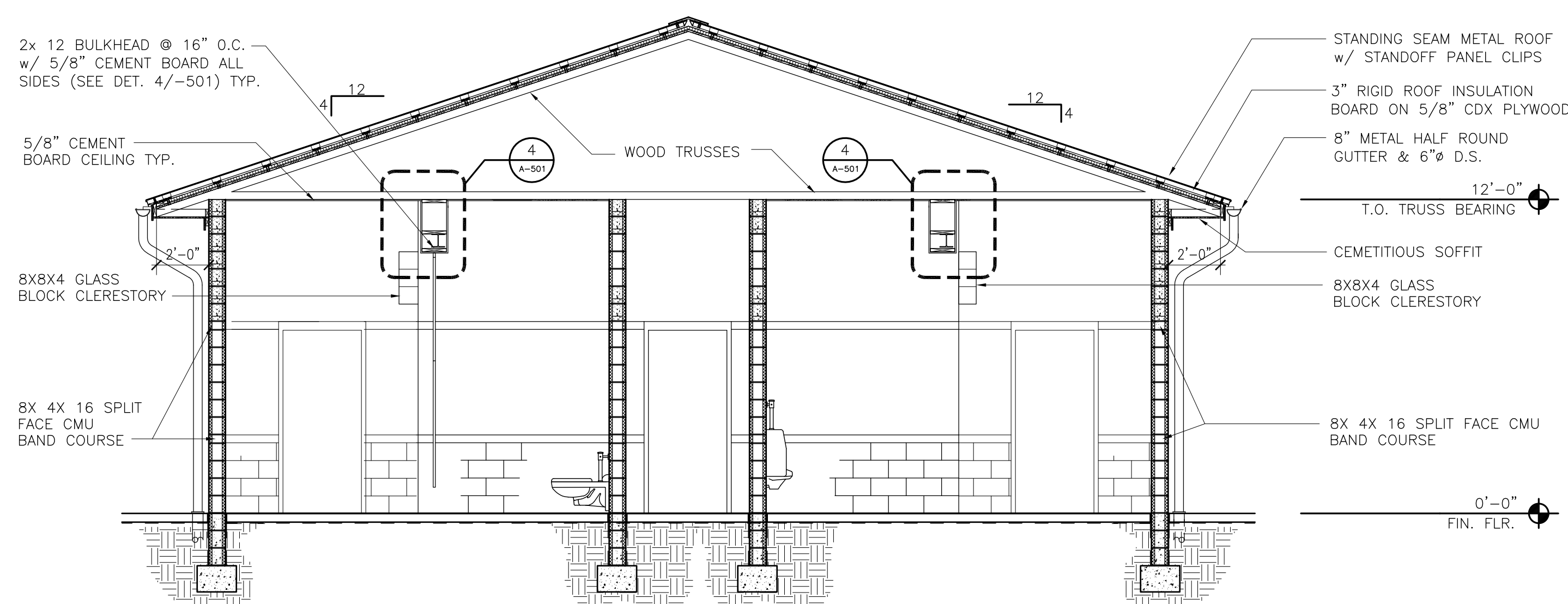


4 NORTH ELEVATION
A-201 1/4"-1'-0"

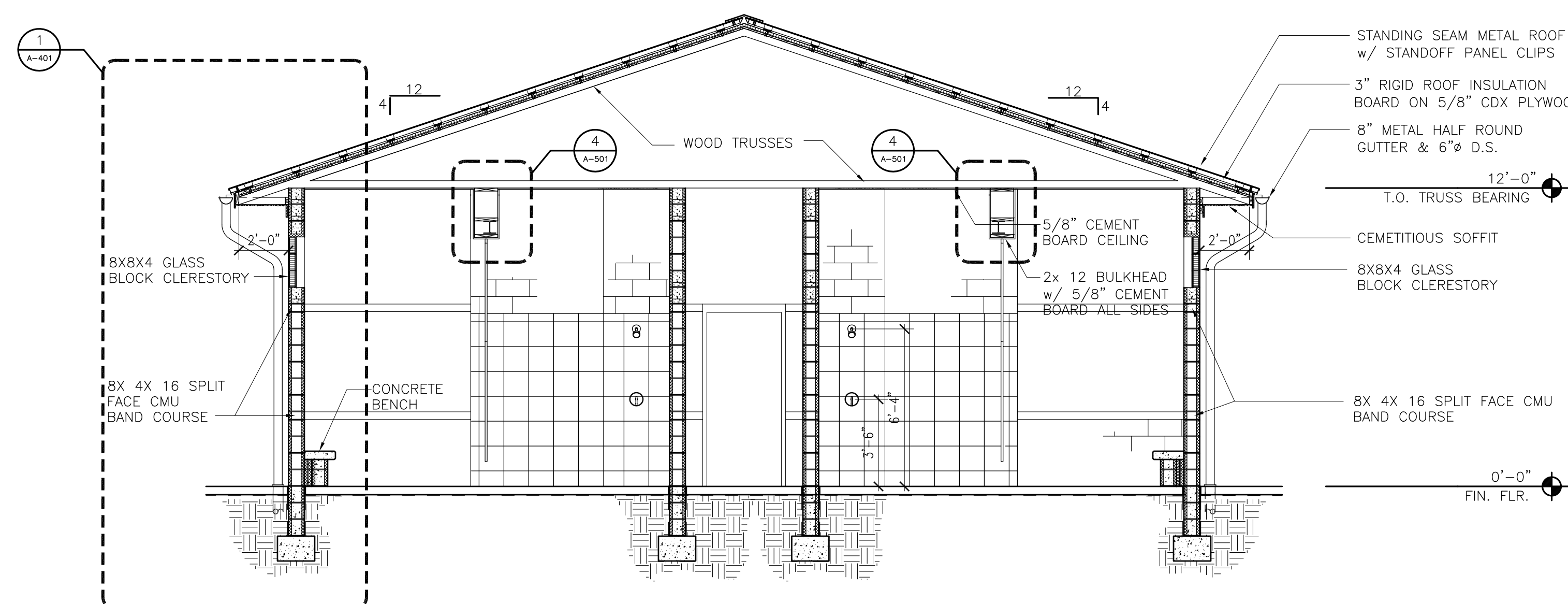
ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

PROJECT NO. 17-109		PROJECT ADDRESS 400 E. KELLY PARK RD. APOPKA, FL 32712		DRAWING TITLE BUILDING ELEVATIONS		CONSULTANTS BORRELLI PARTNERS ARCHITECTURE PLANNING LANDSCAPE INTERIOR 720 VASSAR STREET ORLANDO, FL 32804 (407) 418-1338		SIGNATURE AND DATED SEAL	
PHASE PERMIT SET	SCALE AS NOTED	FILE NAME 17-109	OWNER NAME AND ADDRESS ORANGE COUNTY PARKS 400 E. SOUTH STREET 8TH FLOOR ORLANDO, FLORIDA 32801	DATE 04-05-2018		DRAWN BY JLM		DATE 04-05-2018	
CHECKED BY	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE

A-201

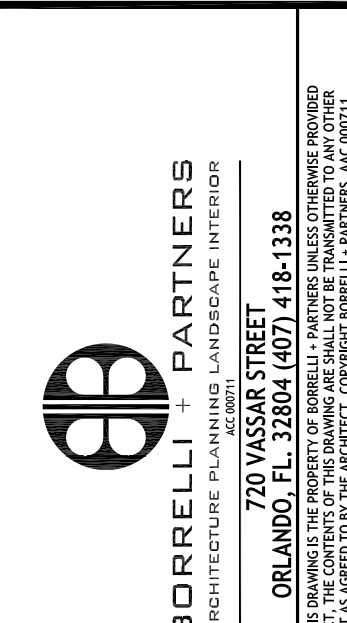


1 BUILDING SECTION
A-301 1/4"-1'-0"



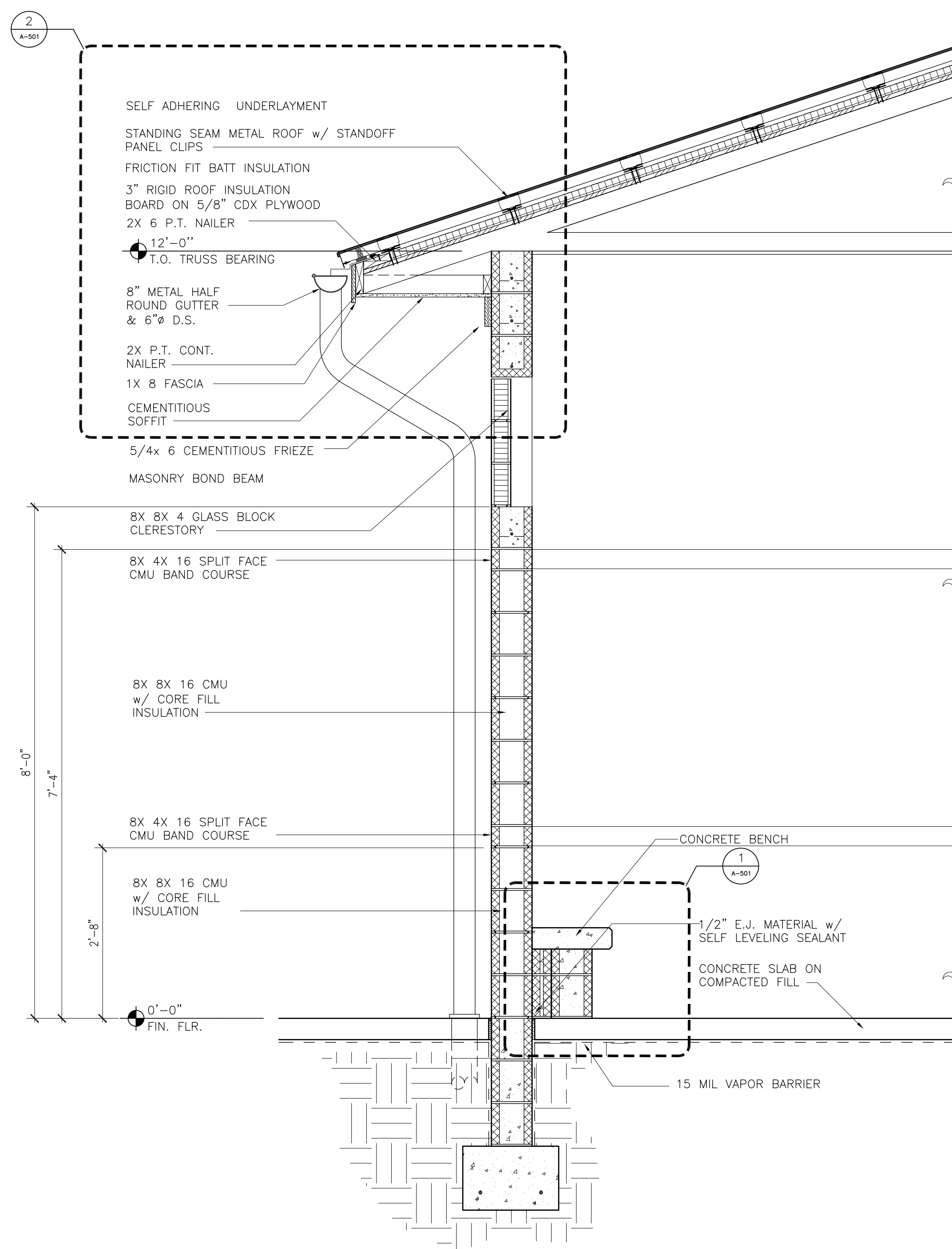
2 BUILDING SECTION
A-301 1/4"-1'-0"

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

		SIGNATURE AND DATED SEAL JAMES L. MOORE AR 9890	
CONSULTANTS		DRAWING TITLE	
PROJECT ADDRESS		BUILDING SECTION	
PROJECT NO. PHASE SCALE FILE NAME DRAWN BY CHECKED BY DATE	REV. DESCRIPTION DATE	PROJECT ADDRESS 400 E. KELLY PARK RD. APOPKA, FL 32712	DRAWING TITLE BUILDING SECTION
PERMIT SET AS NOTED 17/109 RP JLM 04-05-2018		OWNER NAME AND ADDRESS ORANGE COUNTY PARKS 400 E. SOUTH STREET 8TH FLOOR ORLANDO, FLORIDA 32801	

A-301

ELE PANNI



1 WALL SECTION
A-401 3/4"-1'-0"

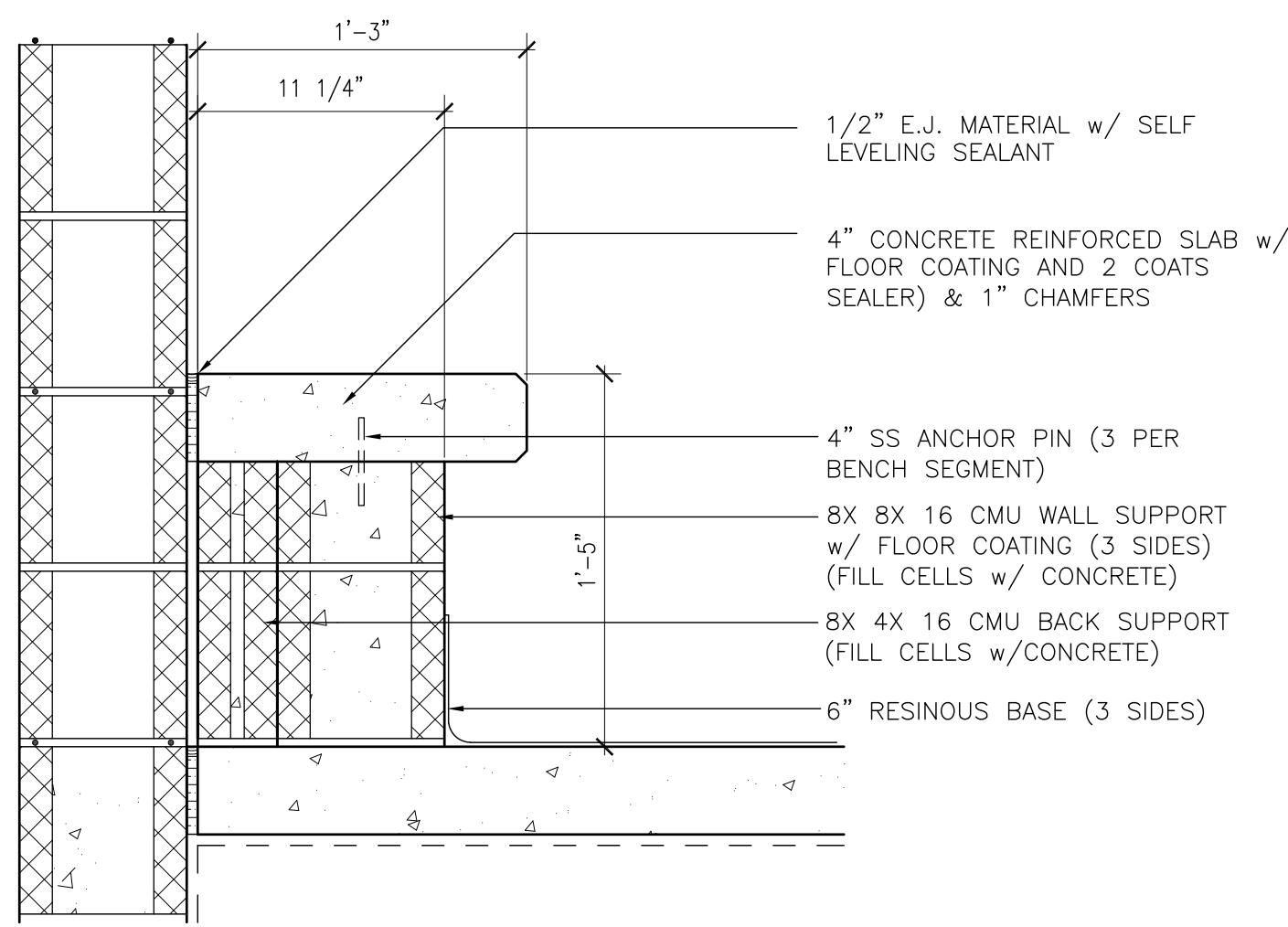
ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

PROJECT NO.	17-109	REV.	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE	CONSULTANTS	SIGNATURE AND DATED SEAL
PHASE	PERMIT SET		DESCRIPTION		400 E. KELLY PARK RD. APOPKA, FL 33712			
SCALE	AS NOTED							
FILE NAME	17-109				OWNER NAME AND ADDRESS			
DRAWN BY	RP				ORANGE COUNTY PARKS 400 E. SOUTH STREET 8TH FLOOR ORLANDO, FLORIDA 32801			
CHECKED BY	JLM							
DATE	04-05-2018							

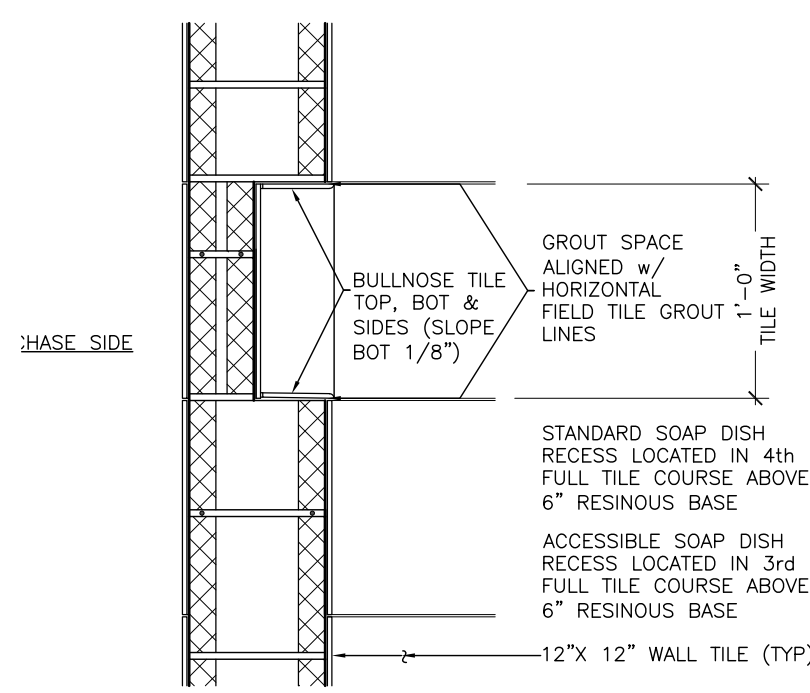
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BORRELLI PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
720 VASSAR STREET
ORLANDO, FL 32804 | 407.418.1338
ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)
PART RECEIVED AS SHOWN TO THE ARCHITECT: (BORRELLI PARTNERS, INC. 00711)

JAMES L. MOORE
ARY8990

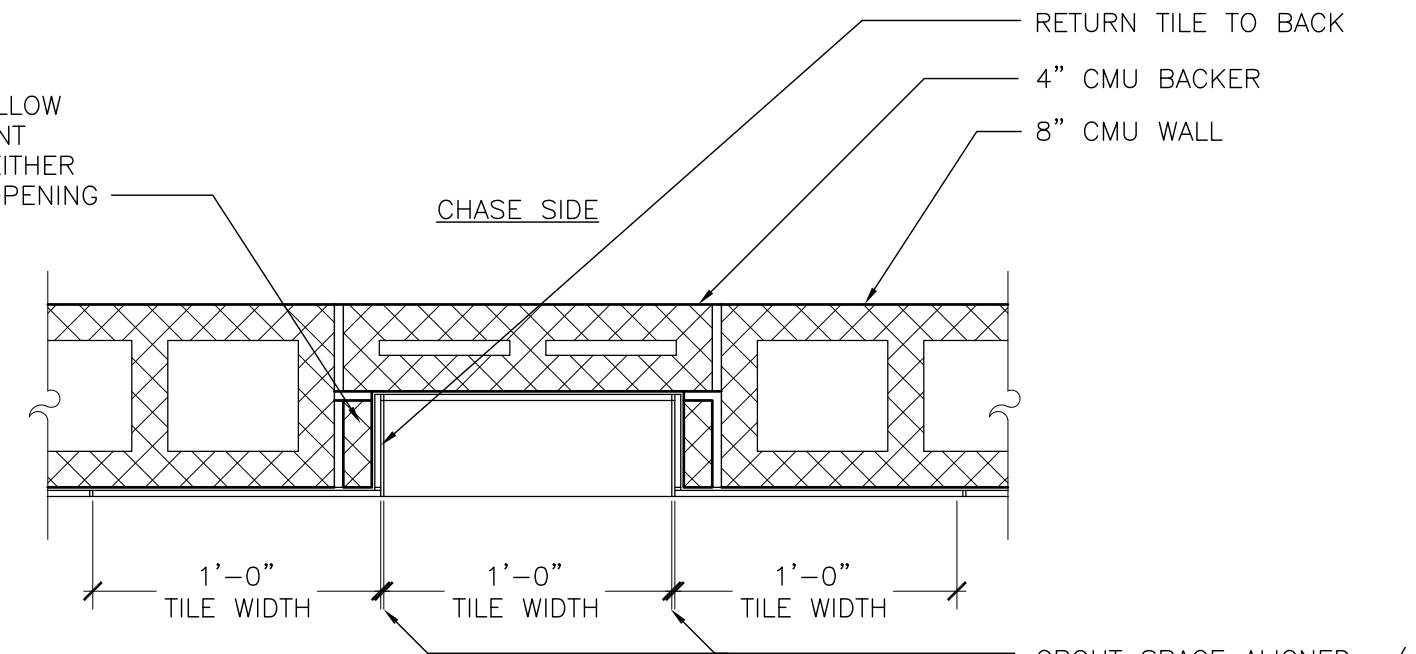


1 CONCRETE BENCH DETAIL
A-501 1-1/2"-1'-0"



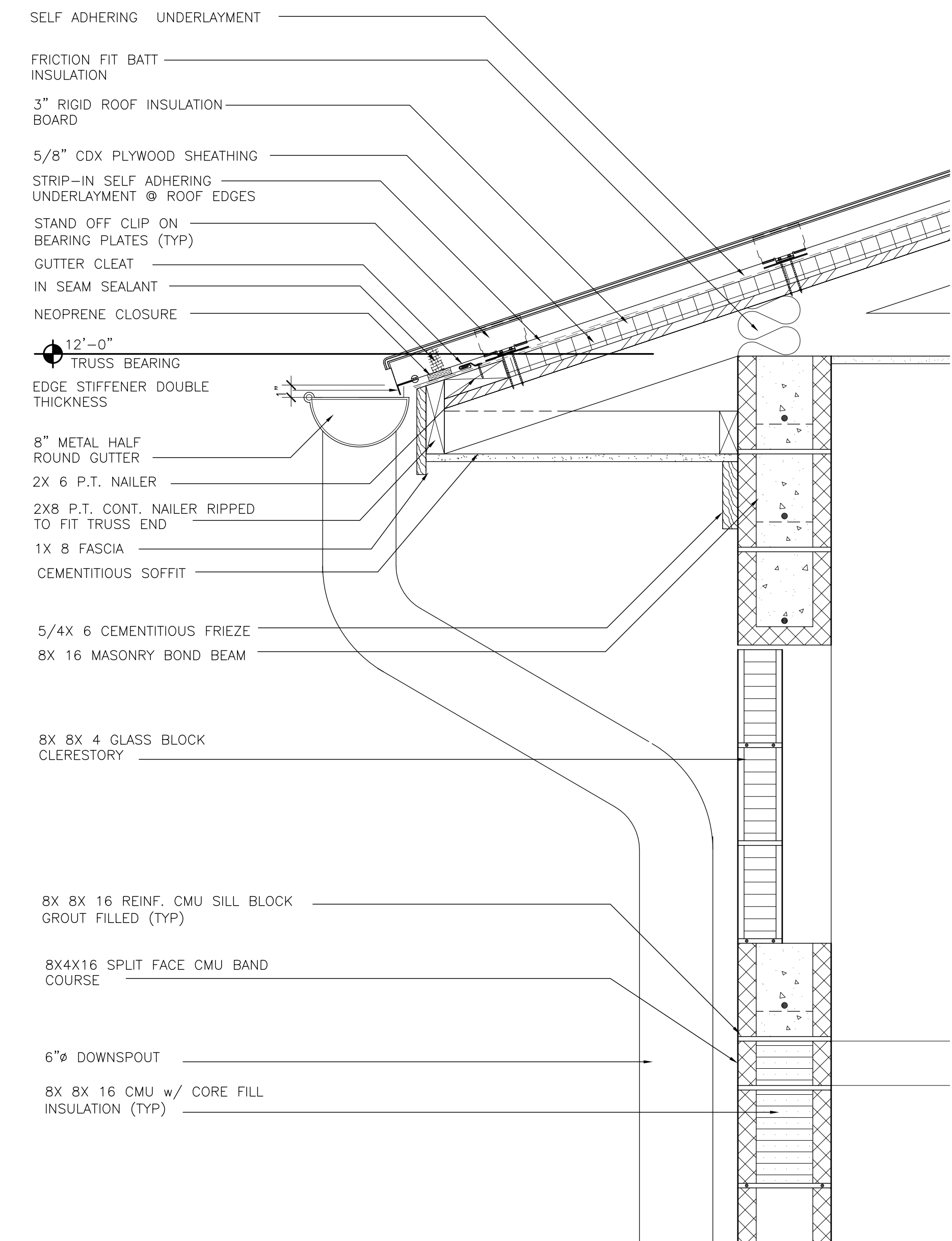
NOTE:

CUT CMU INFILL TO ALLOW FOR PROPER ALIGNMENT WITH FULL TILES TO EITHER SIDE OF SOAP DISH OPENING

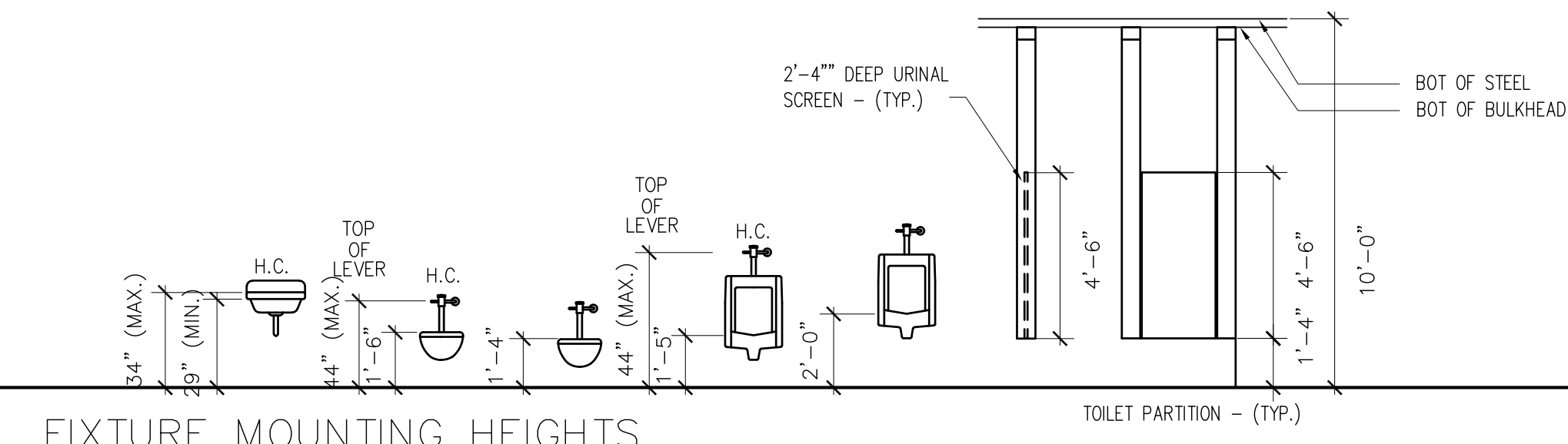


5 SOAP DISH DETAIL
A-501 1-1/2"-1'-0"

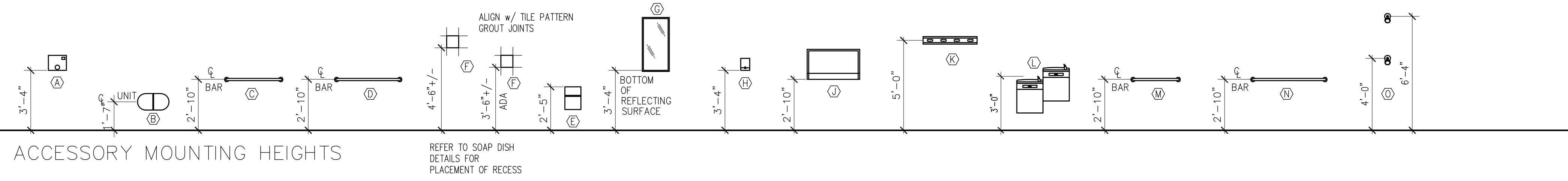
ACCESSORY LEGEND	
(A)	WARM-AIR DRYER (HD)
(B)	TOILET TISSUE DISPENSER (TP) - (OFCI)
(C)	GRAB BAR - 36" LONG (GB)
(D)	GRAB BAR - 42" LONG (GB)
(E)	SANITARY NAPKIN DISPOSAL (ND)
(F)	4" DP x 12" x 12" RECESS SOAP DISH IN CMU (RS)
(G)	MIRROR UNIT - 18" x 36"
(H)	SOAP DISPENSER (SD) - (OFCI)
(I)	DIAPER CHANGING STATION (BC) - (OFCI)
(J)	MOP AND BROOM HOLDER (MH)
(K)	DRINKING FOUNTAIN (EWC)
(L)	GRAB BAR - 30" LONG (GB)
(M)	GRAB BAR - 48" LONG (GB)
(N)	SHOWER HEADS
OFCI - OWNER FURNISHED CONTRACTOR INSTALLED	



2 SECTION DETAIL
A-501 1-1/2"-1'-0"

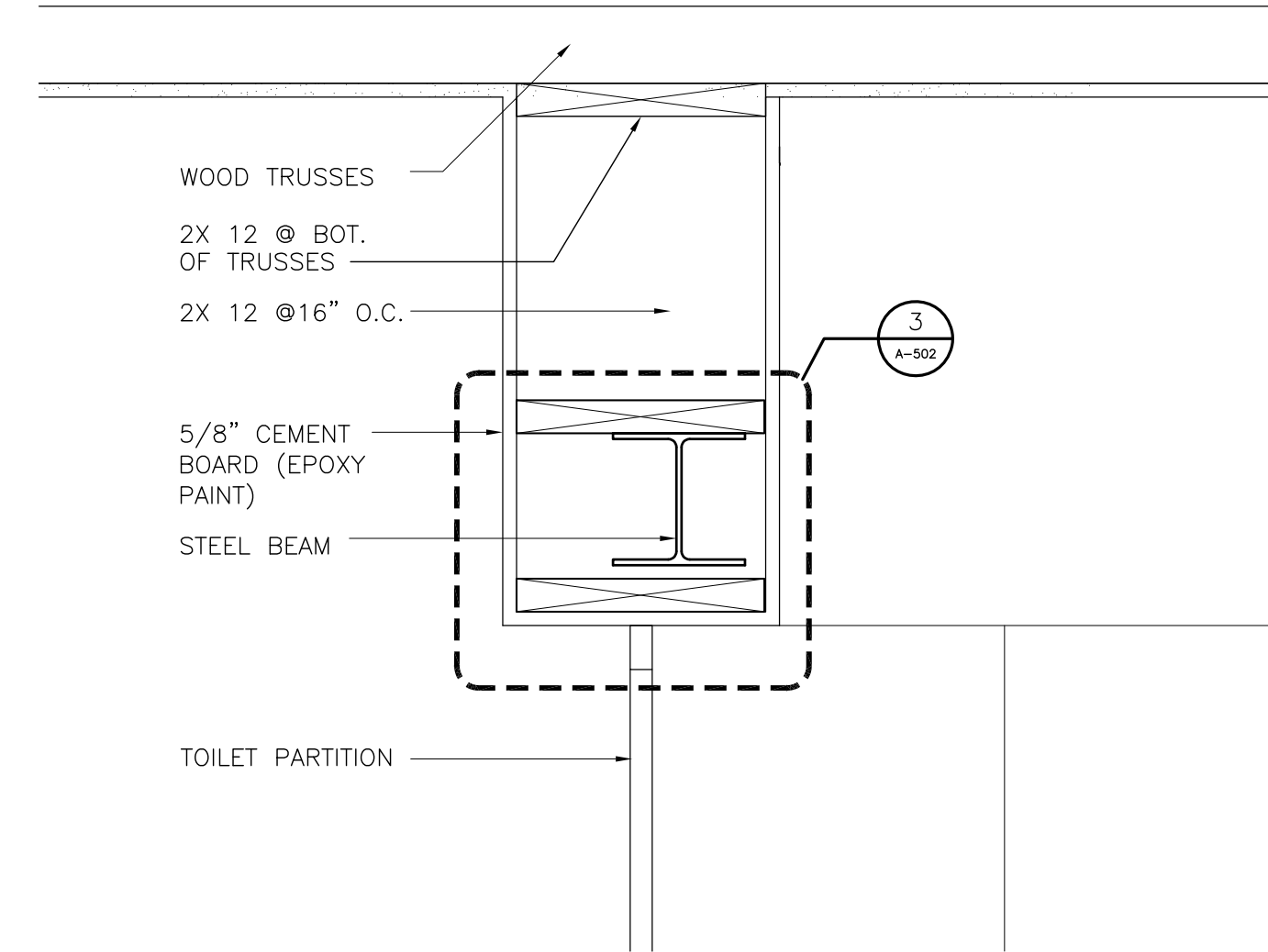


FIXTURE MOUNTING HEIGHTS



ACCESSORY MOUNTING HEIGHTS

3 MOUNTING HEIGHT DETAIL
A-501 1/4"-1'-0"

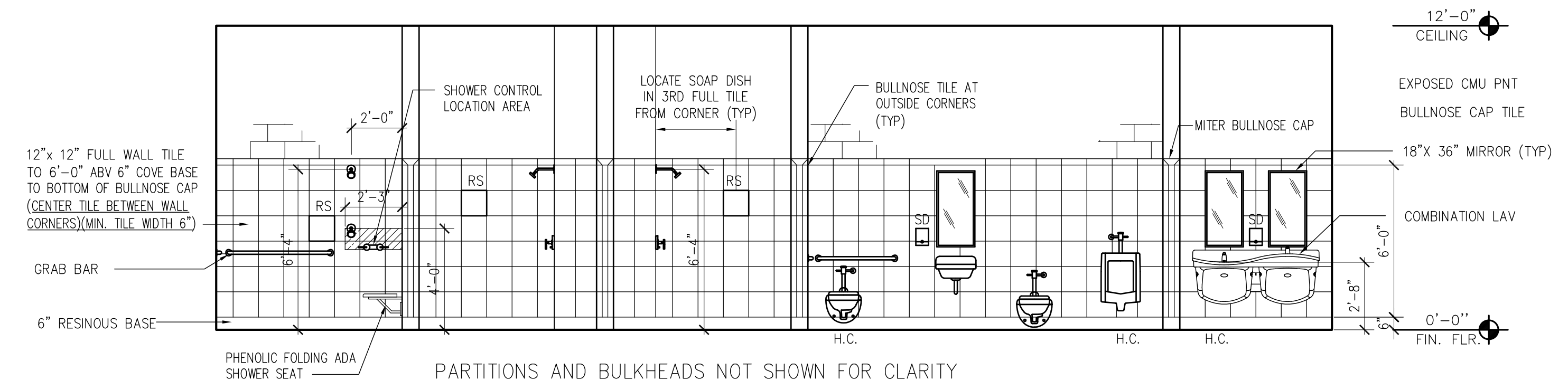


4 BULKHEAD DETAIL
A-501 1-1/2"-1'-0"

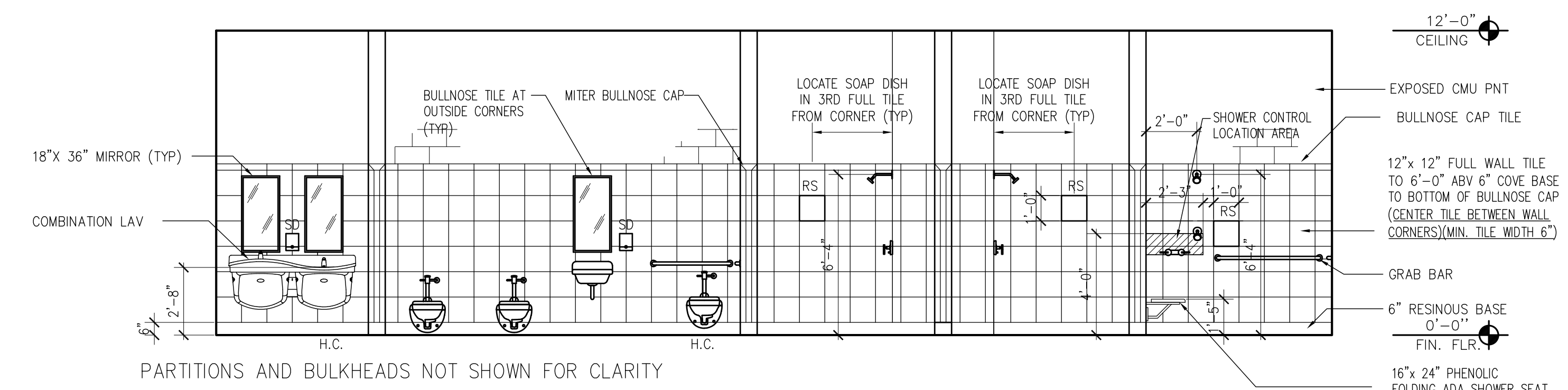
ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

PROJECT ADDRESS		DRAWING TITLE	
400 E. KELLY PARK RD. APOPKA, FL 32712		CONSULTANTS	
OWNER NAME AND ADDRESS ORANGE COUNTY PARKS 400 E. SOUTH STREET ORLANDO, FLORIDA 32801		SIGNATURE AND DATED SEAL	
PROJECT NO.		DATE	
PHASE	PERMIT SET	DESCRIPTION	
SCALE	AS NOTED		
FILE NAME	17-109		
DRAWN BY	RP		
CHECKED BY	JLM		
DATE	04-05-2018		
BORRELLI PARTNERS ARCHITECTURE PLANNING LANDSCAPE INTERIOR 720 VASSAR STREET ORLANDO, FL 32804 (407) 418-1338		DETAILS	
JAMES L. MOORE AR 9890			

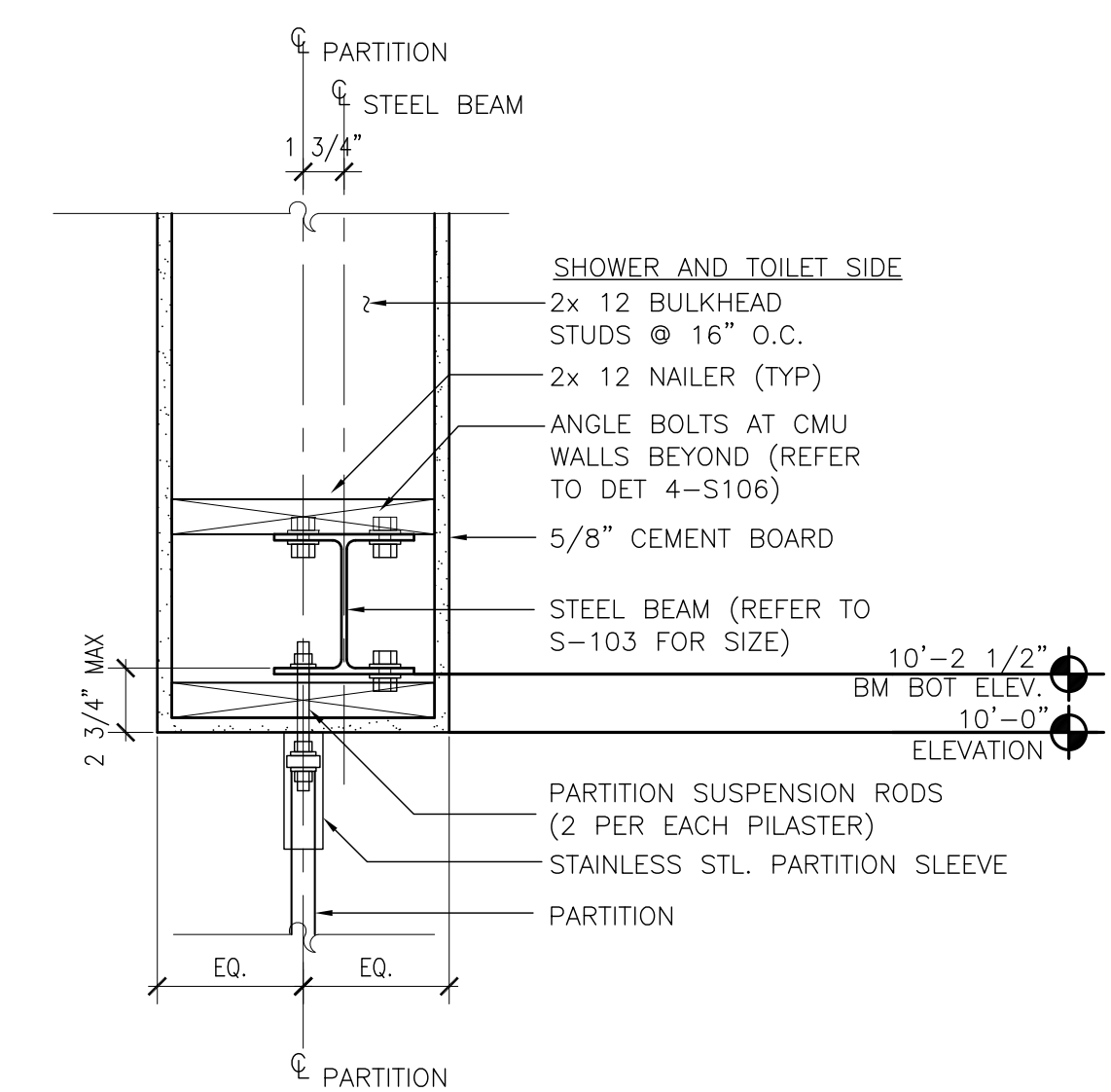
A-501



1 INTERIOR ELEV. MEN'S RESTROOM
A-502 1/4"-1'-0"



2 INTERIOR ELEV. WOMEN'S RESTROOM
A-502 1/4"-1'-0"



3 HANGING PARTITION DETAIL
A-502 1 1/2"-1'-0"

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

BORRELLI PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
720 VASSAR STREET
ORLANDO, FL 32804 (407) 418-1338

SIGNATURE AND DATED SEAL
CONSULTANTS
JAMES L. MOORE
AR 9890

DRAWING TITLE
DETAILS

REV.	DESCRIPTION	DATE
1	PERMIT SET	
2	AS NOTED	
3	17-109	
4	RP	
5	JLM	
6		
7		
8		
9		
10		

PROJECT NO.	400 E. KELLY PARK RD.
PHASE	ADOPMA, FL 32712
SCALE	
FILE NAME	ORANGE COUNTY PARKS
DRAWN BY	400 E. SOUTH STREET
CHECKED BY	8TH FLOOR
DATE	ORLANDO, FLORIDA 32801

PROJECT NO.	400 E. KELLY PARK RD.
PHASE	ADOPMA, FL 32712
SCALE	
FILE NAME	ORANGE COUNTY PARKS
DRAWN BY	400 E. SOUTH STREET
CHECKED BY	8TH FLOOR
DATE	ORLANDO, FLORIDA 32801

A-502

KELLY PARK RESTROOMS BUILDING - DOOR SCHEDULE														
ROOM #	DESCRIPTION	DOOR #	DOOR			OPENING FRAME			DETAIL #	HDW SET #	NOTES			
			Size (feet - inches)			Door Type	Base Mat'l	Finish Mat'l				Base Mat'l	Finish Mat'l	Frame Type
			Width	Height	Thick.									
101	JANITOR	101	3'-0"	7'-0"	1 3/4"	B	FRP	PAINT	FRP	PAINT	A	3 & 4	3.0	STAINLESS STEEL BUG MESH TO BE PLACED BEHIND LOUVER
101	CHASE	101A	3'-0"	7'-0"	1 3/4"	A	HOLLOW METAL	PAINT	HOLLOW METAL	PAINT	A	1 & 2	4.0	
102	CHASE	102	3'-0"	7'-0"	1 3/4"	B	FRP	PAINT	FRP	PAINT	A	3 & 4	1.0	STAINLESS STEEL BUG MESH TO BE PLACED BEHIND LOUVER
104	MENS	104	3'-0"	7'-0"	1 3/4"	B	FRP	PAINT	FRP	PAINT	A	3 & 4	2.0	STAINLESS STEEL BUG MESH TO BE PLACED BEHIND LOUVER
105	WOMENS	105	3'-0"	7'-0"	1 3/4"	B	FRP	PAINT	FRP	PAINT	A	3 & 4	2.0	STAINLESS STEEL BUG MESH TO BE PLACED BEHIND LOUVER

DOOR ACCESSIBILITY NOTES:

HANDLES, PULLS, LATCHES, LOCKS & OTHER OPERATING DEVICES MUST HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER OPERATED MECHANISM & U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. HARDWARE REQUIRED FOR PASSAGE MUST BE MOUNTED NO HIGHER THAN 48" A.F.F.

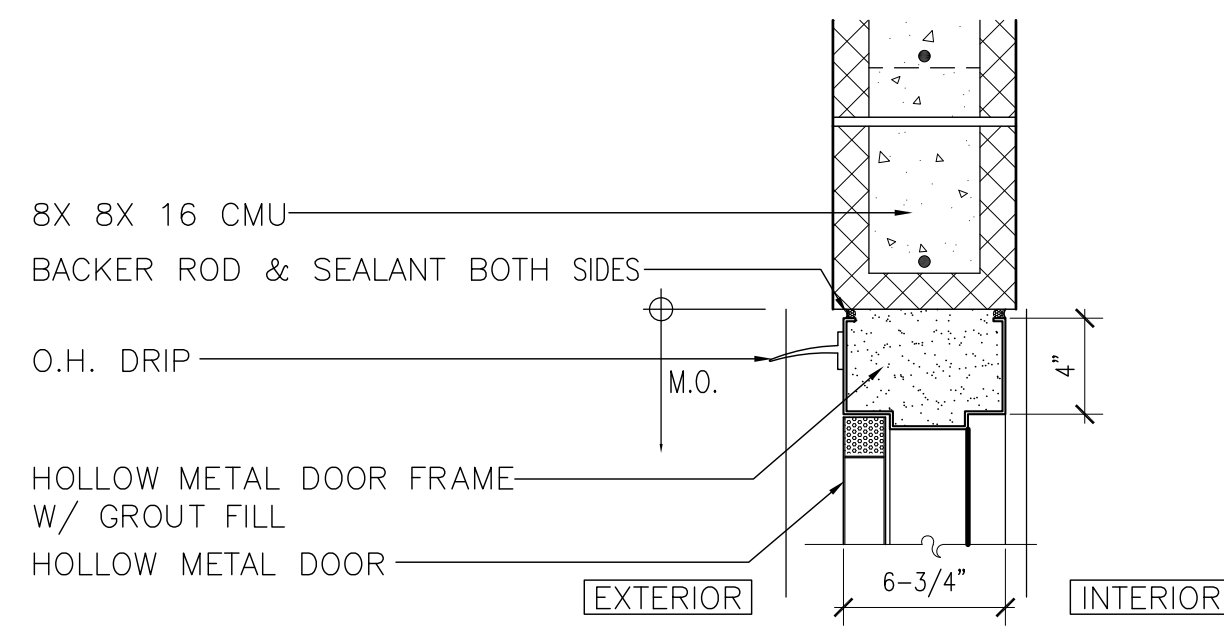
DOOR CLOSURES:
IF A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF THE CLOSER MUST BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH. MEASURE FROM THE LEADING EDGE OF THE DOOR.

DOOR OPENING:
FORCE THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR MUST BE AS FOLLOWS:
EXTERIOR HINGED DOORS: (ADAAG PROVIDES NO REQUIREMENTS AT THIS TIME)

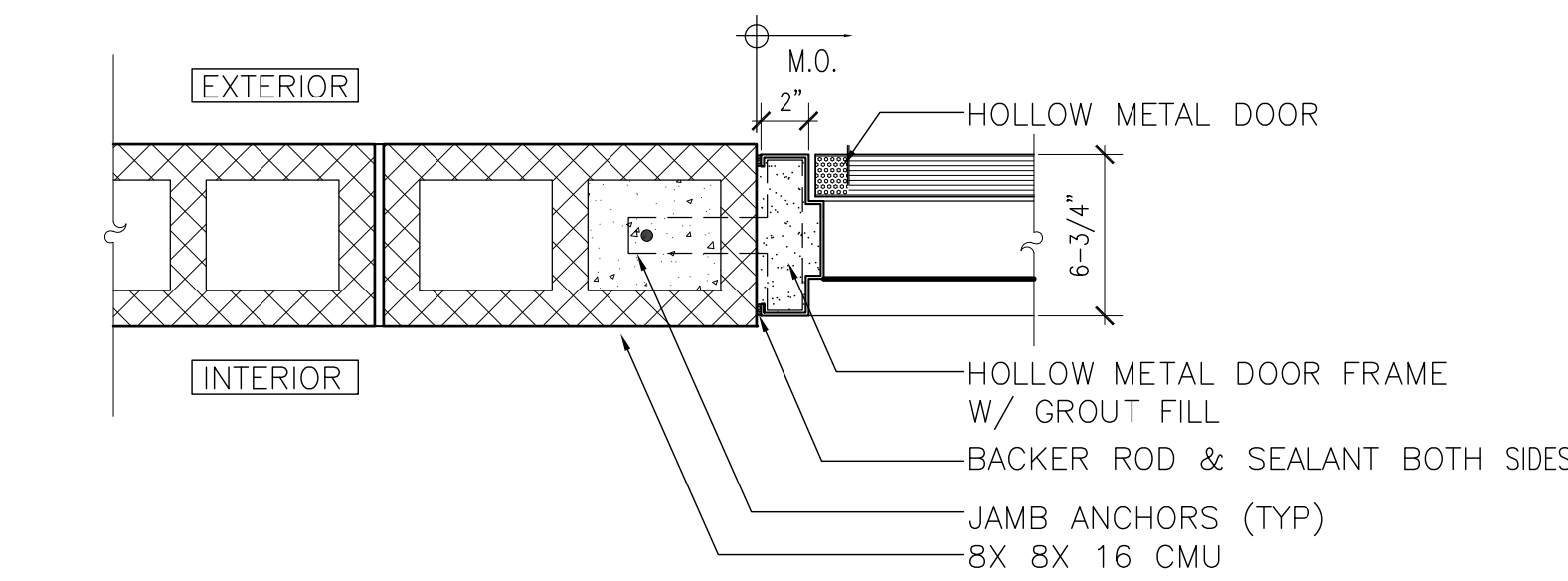
INTERIOR HINGED DOORS:
5 LBS. SLIDING OR FOLDING DOORS: 5 LBS.

GENERAL DOOR NOTES:

- ALL DOORS AND HARDWARE SHALL COMPLY WITH N.F.P.A. 101-5-2.1.5. ALL DOORS AND HARDWARE SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE, A.D.A. FEDERAL REGULATION CODES, UTILIZING A LEVER LATCH OR LOCKSET AND QC STANDARDS.
- FOR DOOR HARDWARE SPECIFICATIONS SEE SECTION 087100
- FOR HOLLOW METAL DOORS AND FRAMES SPECIFICATIONS SEE SECTION 081113
- ALL HOLLOW METAL DOORS & FRAMES TO RECEIVE ENAMEL PAINT FINISH. COLOR TO BE SELECTED BY ARCHITECT
- ALL DOORS UNDERCUT 3/4" FROM STRUCTURAL SLAB UNLESS OTHERWISE NOTED
- PERIMETER ANCHORING FOR ALL EXTERIOR DOORS AND WINDOW FRAMING SYSTEMS TO BE HURRICANE HARDENED TO COMPLY WITH MIAMI-DADE COUNTY PROTOCOLS. REFER TO MANUFACTURER'S PRODUCT APPROVAL DRAWINGS AND SPECIFICATIONS FOR REQUIRED ANCHORING AND CONNECTIONS.

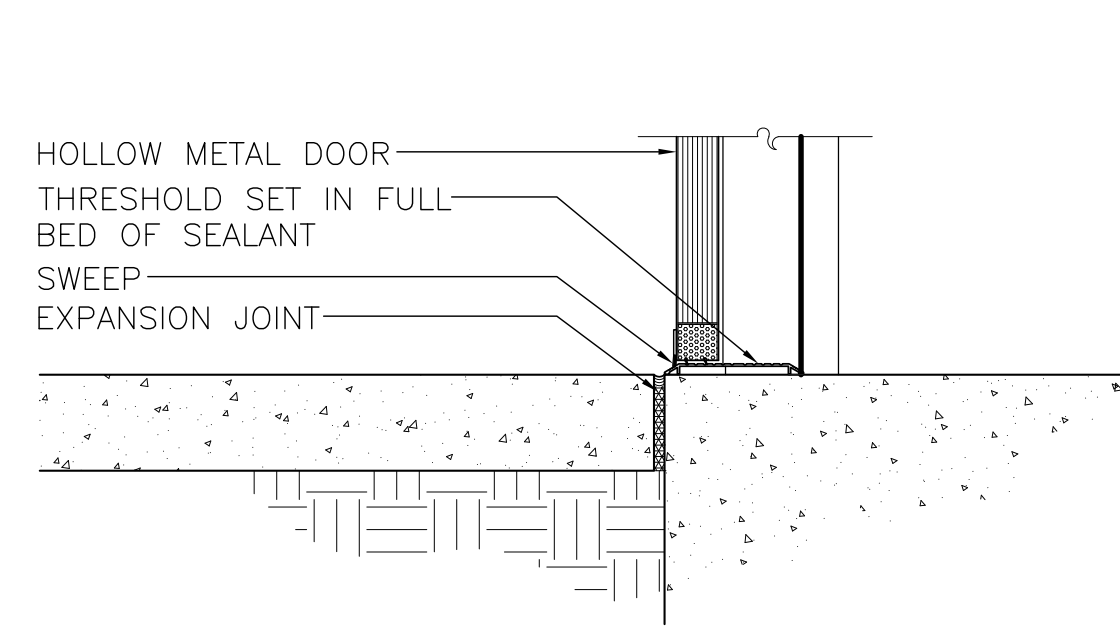


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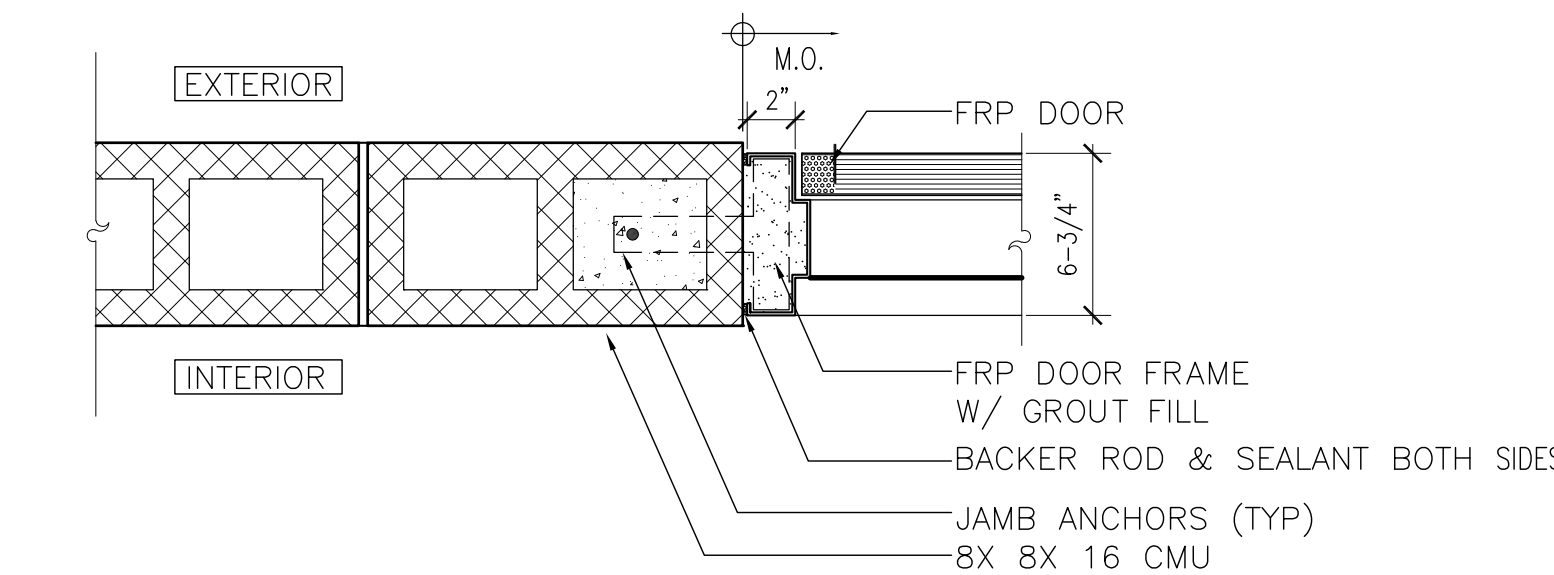
JAMB

1 H.M. DOOR AT CMU
SCALE: 1-1/2" = 1'-0"



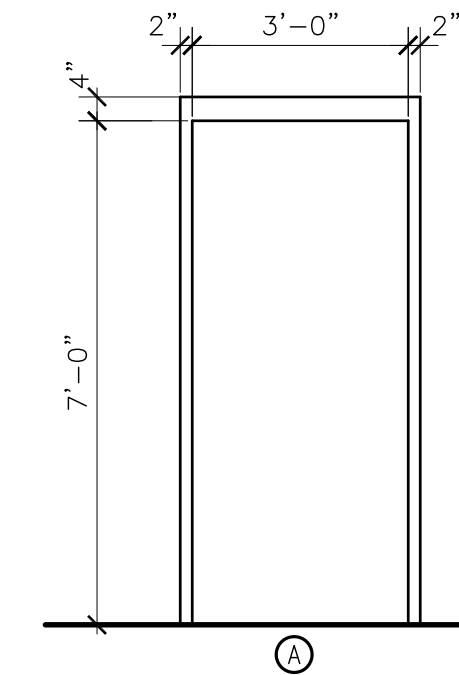
2 DOOR SILL DETAIL
SCALE: 1-1/2" = 1'-0"

HEAD

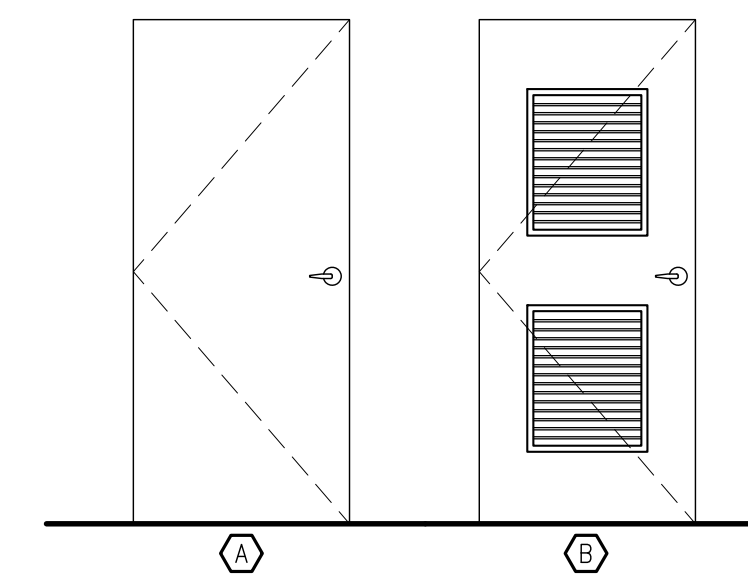


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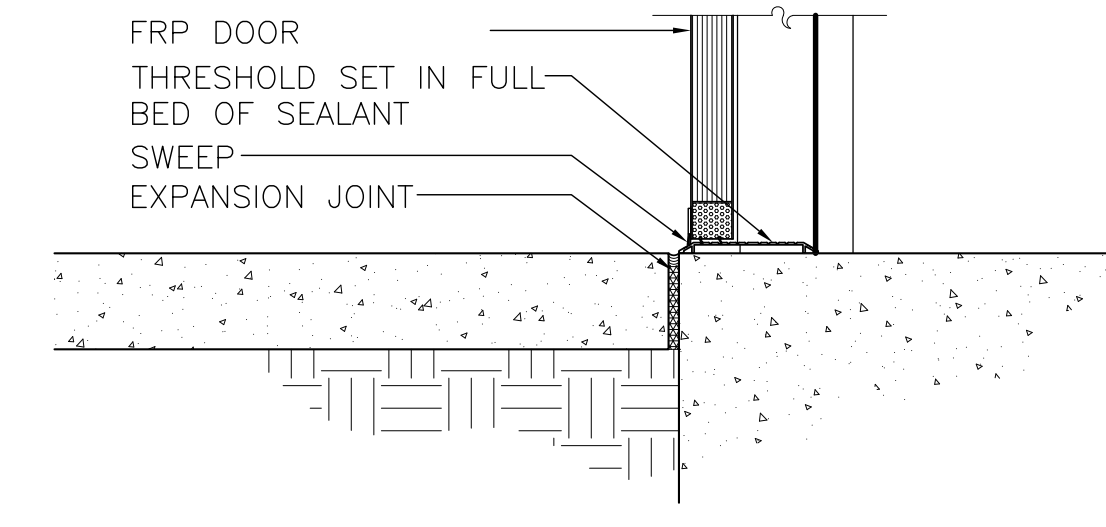
3 FRP DOOR AT CMU
SCALE: 1-1/2" = 1'-0"



FRAME ELEVATION
SCALE: 3/8"=1'-0"



DOOR ELEVATIONS
SCALE: 3/8"=1'-0"



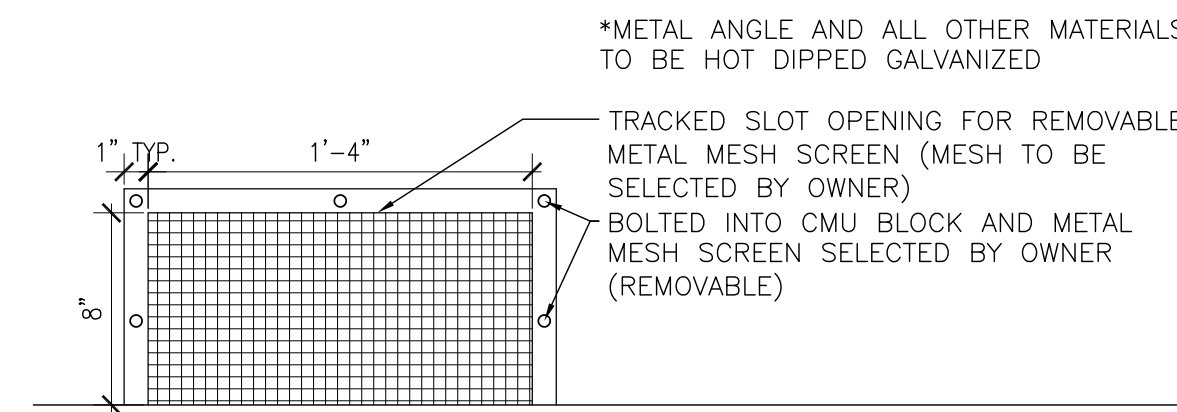
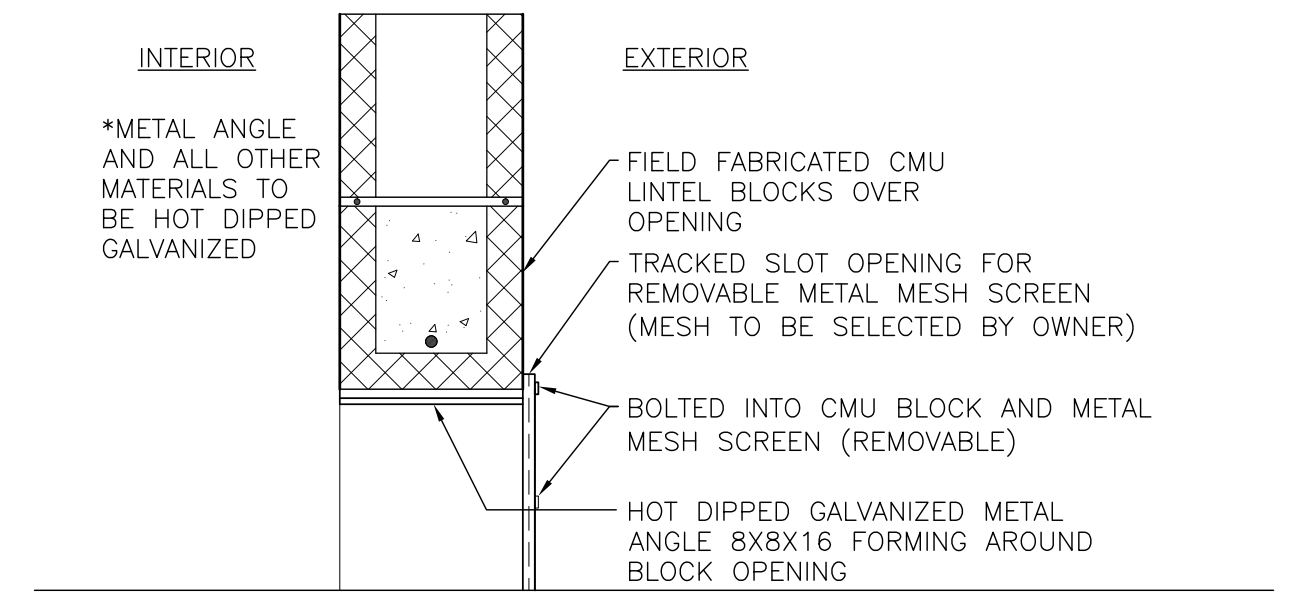
4 FRP DOOR SILL DETAIL
SCALE: 1-1/2" = 1'-0"

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

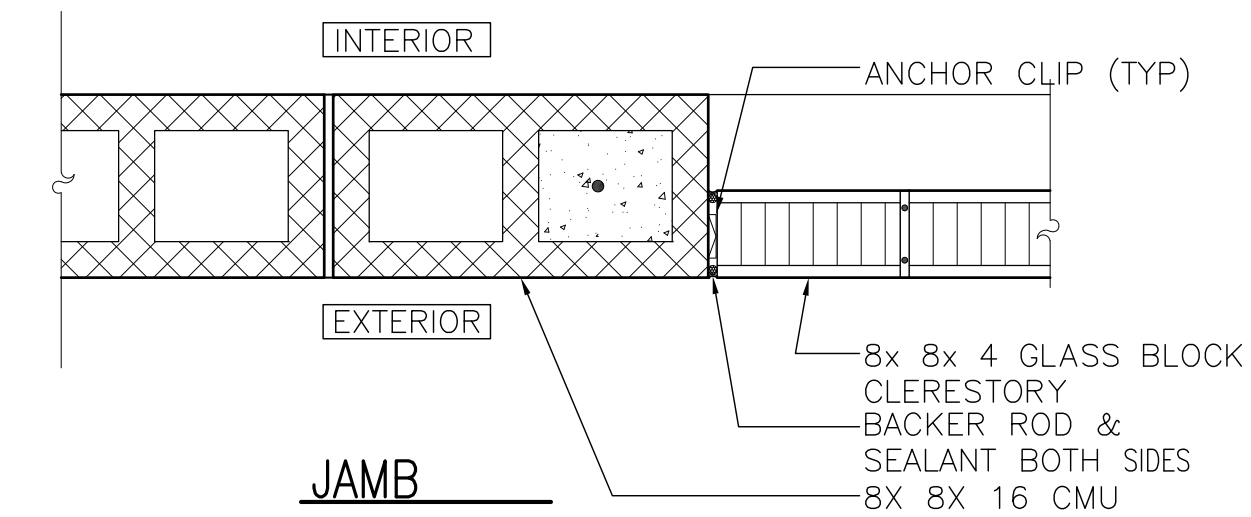
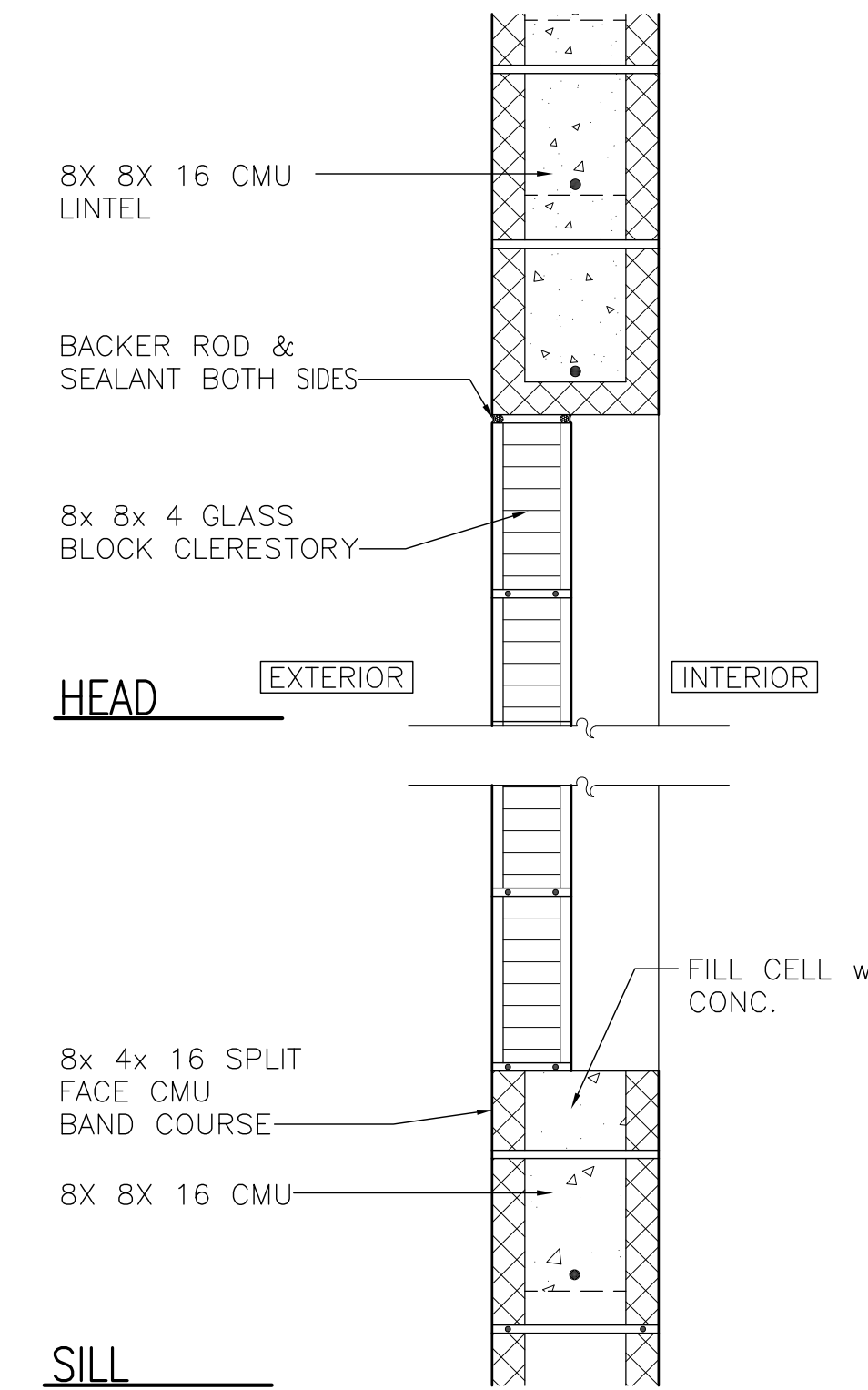
BORRELLI PARTNERS ARCHITECTURE PLANNING LANDSCAPE INTERIOR 720 VASSAR STREET ORLANDO, FL 32804 407.418.1338 <small>THIS DOCUMENT IS THE PROPERTY OF BORRELLI PARTNERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.</small>		SIGNATURE AND DATED SEAL _____ DATE: _____
CONSULTANTS _____ DATE: _____		LICENSE # _____
DETAILS		
PROJECT ADDRESS 400 E. KELLY PARK RD. APOPKA, FL 32712	PROJECT NO. 17-109	DRAWING TITLE _____
OWNER NAME AND ADDRESS ORANGE COUNTY PARKS 400 E. SOUTH STREET 8TH FLOOR ORLANDO, FLORIDA 32801	PERMIT SET AS NOTED 17-109	DATE 04-05-2018
FILE NAME JLM	DRAWN BY JLM	CHECKED BY JLM
A-503		

Restroom Bldg (CMU)

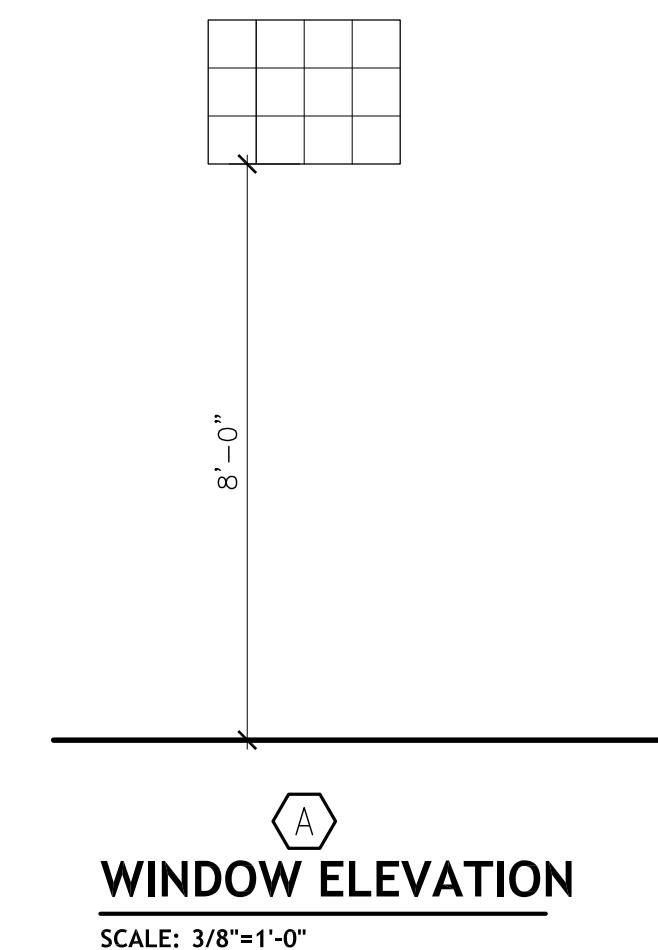
GLASS BLOCK - WINDOWS SCHEDULE								
NO.	DESCRIPTION	MATERIAL	NOMINAL	NOMINAL	TYPE	FINISH	DETAILS	REMARKS
A	GLASS BLOCK CLERESTORY	ALUM/GLASS	2'-8"	2'-0"	GLASS		2/A-504	
ALUM - GLASS								



3 METAL MESH CLEAN OUT
A-504 SCALE: 1-1/2" = 1'-0"



2 GLASS BLOCK AT CMU
A-504 SCALE: 1-1/2" = 1'-0"



A WINDOW ELEVATION
SCALE: 3/8" = 1'-0"

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

 BORRELLI PARTNERS ARCHITECTURE PLANNING LANDSCAPE INTERIOR 720 VASSAR STREET ORLANDO, FL 32804 407.418.1338 <small>THIS DOCUMENT IS THE PROPERTY OF BORRELLI PARTNERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. PARTIAL REUSE IS PROHIBITED. © BORRELLI PARTNERS, 2018</small>	SIGNATURE AND DATED SEAL CONSULTANTS DRAWING TITLE WINDOW SCHEDULE AND DETAILS	PROJECT ADDRESS 400 E. KELLY PARK RD. APOPKA, FL 32712 OWNER NAME AND ADDRESS ORANGE COUNTY PARKS 400 E. SOUTH STREET 8TH FLOOR ORLANDO, FLORIDA 32801	PROJECT NO. PHASE SCALE FILE NAME DRAWN BY CHECKED BY DATE	REV. DESCRIPTION DATE DATE
PROJECT NO. 17-109 PHASE PERMIT SET SCALE AS NOTED FILE NAME 17-109 DRAWN BY RP CHECKED BY JLM DATE 04-05-2018		PROJECT NO. 17-109 PHASE PERMIT SET SCALE AS NOTED FILE NAME 17-109 DRAWN BY RP CHECKED BY JLM DATE 04-05-2018		DATE 04-05-2018

A-504

HVAC SYMBOL LEGEND		
24x12	DUCT-FIRST DIM. IS WIDTH DUCT-SECOND DIM. IS HEIGHT	DUCT TAKE-OFF W/ VOLUME DAMPER
	DUCT ELBOW DOWN	POINT OF CONNECTION NEW TO EXISTING WORK
	DUCT ELBOW UP	POINT OF EXTENT OF REMOVAL OF EXISTING HVAC
	DUCT RISE	THERMOMETER
	DUCT DOWN	PRESSURE GAUGE
	DUCT UNDER POSITIVE PRESSURE	UNION OR FLANGE
	DUCT UNDER NEGATIVE PRESSURE	BALL OR BUTTERFLY VALVE
	ELBOW W/TURNING VANES	CHECK VALVE
	TAKE-OFF W/EXTRACTOR	MODULATING CONTROL VALVE
	FLEXIBLE DUCT	TWO POSITION CONTROL VALVE
	FLEXIBLE CONNECTION	PLUG VALVE W/ MEMORY
	SUPPLY AIR TERMINAL ARROW INDICATES THROW	FLEXIBLE PIPE
	RETURN OR EXHAUST AIR	STRAINER
	LINEAR DIFFUSERS	MANUAL AIR VENT
	SIDE MOUNTED EHD	AUTOMATIC AIR VENT
	BOTTOM MOUNTED EHD	3/4" HOSE END DRAIN PIPE
	FIRE DAMPER	CHWS - CHILLED WATER SUPPLY
	SMOKE DAMPER	CHWR - CHILLED WATER SUPPLY
	SMOKE AND FIRE DAMPER	HWS - HOT WATER SUPPLY
	VOLUME DAMPER	HWR - HOT WATER RETURN
	REMOTE VOLUME DAMPER	RHG - REFRIGERANT HOT GAS
	MOTORIZED DAMPER	RL - REFRIGERANT LIQUID
	BACKDRAFT DAMPER	RS - REFRIGERANT SUCTION
	SMOKE DETECTOR (DUCT MOUNTED)	D - CONDENSATE DRAIN
	CEILING ACCESS DOOR	AD - PIPE ELBOW DOWN
	DUCT ACCESS DOOR	AD - PIPE ELBOW UP
	HUMIDITY SENSOR	PE - PIPE ELBOW
	ROOM SENSOR	PT - PIPE TEE DOWN
	THERMOSTAT	PT - PIPE TEE UP
		R - ROUND

HVAC ABBREVIATIONS			
AC	AIR CONDITIONING	HD	HUB DRAIN
AHU	AIR HANDLING UNIT	HOA	HAND/OFF/AUTOMATIC
AF	ABOVE FINISHED FLOOR	HP	HORSEPOWER
BDD	BACKDRAFT DAMPER	HVAC	HEATING, VENTILATING & AIR CONDITIONING
BHP	BRAKE HORSEPOWER	H2O	WATER
BMS	BUILDING MANAGEMENT SYSTEM	INIT	INITIAL
BTU	BRITISH THERMAL UNIT	KSU	KITCHEN AIR SUPPLY UNIT
CF	CHEMICAL FEEDER	LAT	L.V.G. AIR TEMPERATURE
CFM	CUBIC FEET PER MINUTE	LD	LINEAR DIFFUSER
CLG	CEILING	LR	LINEAR RETURN
CYC	CYCLES	LVG	LEAVING
COND	CONDENSATE	LWT	L.V.G. WATER TEMPERATURE
CC	COOLING COIL	MAU	MAKE UP AIR UNIT (KITCHEN HOOD)
CD	CEILING DIFFUSER	MBH	MEGA BTU PER HOUR
CG	CEILING GRILLE	MD	MOTORIZED DAMPER
DIM	DIMENSION	NC	NOISE CRITERIA
DB	DRY BULB	NIC	NOT IN CONTRACT
"F	DEGREES FARENHEIT	OA	OUTSIDE AIR
DWG	DRAWING	OPER	OPERATING
EA	EXHAUST AIR	OV	OUTLET VELOCITY
EAT	ENTERING AIR TEMPERATURE	PCF	PUMP, CHEMICAL FEED
EG	EXHAUST AIR GRILLE	PCH	PUMP, CHILLED WATER
EHC	ELECTRIC HEATING COIL	PD	PRESSURE DROP
EHD	ELECTRIC HEATER, DUCT	PH	PHASE
EHU	ELECTRIC UNIT HEATER	RG	RETURN AIR GRILLE
EHW	ELECTRIC HEATER, WALL	ROT	ROTATION
ENT	ENTERING	RPM	REVOLUTION PER MINUTE
ER	EXHAUST AIR REGISTER	RVD	REMOTE VOLUME DAMPER
ENT	ENT. WATER TEMPERATURE	SA	SUPPLY AIR
F	FILTER	SENS	SENSIBLE
FCU	FAN COIL UNIT	SD	SPLITTER DAMPER
EF	EXHAUST FAN	SP	STATIC PRESSURE
EFG	EXHAUST FAN, GREASE	SR	SUPPLY AIR REGISTER
FF	FLY FAN	TG	TRANSFER AIR GRILLE
FPI	FINS PER INCH	TEMP	TEMPERATURE
FFM	FEET PER MINUTE	UD	UNDERCUT DOOR
FR	FAN, RETURN	VG	VENT, GRAVITY
SF	SUPPLY FAN	W	WATTS
GPM	GALLONS PER MINUTE	WB	WET BULB
		W/	WITH

HVAC GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2014 FLORIDA BUILDING CODE (5TH EDITION), THE 2014 FLORIDA MECHANICAL CODE (5TH EDITION), THE 2014 FLORIDA ENERGY EFFICIENCY CODE (5TH EDITION) AND THE ORANGE COUNTY BUILDING DEPARTMENT REQUIREMENTS AND ALL OTHER APPLICABLE CODES AND STANDARDS.
- REFER TO ARCHITECTURAL DRAWINGS FOR CLEARANCES WITHIN THE CEILING SPACE, MECHANICAL ROOMS, LOCATIONS AND SIZES OF BEAMS AND CEILING AND SOFFIT HEIGHTS.
- DUCTWORK AND EQUIPMENT LOCATIONS AND CLEARANCES SHALL BE COORDINATED WITH GENERAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL CONTRACTORS. REFER TO ARCHITECTURAL PLANS FOR BUILDING SECTIONS AND DETAILS.
- CONNECTION TO ALL EQUIPMENT SHALL BE VERIFIED WITH MANUFACTURERS CERTIFIED DRAWINGS. TRANSITIONS TO ALL EQUIPMENT SHALL BE VERIFIED AND PROVIDED FOR ALL EQUIPMENT FURNISHED.
- COORDINATE DIFFUSER, REGISTER AND GRILLE LOCATION WITH LIGHTING LOCATIONS AND ARCHITECTURAL CEILING PLANS. ALSO COORDINATE THE TYPE OF DIFFUSER FRAME WITH THE CEILING TYPE.
- ALL EQUIPMENT SHALL BE PROPERLY SUPPORTED AND ISOLATED TO PREVENT NOISE AND VIBRATION TRANSMISSION. ALL AIR HANDLING EQUIPMENT SHALL BE SUPPORTED OR SUSPENDED WITH SPRING VIBRATION ISOLATORS PADS. ALL CONNECTIONS BETWEEN AIR HANDLING EQUIPMENT AND DUCTWORK SHALL BE CANVAS FLEXIBLE CONNECTORS.
- ALL MECHANICAL EQUIPMENT SHALL BE LOCATED WITH RESPECT TO BUILDING CONSTRUCTION AND OTHER EQUIPMENT SO AS TO PERMIT ACCESS TO THE MECHANICAL EQUIPMENT IN CONFORMITY WITH ANY CLEARANCE WHICH MAY BE RECOMMENDED BY THE MANUFACTURER OF THE EQUIPMENT. SUFFICIENT CLEARANCE SHALL BE MAINTAINED FOR CLEANING COILS, MOTORS, BURNERS, AS WELL AS CHANGING FILTERS. ALL EQUIPMENT SHALL BE LOCATED WITHIN THE MECHANICAL ROOM AND CEILING SPACES WITH ADEQUATE CLEARANCES FOR REPAIR AND MAINTENANCE. ALL PIPING AND DUCTWORK SHALL BE INSTALLED TO PROVIDE ADEQUATE CLEARANCE FOR ACCESS TO ALL EQUIPMENT. INSTALLATION OF ALL MECHANICAL EQUIPMENT SHALL COMPLY WITH THE MANUFACTURERS SPECIFICATION AND CLEARANCE REQUIREMENT.
- ALL DUCT DIMENSIONS SHOWN ARE CLEAR INSIDE DIMENSIONS.
- THE INSIDE OF ALL DUCTS VISIBLE THRU THE FACE OF DIFFUSERS, REGISTERS, AND GRILLES SHALL BE PAINTED FLAT BLACK WITH NON TOXIC PAINT.
- ALL EXHAUST AIR DUCTWORK SHALL BE GALVANIZED STEEL SHEETS. FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH LATEST EDITION OF SMACNA DUCT CONSTRUCTION STANDARDS FOR A 2 INCH PRESSURE CLASSIFICATION.
- ALL DUCT JOINTS SHALL BE SEALED WITH APPROVED MASTIC.
- PROVIDE HANGER STRAPS FOR ALL DUCTS MADE OF 2" WIDE, 22 GAGE GALVANIZED STEEL-SPACED ACCORDING TO SMACNA STANDARDS AND ALL OTHER APPLICABLE GOVERNING CODES AND STANDARDS.
- ALL DUCT BRANCH TAKE OFFS FROM MAIN DUCT FOR INDIVIDUAL AIR OUTLETS, INLETS AND BOXES SHALL HAVE BALANCING DAMPERS.
- ALL DUCTWORK STORED ON SITE OR ALREADY INSTALLED SHALL HAVE ALL OPEN ENDS SEALED WITH VISQUEINE TO PREVENT DUST AND DEBRIS FROM ACCUMULATING INSIDE OF THE DUCTWORK. INTERIORS OF ALL DUCTWORK SHALL BE THOROUGHLY CLEANED PRIOR TO INSTALLATION.
- ALL DAMPERS AND EXTRACTORS SHALL HAVE LOCKING QUADRANTS AND SHALL BE ACCESSIBLE.
- PROVIDE REMOTE VOLUME DAMPER (RVD) OPERATORS IN ALL NON-ACCESSIBLE CEILING. EQUAL TO YOUNG REGULATOR COMPANY MODEL 270-896C BOWDEN CABLE CONTROL UNIT OR METROPOLITAN AIR CONTROL FOR EACH REMOTE VOLUME DAMPER SHALL BE LOCATED WITHIN THE DIFFUSER OR REGISTER BEING SERVED.
- BEVELED TAKE OFFS AND DAMPERS SHALL BE INSTALLED IN ALL BRANCH DUCTWORK LEADING FROM MAIN TRUNK LINES.
- ALL SPLITTER DAMPERS SHALL BE BALANCED AND SET PRIOR TO THE INSTALLATION OF THE CEILING.
- OUTSIDE AIR INTAKE LOUVERS SHALL HAVE 1/2" x 1/2" MINIMUM MESH SCREEN, AND SHALL BE LOCATED AS HIGH ABOVE FINISH GRADE AS POSSIBLE.
- OUTSIDE AIR WALL LOUVERS SHALL BE LOCATED A MINIMUM OF 10'-0" FROM ANY EXHAUST AIR DISCHARGE, COMBUSTION AIR DISCHARGE OR ANY PLUMBING VENT TERMINATION.
- ALL WALL LOUVERS SHALL BE ALUMINUM CONSTRUCTION AND SHALL BE FLORIDA PRODUCT APPROVED.
- EXHAUST AIR OUTLETS SHALL BE INSTALLED A MINIMUM OF 10'-0" FROM FRESH AIR INTAKES OF MECHANICAL EQUIPMENT AS WELL AS ALL OPERABLE WINDOWS AND DOORS.
- ALL FANS SHALL BE PROPERLY SUPPORTED AND ISOLATED TO PREVENT NOISE AND VIBRATION TRANSMISSION. ALL CONNECTIONS BETWEEN FANS AND DUCTWORK SHALL BE CANVAS FLEXIBLE CONNECTORS.
- ALL EQUIPMENT LOCATED WITHIN THE CEILING SPACES SHALL HAVE ADEQUATE CLEARANCES FOR REPAIR AND MAINTENANCE. ALL PIPING AND DUCTWORK SHALL BE INSTALLED TO PROVIDE ADEQUATE CLEARANCE FOR ACCESS TO ALL EQUIPMENT.

SPECIAL O.C. BUILDING DEPARTMENT HVAC NOTES

- ALL DUCTWORK SHALL BE SUPPORTED PER CODE. PROVIDE HANGER STRAPS FOR ALL DUCTS MADE OF 2" WIDE, 22 GAGE GALVANIZED STEEL. SPACE SUPPORT STRAPS ACCORDING TO SMACNA GUIDELINES AND THE ORANGE COUNTY BUILDING DEPARTMENT REQUIREMENTS.
- ALL EXHAUST AIR DUCTWORK SHALL BE GALVANIZED STEEL SHEETS. FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF SMACNA DUCT CONSTRUCTION STANDARDS FOR A 2" PRESSURE CLASSIFICATION. ALL DUCT JOINTS SHALL BE MECHANICALLY FASTENED AND SEALED TO 100% CLOSURE WITH MASTIC. ENTIRE INSTALLATION SHALL BE IN ACCORDANCE WITH SMACNA GUIDELINES AND THE ORANGE COUNTY BUILDING DEPARTMENT.
- ALL GRILLES SHALL HAVE A MINIMUM FLAME SPREAD RATING OF NOT OVER 25 AND A MINIMUM SMOKE DEVELOPED RATING OF NOT OVER 50 AND SHALL BE IN COMPLIANCE WITH SECTIONS 603.15 AND 603.15.1 OF THE 2014 FLORIDA MECHANICAL CODE (5TH EDITION).
- ALL BRANCH DUCTS SERVING INDIVIDUAL GRILLES OR REGISTERS SHALL HAVE BALANCING DAMPERS AT THE CONNECTION TO THE MAIN TRUNK DUCT.
- REFER TO THE FLOOR PLAN AND AIR BALANCE SCHEDULES FOR OVERALL BUILDING AIR BALANCE AND EXHAUST AIR TO EACH SPACE.

GV-1 GRAVITY VENT, ROOF MOUNTED, ROOF CURB, EXHAUST, SPUN ALUMINUM, BIRDSCREENS AND INSECT SCREENS ON INTAKE, 2100 CFM AT .14" PRESSURE DROP, 24"x24" CURB/CAP, 32"x39" HOOD, GREENHECK MODEL FGR-18x18 OR EQUAL.

FAN SCHEDULE

UNIT NUMBER	PERFORMANCE DATA					CONSTRUCTION DATA				MOTOR DATA			ELECTRICAL			MANUFACTURER/MODEL	WEIGHT (LBS)	NOTES	
	CFM	SP	OV (FFM)	RPM	SONES	BHP	FAN TYPE	CLASS	ROT	DISCH	HP	WATTS	START TYPE	VOLTS	PHASE				CYCLES
EF-1.1	2100	.5"	--	1370	13.2	0.5	INLINE CENTRIFUGAL	--	--	--	3/4	--	--	120	1	60	GREENHECK SQ-130-VG (OR EQUAL)	143	1 - 4

- NOTES
- FURNISH FAN WITH BACKDRAFT DAMPER.
 - FURNISH FAN WITH ROOF CAP.
 - FURNISH FAN WITH SOLID STATE VARIABLE SPEED CONTROLLER. MOUNT CONTROLLER TO FAN CABINET IN AN ACCESSIBLE LOCATION.
 - FURNISH FAN WITH FACTORY ISOLATION KIT WITH SPRING VIBRATION ISOLATORS AND BRACKETS.

AIR GRILLE + REGISTER SCHEDULE

UNIT NUMBER	SERVICE	MOUNT	C.F.M. RANGE	SIZE L"xH"	N.C. MAX	FRAME	MAX. P.D. IN. W.G.	PATTERN	DAMPER	GRID	CONSTRUCTION	FINISH	MANUFACTURER/MODEL	NOTES
ER-1	EXHAUST	CLG	SEE DWG	SEE DWG	20	SURFACE	0.073	EGG CRATE	NO	1/2"	ALUMINUM	WHITE	METALAIRES CC5 (OR EQUAL)	1-3

- ALL GRILLES, REGISTERS AND DIFFUSERS SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPED RATING OF 50 IN COMPLIANCE WITH SECTIONS 603.15 AND 603.15.1 OF THE 2010 FLORIDA BUILDING CODE.
- PAINT FLAT BLACK INSIDE OF DUCTS BEHIND GRILLES.
- PROVIDE T-BAR PLASTER FRAME FOR ALL REGISTERS & GRILLES LOCATED IN HARD CEILING APPLICATION.

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

PROJECT NO. 17-09

PHASE 17-09

SCALE 1/4"=1'-0"

FILE NAME 03-13-15-01

DRAWN BY ME

CHECKED BY ABJ

DATE 04-09-2018

PROJECT ADDRESS 401E KELLY PARK RD, APOPA, FL 32712

OWNER NAME AND ADDRESS ORANGE COUNTY PARKS, 401E SOUTH STREET, 5TH FLOOR, ORLANDO, FLORIDA 32801

DATE 04-09-2018

REV. DESCRIPTION

17-09 PERMIT SET

DRAWING TITLE HVAC GENERAL NOTES, SYMBOLS AND SCHEDULES

CONSULTANTS

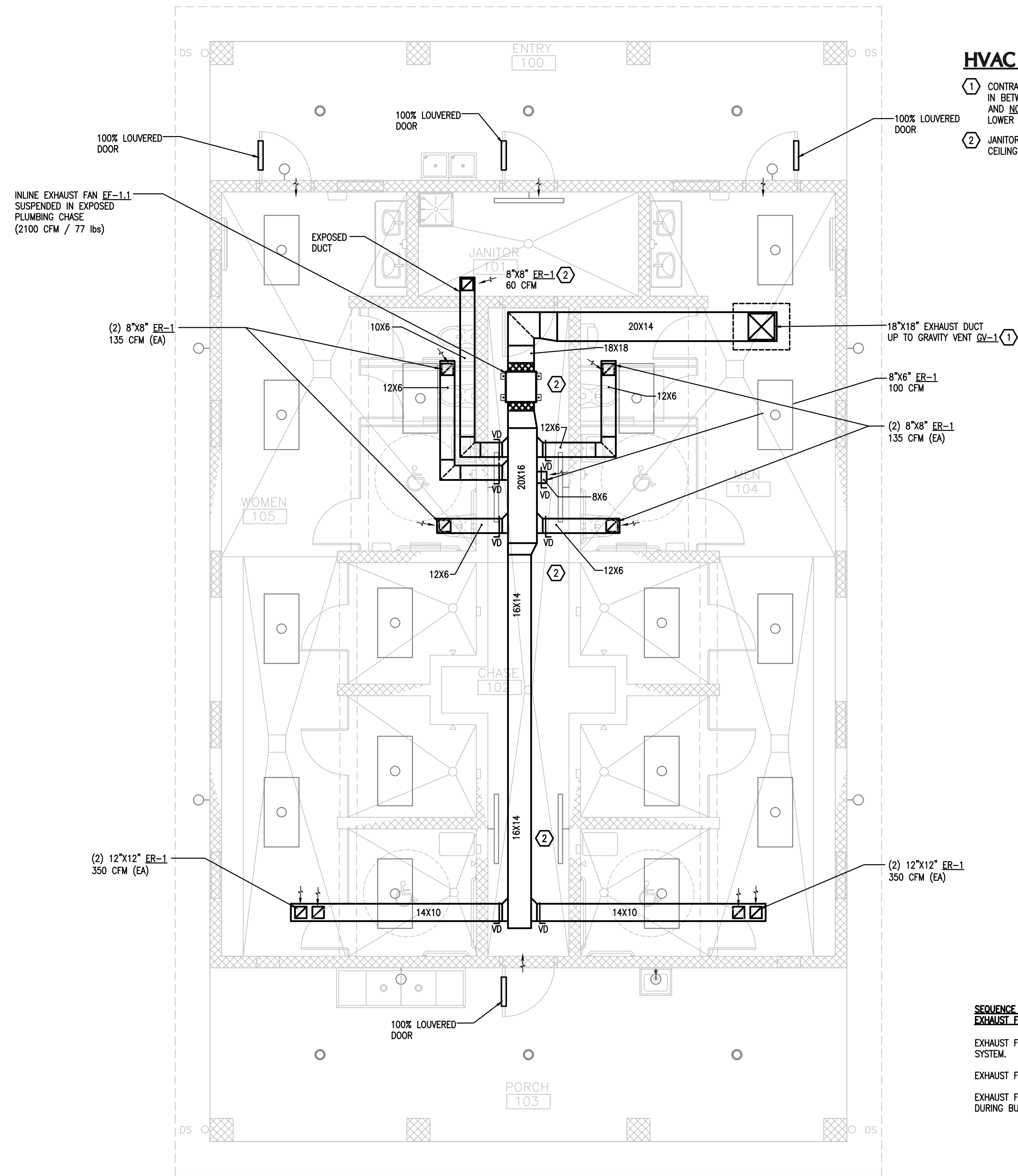
A E
B C

ROBES ASSOCIATES
CONSULTING ENGINEERS
1111 N. W. 11TH AVE., SUITE 200
FORT LAUDERDALE, FL 33304
PHONE: 954.875.1111 FAX: 954.875.1112
FLORIDA STATE REG. NO. 12588

SIGNATURE AND DATED SEAL

B
BORRELLI PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
770 VASSAR STREET
ORLANDO, FL 32804 (407) 418-1338
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1 RESTROOM AND SHOWER FLOOR PLAN - HVAC
M-101 1/4"=1'-0"



HVAC KEY NOTES

- ① CONTRACTOR TO COORDINATE ALIGNMENT OF ROOF CAP IN BETWEEN RIDGES OF STANDING SEAM METAL ROOF AND NOT ON A SEAM. LOCATE ROOF CAP ON THE LOWER HALF OF THE SLOPED ROOF.
- ② JANITOR'S CLOSET AND PLUMBING CHASE HAS NO CEILING.

**SEQUENCE OF OPERATION
EXHAUST FANS EF-1.1**

EXHAUST FAN SHALL BE MONITORED (ON/OFF STATUS) AND CONTROLLED BY THE BAS SYSTEM.

EXHAUST FAN EF-1.1 SHALL BE OFF DURING BUILDING UNOCCUPIED HOURS.

EXHAUST FAN EF-1.1 SHALL BE CONTROLLED BY A TIME CLOCK AND SHALL OPERATE DURING BUILDING OCCUPIED HOURS.

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

PROJECT NO.	REV.	DESCRIPTION	DATE
17-109	PERMIT SET		
	SCALE	1/4"=1'-0"	
	FILE NAME	13-125 E:01	
	DRAWN BY	MB	
	CHECKED BY	AB/J	
	DATE	04/29/2018	

PROJECT ADDRESS
400 E. KELLY PARK RD.
ORLANDO, FL 32712

OWNER NAME AND ADDRESS
ORANGE COUNTY PARKS
400 E. SOUTH STREET
5TH FLOOR
ORLANDO, FLORIDA 32801

CONSULTANTS

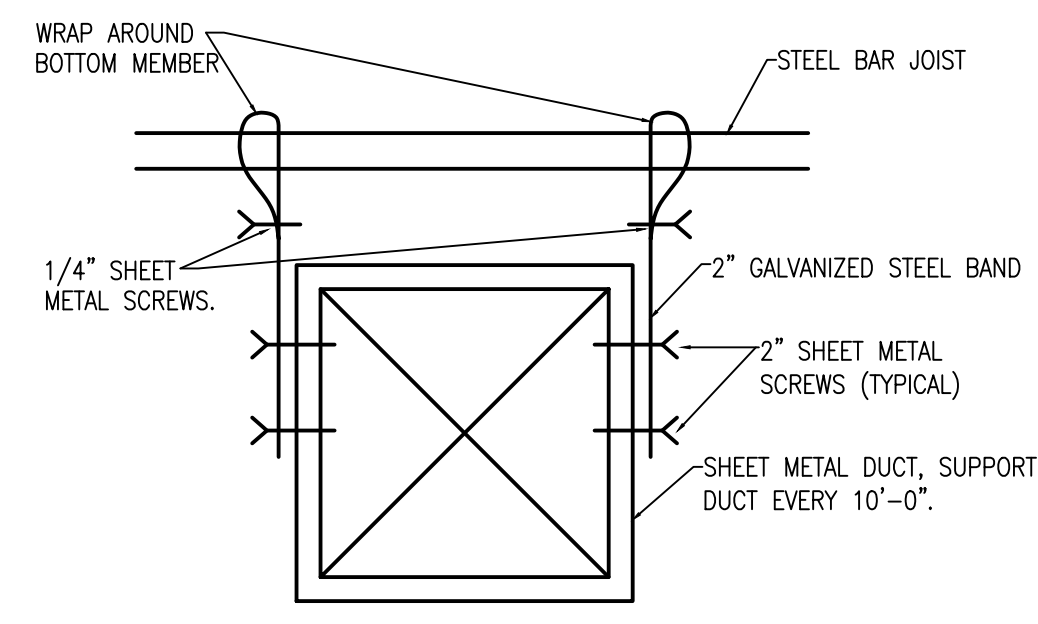
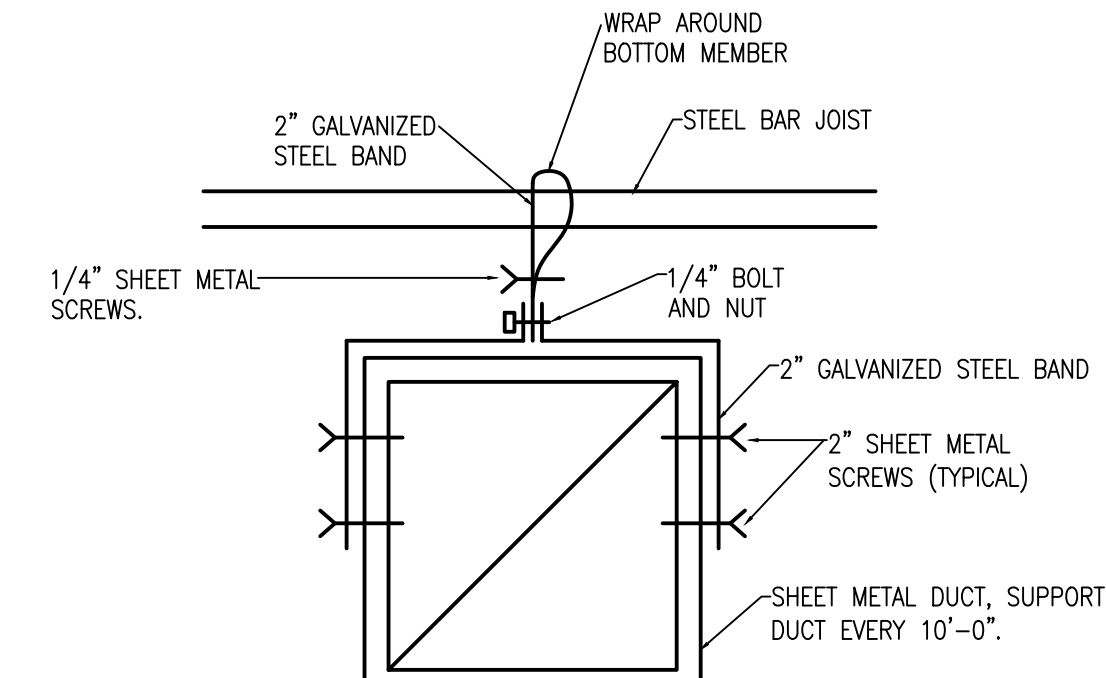
A	E
B	C

BOBES ASSOCIATES
150 CIRCLE DRIVE, MAITLAND, FL 32751
TEL: 407-253-0200
FAX: 407-253-0200
FLORIDA STATE P.E. NUMBERS: 9131

SIGNATURE AND DATED SEAL
AUGUSTO E. BOBES, JR., P.E.
FLORIDA P.E. # 39410

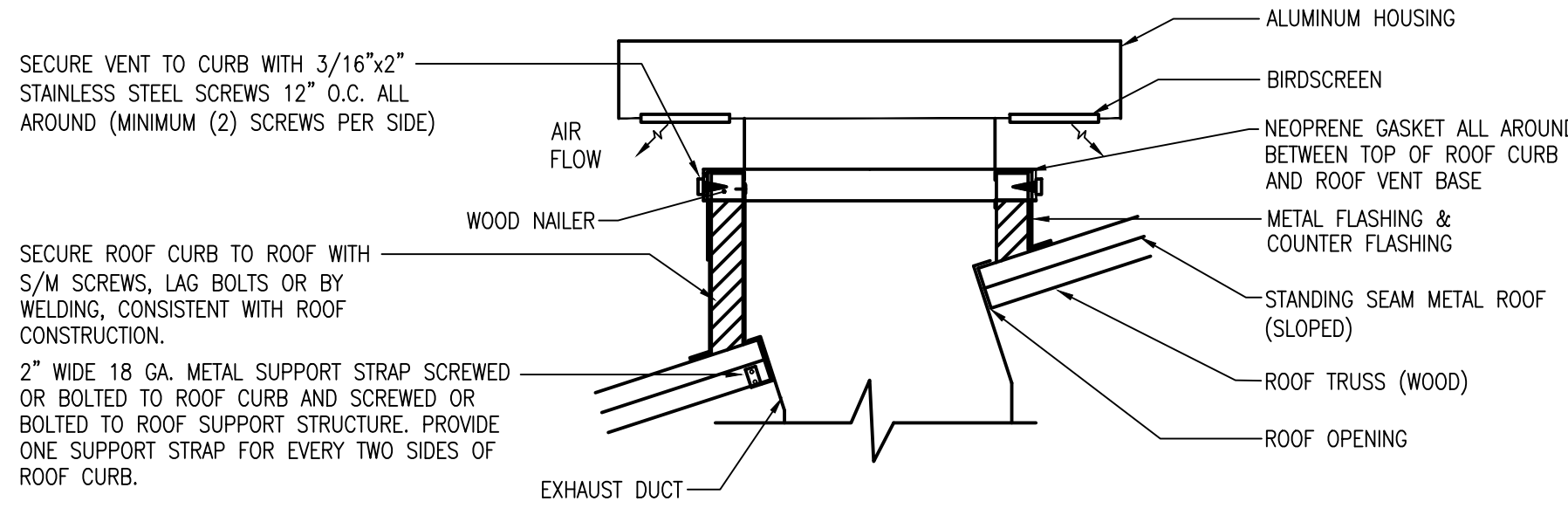
BORRELLI + PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
770 VASSAR STREET
ORLANDO, FLORIDA 32818
CONTRACTOR: THE BALANCE GROUP, INC. 10000 W. WINDY HILL DRIVE, SUITE 100, WINDY HILL, FLORIDA 32786
GENERAL CONTRACTOR: JACOBS GROUP, INC. 10000 W. WINDY HILL DRIVE, SUITE 100, WINDY HILL, FLORIDA 32786





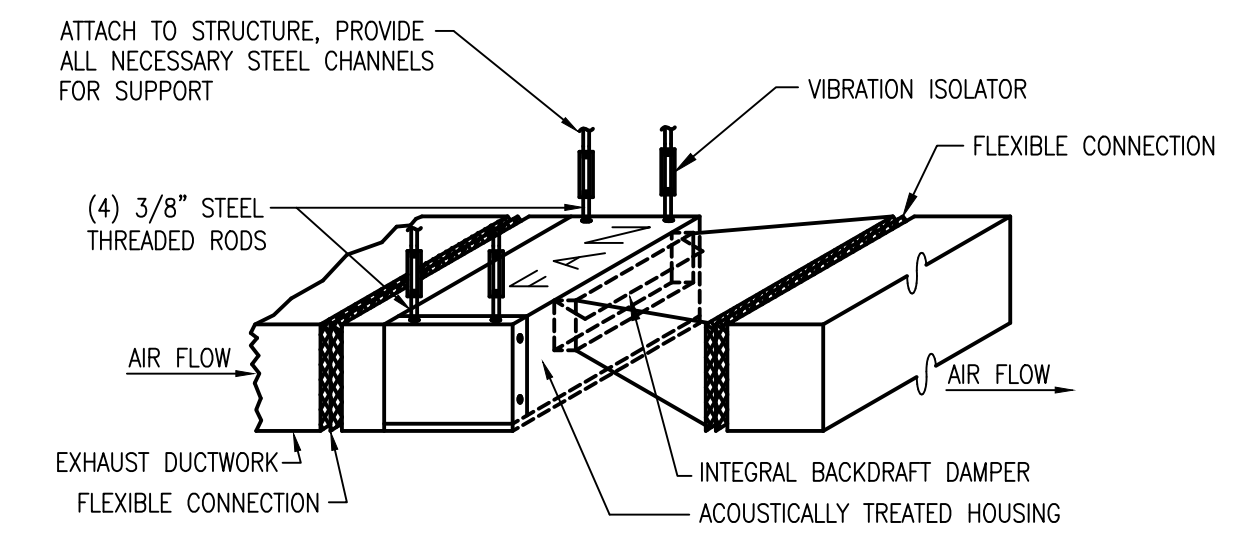
NOTES
1. INSTALLATION SHALL BE IN ACCORDANCE WITH SMACNA DUCT CONSTRUCTION STANDARDS - LATEST EDITION

SHEET METAL DUCT HANGING DETAIL
NOT TO SCALE

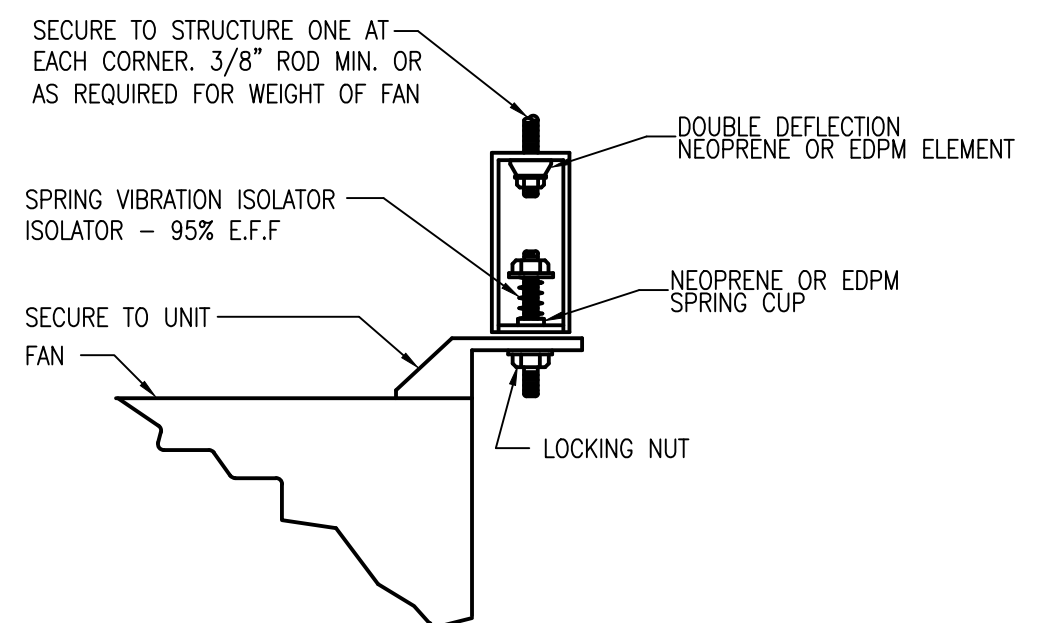


INSTALLATION SHALL MEET WIND LOAD REQUIREMENTS AS SET FORTH IN THE 2017 FLORIDA BUILDING CODE (6TH EDITION)

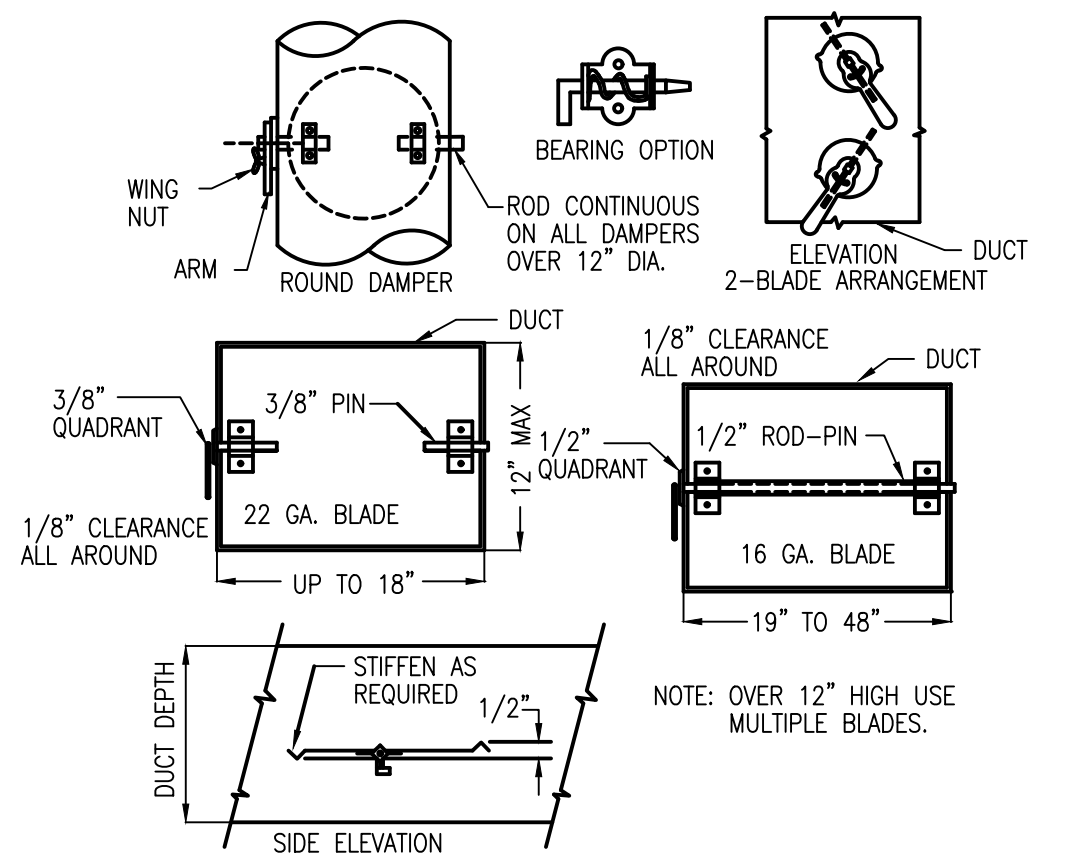
NOTE: ROOF VENT SHALL BE A GREENHECK MODEL FGR OR EQUAL. ROOF VENT CURB TO FIT BETWEEN METAL ROOF SEAMS.
ROOF MOUNTED EXHAUST AIR VENT DETAIL
NOT TO SCALE



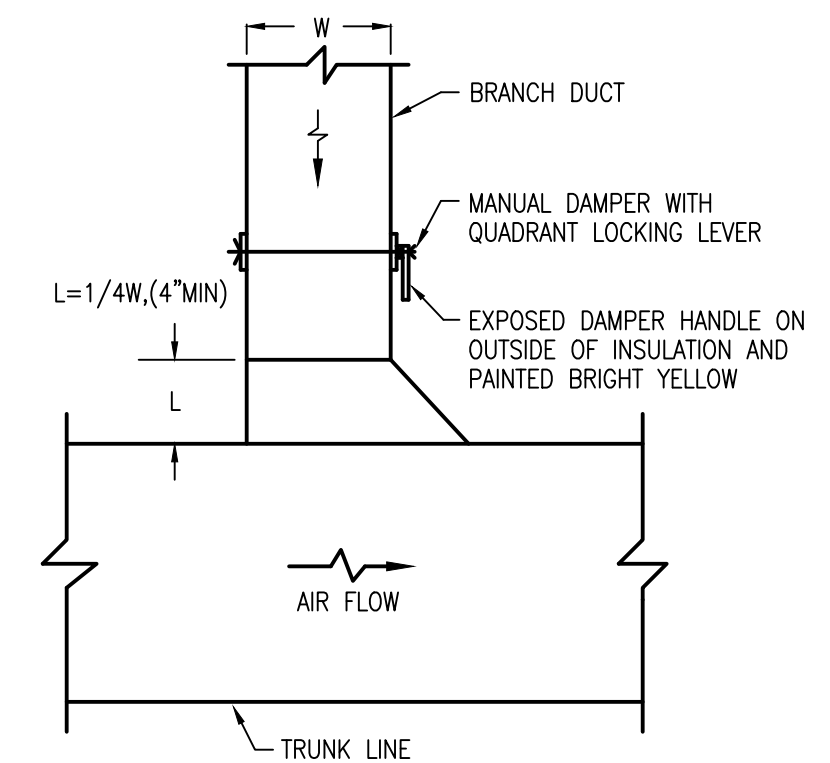
INLINE EXHAUST FAN DETAIL
NOT TO SCALE



FAN SUSPENSION DETAIL
NOT TO SCALE



VOLUME DAMPERS-SINGLE BLADE TYPE
NOT TO SCALE



TYPICAL RETURN OR EXHAUST DUCT CONNECTION DETAIL
NOT TO SCALE

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

BORRELLI PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
720 VASSAR STREET
ORLANDO, FL 32804 (407) 418-1338
ORLANDO, FL 32804 (407) 418-1338
CONVENTIONAL, NOT BEING USED IN THE STATE OF FLORIDA - PARTIAL BLDG. CODES (SCHEDULE 4) APPROVED
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BY THE ARCHITECTURE BOARD OF FLORIDA - PARTIAL BLDG. CODES (SCHEDULE 4) APPROVED

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FLORIDA STATE REG. NO. 12588
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FLORIDA P.E. # 39410

DRAWING TITLE
HVAC DETAILS

PROJECT NO.	17-09	PROJECT ADDRESS	400 E. KELLY PARK RD. ORLANDO, FL 32712
PHASE	PERMIT SET	DATE	
SCALE	1/4" = 1'-0"	DESCRIPTION	
FILE NAME	03-13-15-01	REV.	
DRAWN BY	ME	OWNER NAME AND ADDRESS	ORANGE COUNTY PARKS 400 E. SOUTH STREET 5TH FLOOR ORLANDO, FLORIDA 32801
CHECKED BY	ABJ		
DATE	04-09-2018		

M-501

PLUMBING SYMBOL LEGEND

	SANITARY WASTE LINE - BELOW FLOOR		PIPE ELBOW UP		WALL MOUNTED LAVATORY
	SANITARY WASTE LINE - ABOVE FLOOR		PIPE ELBOW DOWN		COUNTER TOP LAVATORY
	SANITARY VENT LINE		WALL CLEANOUT		BALL VALVE
	DOMESTIC COLD WATER		FLOOR CLEANOUT		BALL/BUTTERFLY VALVE
	DOM. HOT WATER 140° F		GROUND CLEANOUT		BACKWATER VALVE
	DOMESTIC HOT WATER RECIRCULATED		VENT THRU ROOF		INLINE PUMP
	TEMPERED WATER 110° F		ROOF LEADER		UNION
	FILTERED WATER		ROOF DRAIN		TEMP. & PRESSURE RELIEF VALVE
	SOFT WATER		FLOOR DRAIN		COCK
	STORM DRAIN - BELOW FLOOR		HUB DRAIN		GAS COCK
	STORM DRAIN - ABOVE FLOOR		POINT OF CONNECTION NEW TO EXISTING		WATER ARRESTOR
	GREASE WASTE LINE - BELOW FLOOR		LIMIT OF DEMOLITION		BALANCING VALVE
	CONDENSATE DRAIN		HOSE BIBB		DRAWING HEX NOTE
	GAS LINE		WATER CLOSET		REVISION DELTA AND NUMBER
	AIR LINE		URINAL		

PLUMBING ABBREVIATIONS

AAV	AIR ADMITTANCE VALVE	ESE	EMERGENCY SHOWER/EYEWASH	PW	POWER WASH
AD	AREA DRAIN	EW	ELECTRIC WATER HEATER	RP	RECIRCULATING PUMP
ADR	AIR DRIER (COMPRESSED AIR)	EWC	ELECTRIC WATER COOLER	RWL	RAIN WATER LEADER
AF	AIR FILTER (COMPRESSED AIR)	FD	FLOOR DRAIN	SN	SANITARY
AFF	ABOVE FINISHED FLOOR	FL	FLOOR	S	SINK
AR	AIR RISER DIAGRAM	FS	FLOOR SINK	SR	SANITARY RISER DIAGRAM
BF	BARRIER FREE	GPH	GALLON PER HOUR	SD	STORM DRAIN
BTU	BRITISH THERMAL UNIT	GR	GAS RISER DIAGRAM	SE	SEWAGE EJECTOR
B/S	BELOW SLAB	GWH	GAS WATER HEATER	SH	SHOWER
CA	COMPRESSOR (COMPRESSED AIR)	HB	HOSE BIBB	SS	SERVICE SINK
CLG	CEILING	HD	HUB DRAIN	ST	STORM
CHDW	CHILLER, DRINKING WATER	HW	HOT WATER	TEMP	TEMPERATURE
CP	CONDENSATE PUMP	HWR	HOT WATER RECIRCULATING	TW	TEMPERED WATER
CS	COUNTER SINK	IEWH	INSTANTANEOUS ELECTRIC WATER HEATER	TMW	TEMPERING/MIXING VALVE
CW	COLD WATER	IM	ICE MAKER	UR	URINAL
°F	DEGREES FARENHEIT	KS	KITCHEN SINK	UG	UNDERGROUND
C.O.	CLEAN OUT	KW	KILOWATT	VTR	VENT THRU ROOF
DISP	DISPOSER	LAV, L	LAVATORY	WC	WATER CLOSET
DN	DOWN	MBH	MEGA BTU PER HOUR	W/	WITH
DF	DRINKING FOUNTAIN	MS	MOP SINK	WH	WATER HEATER
ΔT	TEMP. DIFFERENCE IN °F	NIC	NOT IN CONTRACT	WHA	WATER HAMMER ARRESTOR
DWG	DRAWING	OD	OVER FLOW DRAIN	WF	WATER FILTER
EDF	ELECTRIC DRINKING FOUNTAIN	PC	PUMP, CIRCULATING (DOMESTIC HOT WATER)	WR	WATER RISER DIAGRAM
EFF	EFFICIENCY	PD	PLANTER DRAIN	WS	WATER SOFTENER
		PS	PUMP, SUMP	V	VACUUM

PLUMBING FIXTURE CONNECTION SCHEDULE

SYMBOL	DESCRIPTION	CW	TW	HW	WASTE	VENT	REMARKS
WC-1	WATER CLOSET	1"	--	--	3"	2"	--
WC-2	WATER CLOSET	1"	--	--	3"	2"	HANDICAP
UR-1	URINAL	3/4"	--	--	2"	1 1/2"	HANDICAP
L-1H/L-1L	LAVATORY-COMBO	1/2"	1/2"	--	1 1/2"	1 1/4"	WALL
L-2	LAVATORY	1/2"	1/2"	--	1 1/2"	1 1/4"	HANDICAP
L-3	WALL SINK	1/2"	1/2"	--	1 1/2"	1 1/4"	WALL-ADA
SS-1	SCULLERY SINK	1/2"	1/2"	--	1 1/2"	1 1/4"	--
EWC-1	ELECTRIC WATER COOLER	1/2"	--	--	1 1/4"	1 1/4"	HANDICAP
MS-1	MOP SINK	1/2"	--	1/2"	3"	1 1/2"	--
HB-1	HOSE BIBB	3/4"	--	--	--	--	RECESSED

ELECTRIC WATER HEATER SCHEDULE

UNIT NUMBER	KW	STORAGE (GAL)	RECOVERY GPH AT 70° RISE	ENERGY FACTOR	DIAMETER	HEIGHT	DEPTH	INLET WATER CONNECTION	OUTLET WATER CONNECTION	POWER REQUIRED			FLA	MANUFACTURER/MODEL	WEIGHT (OPERATING)	NOTES
										VOLTS	PHASE	CYCLES				
EW-1.1	3 @ 6.0 KW EA (18.0)	80	105	0.98	25.5"	59.5"	31"	1 1/4"	1 1/4"	240	1	60	75	A.O. SMITH GOLD X DVE-80-18 (OR EQUAL)	274	1-9
EW-1.2	3 @ 6.0 KW EA (18.0)	80	105	0.98	25.5"	59.5"	31"	1 1/4"	1 1/4"	240	1	60	75	A.O. SMITH GOLD X DVE-80-18 (OR EQUAL)	274	1-9

NOTES

1. WATER HEATER SHALL MEET THE ENERGY EFFICIENCY REQUIREMENTS AS SET FORTH IN THE 2014 FLORIDA ENERGY CODE.
2. WATER HEATER SHALL BE U.L. LISTED
3. FURNISH WITH 10 YEAR LIMITED WARRANTY.
4. FURNISH WITH WATER HEATER SUPPORT STAND (SEE DETAIL).
5. FURNISH WITH R-16 INSULATION (NON CFC FOAM).
6. FURNISH WITH BRASS DRAIN VALVE
7. FURNISH WITH GLASS LINED STEEL TANK.
8. FURNISH WITH ADJUSTABLE THERMOSTAT CONTROL
9. FURNISH WITH EXPANSION TANK.

PLUMBING FIXTURE SCHEDULE

- WC-1 WATER CLOSET: WALL MOUNTED, MANUAL FLUSH VALVE, TOP SPUD, SIPHON JET, ELONGATED, WATER SAVER 1.28 GPF, WHITE VITREOUS CHINA, ONE PIECE WHITE OPEN FRONT SEAT. FURNISH FLUSH VALVE WITH PIPE RING, FLOOR MOUNTED CARRIER. ZURN Z6000AV-HET MANUAL FLUSH VALVE, AMERICAN STANDARD AFWALL 2856.016.020 (OR EQUAL). FURNISH WITH 5 YEAR WARRANTY ON FIXTURE/FLUSH VALVE COMBINATION.
- WC-2 HANDICAP WATER CLOSET: WALL MOUNTED, MANUAL FLUSH VALVE, TOP SPUD, SIPHON JET, ELONGATED, WATER SAVER 1.28 GPF, WHITE VITREOUS CHINA, OPEN PIECE WHITE OPEN FRONT SEAT. FURNISH FLUSH VALVE WITH PIPE RING. ZURN Z6000AV-HET MANUAL FLUSH VALVE, AMERICAN STANDARD AFWALL 2856.016.020 (OR EQUAL) FLOOR MOUNTED CARRIER, ADA APPROVED FOR HANDICAP ACCESSIBILITY. MOUNT AT ADA APPROVED HANDICAP ACCESSIBLE HEIGHT. FURNISH WITH 5 YEAR WARRANTY ON FIXTURE/FLUSH VALVE COMBINATION.
- UR-1 HANDICAP URINAL: WALL HUNG, TOP SPUD, WATER CONSERVING 1/8 GPM MANUAL FLUSH VALVE, WASHOUT, WHITE VITREOUS CHINA, FLOOR MOUNTED CARRIER. FURNISH FLUSH VALVE WITH PIPE RING. ZURN "THE PINT" Z5798.207.00 URINAL SYSTEM (OR EQUAL). ADA APPROVED FIXTURE FOR HANDICAP ACCESSIBILITY, MOUNT AT ADA APPROVED HANDICAP ACCESSIBLE HEIGHT. FURNISH WITH 5 YEAR WARRANTY ON FIXTURE/FLUSH VALVE COMBINATION.
- L-1H LAVATORY SYSTEM: MULTI-LEVEL MOLDED ONE-PIECE TERREON DECK WITH INTEGRAL BOWLS (HIGH ON LEFT) LESS FAUCETS, CENTERSHANK FAUCET DRILLING OPTION, PUSH BUTTON SLOW CLOSING METERING FAUCET WITH FLAT GRID STRAINER, TRAP AND TRANSITION COVER ENCLOSURE, HEAVY GAUGE STAINLESS STEEL MOUNTING BRACKETS. BRADLEY FREQUENCY LAVATORY SYSTEM FL-2H (OR EQUAL), T&S BRASS B-0805 FAUCET (OR EQUAL).
- L-1L LAVATORY SYSTEM: MULTI-LEVEL MOLDED ONE-PIECE TERREON DECK WITH INTEGRAL BOWLS (LOW ON LEFT) LESS FAUCETS, CENTERSHANK FAUCET DRILLING OPTION, PUSH BUTTON SLOW CLOSING METERING FAUCET WITH FLAT GRID STRAINER, TRAP AND TRANSITION COVER ENCLOSURE, HEAVY GAUGE STAINLESS STEEL MOUNTING BRACKETS. BRADLEY FREQUENCY LAVATORY SYSTEM FL-2L (OR EQUAL), T&S BRASS B-0805 FAUCET (OR EQUAL).
- L-2 HANDICAP LAVATORY: 20" X 18" WALL HUNG, WHITE VITREOUS CHINA, FLOOR MOUNTED CARRIER, PUSH BUTTON SLOW CLOSING METERING FAUCET WITH FLAT GRID STRAINER, BRASS P-TRAP, SUPPLIES WITH STOP. INSULATE WATER AND WASTE PIPING BELOW LAVATORY WITH TRAP WRAP OR EQUAL. AMERICAN STANDARD "LUCERNE" 0355.012, T&S BRASS B-0807 FAUCET (OR EQUAL).
- L-3 HANDICAP WALL SCRUB-UP SINK: WALL MOUNTED 14 GAUGE TYPE 304 STAINLESS STEEL 1 3/4" RADIUS COVED CORNERS, FULL LENGTH 6" HIGH BACK SPLASH, UNDERCOATED FOR SOUND DEADENING, 22" WIDE SINK, 19"X 16"X 10.5" DEEP BASIN, DUAL HANDEL 8" GOOSENECK FAUCET WITH 4" WRIST BLADE HANDLES. ELKAY ELV2219SACC SINK WITH LK940GN08TGH FAUCET. MOUNT AT ADA HEIGHT. INSULATE WATER AND WASTE PIPING BELOW LAVATORY WITH TRAP WRAP OR EQUAL.
- SS-1 SCULLERY SINK: DOUBLE BOWL, FREE STANDING, 16 GAUGE TYPE 304 STAINLESS STEEL. 77" WIDE X 29-3/4" DEEP, (2) 18" WIDE X 24" X 12" DEEP BOWLS, DOUBLE DRAINBOARDS, 1 5/8" DIAMETER TUBULAR LEGS, NSF CERTIFIED, RADIUS COVED CORNERS, 8" HIGH BACKSPLASH, 8" GOOSENECK BACKSPLASH MOUNTED FAUCET WITH COLOR CODED 6" WRIST BLADE HANDLES. ELKAY LK940 GN08TGH FAUCET, ELKAY RIGIDBILT RNSF 8236LR SINK.
- EWC-1 ELECTRIC WATER COOLER: WALL HUNG, HI-LOW, HANDICAP ACCESSIBLE, STAINLESS STEEL FINISH, FRONT AND SIDE PUSH BARS, SUPPLY WITH STOP, BRASS P-TRAP, 8.0 GPH OF 50 DEGREE WATER, 1/5 HP COMPRESSOR, 4.0 FLA 115V, 1 PHASE, 60 CYCLE. HALSEY TAYLOR HAC8PSBL-0 ADA, ELKAY EZSTLRB OR OASIS PBACSL (OR EQUAL).
- FD-1 FLOOR DRAIN: 6" STRAINER DIAMETER, CAST IRON BODY WITH BOTTOM OUTLET, COMBINATION INVERTIBLE MEMBRANE CLAMP, ADJUSTABLE TYPE B NICKEL BRONZE STRAINER, SEEPAGE SLOTS, TRAP PRIMER CONNECTION, ZURN Z415B-P OR WATTS FD-100P-A5-7.
- FD-2 FLOOR DRAIN: 12"x12" STRAINER, HEAVY DUTY CAST IRON BODY WITH SIDE OUTLET, COMBINATION INVERTIBLE MEMBRANE CLAMP, INTERNAL TRAP, ADJUSTABLE TYPE B NICKEL BRONZE HEEL PROOF STRAINER, SEEPAGE SLOTS, TRAP PRIMER CONNECTION, CAST IRON SEDIMENT BUCKET, ZURN Z-645-P (OR EQUAL).
- MS-1 MOP SINK: 24" X 24" X 10" MOLDED STONE, FLOOR MOUNTED, WITH WALL MOUNTED FAUCET WITH 3/4" HOSE THREAD SPOUT, INTEGRAL STOPS, WALL BRACKET, FAUCET WITH PAIL HOOK AND VACUUM BREAKER, HOSE AND HOSE BRACKET, MOP HANGER, STAINLESS STEEL FLAT GRID STRAINER, WALL GUARD AND EDGE GUARD. FAT MS9-2424, 830-AA SERVICE, T&S B665-BSTR, T&S B653 OR T&S B654 FAUCET, 832-AA HOSE AND BRACKET, 889-CC MOP HANGER, 1453-BB STRAINER, MSG 2424 WALL GUARD, E-88-AA EDGE GUARD (OR EQUAL).
- HB-1 HOSE BIBB: RECESSED, WALL MOUNTED IN BRASS BOX WITH LOCKING COVER, BRASS, CHROME PLATED, VACUUM BREAKER, 3/4" HOSE THREAD SPOUT, REMOVABLE KEY. ZURN Z1335 OR WATTS HY330 (OR EQUAL).
- S-1 STRAINER: BRONZE BODY, Y-TYPE DOMESTICALLY MANUFACTURED, 125 PSI RATED, 100 MESH STAINLESS STEEL SCREEN. SIZE TO MATCH WATER LINE IT IS SERVING. WILKINS YB-100 OR WATTS 7775 (OR EQUAL).
- WATER ARRESTOR EQUAL TO ZURN SHOCKTROL MODEL Z1700 OR WATTS SG (COPPER WATER HAMMER ARRESTOR), 65 PSI MAX. RATING MAX. PIPING LENGTH COVERED BY ONE ARRESTOR SHALL BE 20 LINEAR FT.
- TYPE "A" = 11 FU MAX, TYPE "B" = 30 FU MAX, TYPE "C" = 60 FU MAX.
- ALL WATER ARRESTERS SHALL BE TYPE "A" UNLESS OTHERWISE SHOWN.
- WCO WALL CLEANOUTS: FINISHED AREAS EQUAL TO: ZURN, ZS-1469-VP-7" (OR EQUAL) UNFINISHED AREAS ZURN, ZAB-1469-VP-7" (OR EQUAL)
- FCO FLOOR CLEANOUTS: FINISHED AREAS EQUAL TO: ZURN, ZN-24000-2, ZN-1400 OR WATTS CO-200P-R (OR EQUAL) CARPETED AREAS ZURN, ZN-14000-14, ZN-1400 OR WATTS CO-200P-RC (OR EQUAL) UNFINISHED AREAS ZURN, ZN-1400-27, Z-1400 OR WATTS CO-200P-RX-4 (OR EQUAL) HEAVY DUTY HIGH TRAFFIC AREAS ZURN, Z-1400-DC (OR EQUAL)

PLUMBING GENERAL NOTES

1. ALL WORK SHALL CONFORM WITH THE 2017 FLORIDA PLUMBING CODE (6TH EDITION), THE 2017 FLORIDA BUILDING CODE (6TH EDITION), THE 2017 FLORIDA ACCESSIBILITY CODE (6TH EDITION), 2017 FLORIDA GAS CODE (6TH EDITION), THE ORANGE COUNTY BUILDING DEPARTMENT AND ALL OTHER APPLICABLE CODES AND STANDARDS.
2. ALL HANDICAP FIXTURES SHALL BE MOUNTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE 2017 FLORIDA ACCESSIBILITY CODE CHAPTER 11 - FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
3. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL UTILITIES IN THE FIELD.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING CONDITIONS.
5. COORDINATE WORK WITH ALL OTHER TRADES TO AVOID INTERFERENCES.
6. INSTALL ALL WATER, WASTE AND VENT PIPING IN ACCORDANCE WITH ALL APPLICABLE CODES.
7. SOIL, WASTE AND VENT PIPING SHALL BE SCHEDULE SOLID WALL 40 PVC DWV IN ACCORDANCE WITH ASTM D 2665. FITTINGS SHALL BE SCHEDULE 40 PVC DWV FITTINGS AND SHALL BE IN ACCORDANCE WITH ASTM D 3311. JOINTS SHALL BE SOLVENT CEMENTED IN ACCORDANCE WITH ASTM D 2855 USING SOLVENT CEMENT IN COMPLIANCE WITH ASTM D 2564.
8. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL PLUMBING FIXTURES.
9. ALL PIPING SHALL BE CONCEALED WITHIN THE CEILING SPACE, WALLS AND CHASES AS SHOWN ON PLANS.
10. ALL EXPOSED PIPING AT PLUMBING FIXTURES SHALL BE CHROME PLATED BRASS WITH ESCUTCHEON PLATES AT THE WALL, FLOOR OR CEILING PENETRATIONS.
11. ALL ABOVE SLAB COLD WATER AND HOT WATER PIPING SHALL BE TYPE "L" COPPER TUBING IN ACCORDANCE WITH ASTM B 88. PIPE FITTINGS SHALL BE COPPER OR COPPER ALLOY IN ACCORDANCE WITH ASME 16.22. JOINTS SHALL BE SOLDER ACCORDANCE WITH ASTM B 828 USING "LEAD FREE" SOLDER IN COMPLIANCE WITH ASTM B 32.
12. ALL COPPER WATER LINE PENETRATIONS THROUGH WALLS AND FOOTERS SHALL BE SLEEVED.
13. INSULATE ALL HOT WATER PIPING WITH 1" THICK FIBERGLASS INSULATION WITH SELF SEALING VAPOR RETARDANT AND FOIL JACKET (R-4.35/INCH).
14. INSULATE ALL EXPOSED PIPES AND SURFACES UNDER ACCESSIBLE LAVATORIES PER ADA 4.19.4 AND ANSI-A17.1. PROVIDE ONE PIECE PROTECTOR WITH FULL ROTATION OPTION CONSISTING OF INTERNAL GROOVE LOCKING RING FOR NON SEPARATION AND EXTERNAL LOCKING RING WITH STAINLESS STEEL SECURITY SCREW TO INSURE EXTRA LONG TERM TAMPER RESISTANCE ANTIMICROBIAL U.V. INHIBITED UNIVERSAL FIT, 3-M DUAL LOCK (TM) FASTENERS SECURED WITH SELF LOCKING APPROVED NYLON STRAPS. FURNISH ONE PIECE VALVE/ANGLE STEP PROTECTOR. ONE PIECE OFFSET PROTECTOR AND ONE PIECE P-TRAP PROTECTOR. PRO-XTRME BY PLUMBERX.
15. ALL PIPING SHALL BE FIRMLY ANCHORED AND SUPPORTED IT'S ENTIRE LENGTH TO PREVENT SWAY AND VIBRATION.
16. CONTRACTOR SHALL FURNISH AND INSTALL WATER SHOCK ARRESTERS EQUAL TO ZURN SHOKTROL AS SHOWN ON PLANS AND AS PER MANUFACTURER'S RECOMMENDATIONS. AIR CHAMBERS SHALL NOT BE SUBSTITUTED FOR FACTORY FABRICATED WATER SHOCK ARRESTORS.
17. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMER. TRAP PRIMER SHALL BE OF THE WATER SAVER TYPE EQUAL TO ZURN Z 1021 MOUNTED TO THE 1 1/4" SINK OUTLET AND CONNECTED VIA FLEXIBLE COPPER TO THE TRAP PRIMER CONNECTION AT THE FLOOR DRAIN.
18. FURNISH SUPPLIES WITH STOP VALVES FOR ALL PLUMBING FIXTURES.
19. ALL SHUT-OFF VALVES SHALL BE BALL VALVES.
20. ALL PLUMBING ROOF VENTS SHALL HAVE TAMPER PROOF VENT CAPS.
21. ALL PLUMBING ROOF VENTS SHALL BE COORDINATED TO PENETRATE THE STANDING SEAM METAL ROOF IN THE CENTER OF ROOF PANEL.
22. ALL WATER PIPING SHALL BE SLOPED TO DRAIN.
23. ALL SOIL, WASTE, AND VENT PIPING SHALL BE SLOPED 1/4" PER FOOT (2%) FOR PIPES 2 1/2" AND SMALLER AND 1/8" PER FOOT (1%) FOR PIPES 3" AND LARGER.
24. PROVIDE DIELECTRIC UNIONS AT ALL CONNECTIONS OF DISSIMILAR METALS.
25. FURNISH ALL HOSE BIBBS WITH VACUUM BREAKER, WATER SHOCK ARRESTOR AND ISOLATION/SHUT OFF VALVE.
26. PROVIDE 12"x12" ACCESS DOORS ON ALL NON-ACCESSIBLE CEILINGS AND WALLS FOR ALL VALVES.
27. PLUMBING PIPING SHALL NOT BE RUN THROUGH OR INTO ELECTRICAL ROOMS, COMPUTER ROOMS, IT ROOMS, IDF OR MDF ROOMS.
28. ALL FAUCET BODIES SHALL BE ONE PIECE BRASS CONSTRUCTION.
29. ALL EXTERIOR WALL CLEAN OUTS SHALL BE FURNISHED WITH A COATED CAST IRON SQUARE HINGED ACCESS PANEL WITH VANDAL PROOF SCREWS EQUAL TO ZURN MODEL Z-1461-VP. SIZE SHALL BE 10"x10" OR LARGER AS NEEDED.
30. ALL INTERIOR WALL CLEAN OUTS SHALL BE FURNISHED WITH TYPE 304 STAINLESS STEEL ROUND ACCESS COVER EQUAL TO ZURN ZS-1469-VP WITH A VANDAL PROOF SCREW.
31. ALL DOMESTIC WATER SHUT OFF VALVES LOCATED IN THE CEILING SPACE SHALL BE ACCESSIBLE AND SHALL BE LOCATED WITHIN 18" OF THE CEILING.
32. THE CONTRACTOR SHALL PROVIDE A COMPLETE PLUMBING SHOP DRAWING SUBMITTAL TO THE ENGINEER FOR REVIEW AND APPROVAL. THE PLUMBING SUBMITTAL SHALL INCLUDE ALL PLUMBING FIXTURES, WATER HEATERS, PIPING, PIPING INSULATION, PIPE HANGERS, PUMPS, VALVES, MIXING VALVES, EXPANSION TANKS, INTERCEPTORS ETC. CONTRACTOR SHALL NOT ORDER ANY PLUMBING EQUIPMENT UNTIL THIS SUBMITTAL IS REVIEWED AND ACCEPTED BY THE ENGINEER OF RECORD. CONTRACTOR SHALL SUBMIT THE SHOP DRAWING AS ONE COMPLETE SUBMITTAL AND SHALL NOT PEECE MEAL THE SUBMITTAL SPREAD OUT OVER THE COURSE OF DAYS AND WEEKS. FAILURE TO SUBMIT A COMPLETE PLUMBING SHOP DRAWING SUBMITTAL SHALL RESULT IN AN IMMEDIATE REJECTION OF THE SHOP DRAWING SUBMITTAL.

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

SIGNATURE AND DATED SEAL

CONSULTANTS

DRAWING TITLE

PROJECT ADDRESS

DATE

REV.

DESCRIPTION

17-09

DATE

BORBELL PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR

781 VASSAR STREET
ORLANDO, FL 32804 (407) 418-1338

BOBES ASSOCIATES
CONSULTING ENGINEERS

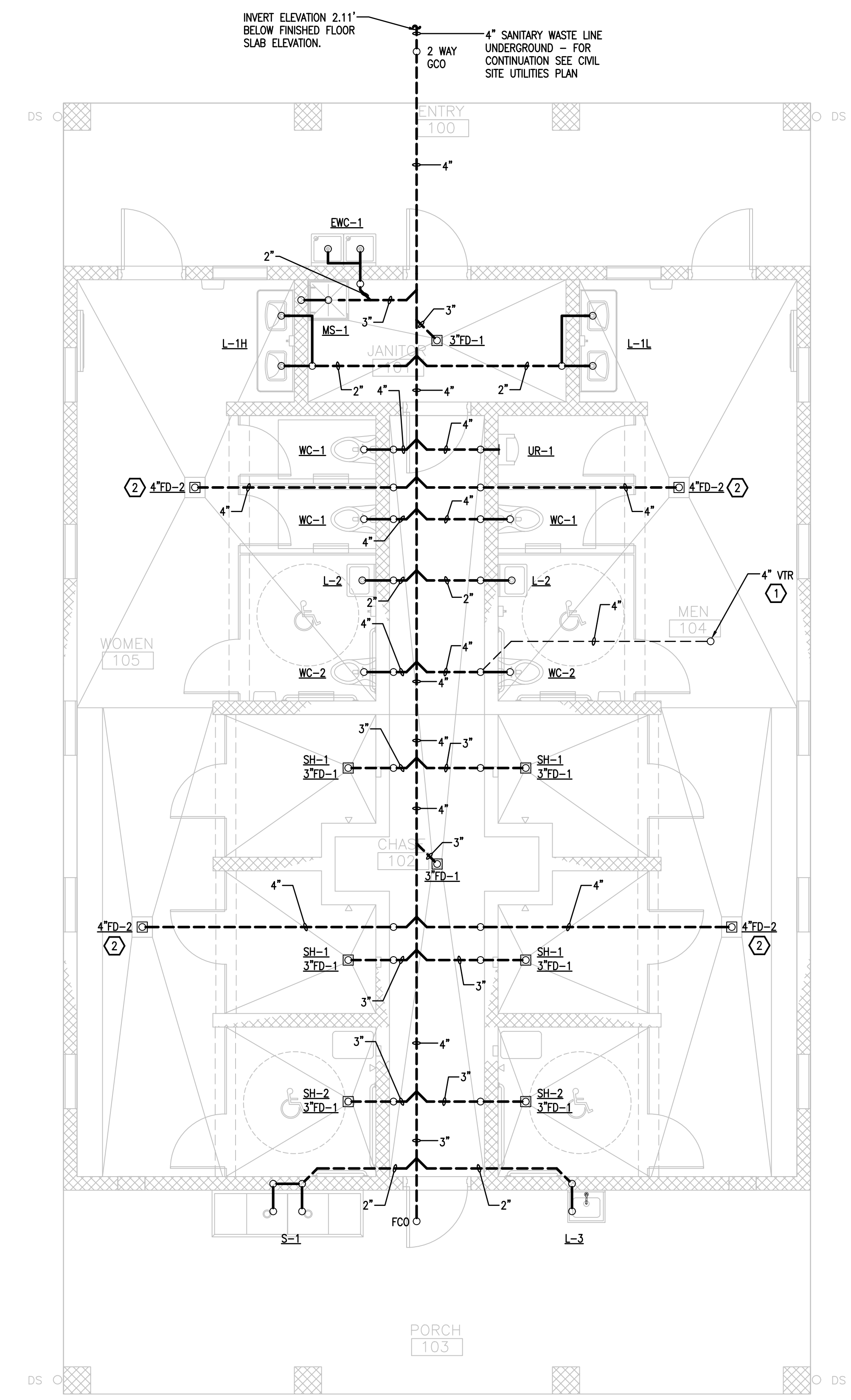
1111 ORANGE AVENUE, SUITE 200
ORLANDO, FL 32819
PHONE: 407-255-2000
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FLORIDA STATE REG. NO. 12888
FLORIDA P.E. # 39410

PLUMBING GENERAL NOTES,
SYMBOLS AND SCHEDULES

PROJECT NO.	17-09	DESCRIPTION	RESTROOM	DATE	04-09-2018
PHASE	PERMIT SET	SCALE	1/4" = 1'-0"	FILE NAME	03-13-18-01
				DRAWN BY	ME
				CHECKED BY	ABU
				DATE	04-09-2018

P-001

1 RESTROOM AND SHOWER FLOOR PLAN - PLUMBING - SANITARY
P-101 1/4"=1'-0"



PLUMBING KEY NOTES

- 1 ROOF VENT PENETRATION SHALL BE COORDINATED TO PENETRATE THE STANDING SEAM METAL ROOF IN THE CENTER OF ROOF PANEL AND NOT AT A SEAM. LOCATE VTR ON THE LOWER 1/3 OF THE SLOPED ROOF.
- 2 FURNISH FLOOR DRAIN WITH REMOVABLE SEDIMENT BUCKET.

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

PROJECT NO.	REV.	DESCRIPTION	DATE
17-109	PERMIT SET		

PROJECT ADDRESS
400 E. KELLY PARK RD.
ORLANDO, FL 32712

OWNER NAME AND ADDRESS
ORANGE COUNTY PARKS
400 E. SOUTH STREET
5TH FLOOR
ORLANDO, FLORIDA 32801

CONSULTANTS

A	B	C	E
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FLORIDA STATE P.E. NUMBER: 8131

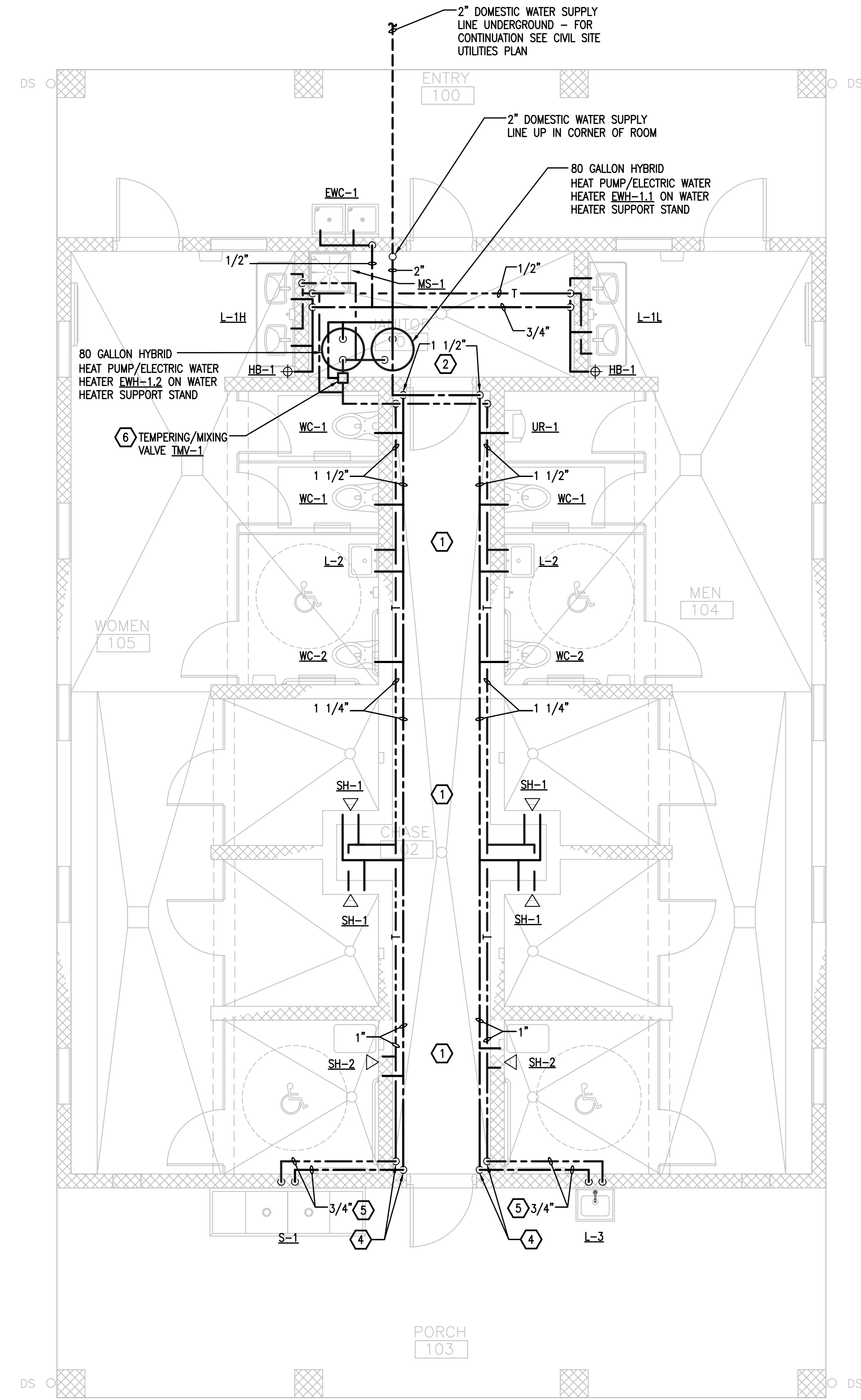
SIGNATURE AND DATED SEAL

AUGUSTO E. BOBES, JR., P.E.
FLORIDA P.E. # 39410

BORRELLI + PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
770 VASSAR STREET
ORLANDO, FLORIDA 32818

CONTRACTOR: THE PLUMBING CONTRACTOR FOR ORANGE COUNTY PARKS IS: JAMES M. BOBES, P.E. ORANGE COUNTY, FLORIDA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.

1 RESTROOM AND SHOWER FLOOR PLAN - PLUMBING - DOMESTIC WATER
 P-102 1/4"=1'-0"



PLUMBING KEY NOTES

- 1 CONTRACTOR TO RUN ALL DOMESTIC WATER PIPING EXPOSED IN PLUMBING CHASE.
- 2 CONTRACTOR TO INSTALL ISOLATION VALVE ON 1 1/2" VERTICAL PIPE IN PLUMBING CHASE IN ACCESSIBLE LOCATION.
- 3 PROVIDE 12" X 12" CEILING ACCESS PANEL FOR HOSE BIBB SHUT OFF VALVE. LOCATE VALVE WITHIN 18" OF CEILING.
- 4 PROVIDE ISOLATION VALVE ON VERTICAL SUPPLY LINE FEEDING EXTERIOR LAVATORIES.
- 5 RUN DOMESTIC WATER SUPPLY LINES IN CEILING SPACE.
- 6 MOUNT TEMPERING MIXING VALVE TO WALL AT 5'-0" A.F.F.

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

PROJECT NO.	REV.	DESCRIPTION	DATE
17-109			
PERMIT SET			
SCALE	1/4"=1'-0"		
FILE NAME	13-125 E:01		
DRAWN BY	MB		
CHECKED BY	ABJ		
DATE	04-29-2018		

DRAWING TITLE

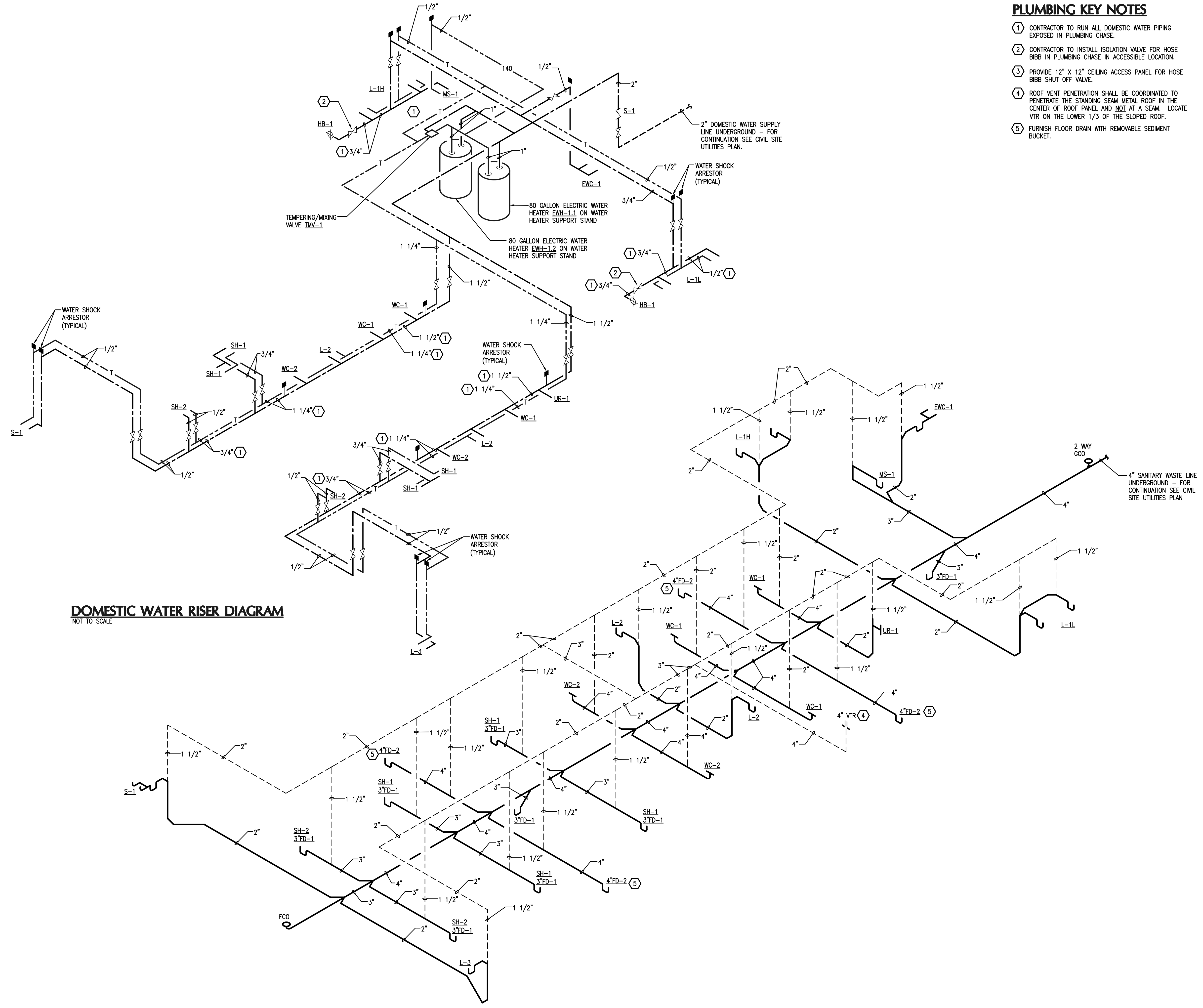
FLOOR PLAN
 PLUMBING - DOMESTIC WATER

CONSULTANTS
BOBES ASSOCIATES
 BOBES ASSOCIATES
 150 CIRCLE DRIVE, MAITLAND, FL 32751
 TEL: 407-823-3333
 FLORIDA STATE P.E. NUMBER: 8131

SIGNATURE AND DATED SEAL
 AUGUSTO E. BOBES, JR., P.E.
 FLORIDA P.E. # 39410

BORRELLI + PARTNERS
 ARCHITECTURE PLANNING LANDSCAPE INTERIOR
 770 VASSAR STREET
 ORLANDO, FLORIDA 32803
 TEL: 407-226-1111
 CONSTRUCTION MANAGEMENT FOR ORANGE COUNTY PARKS RESTROOMS AND SHOWER BUILDINGS PROVIDED BY BORRELLI + PARTNERS ARCHITECTURE PLANNING LANDSCAPE INTERIOR





DOMESTIC WATER RISER DIAGRAM
NOT TO SCALE

SANITARY WASTE AND VENT RISER DIAGRAM
NOT TO SCALE

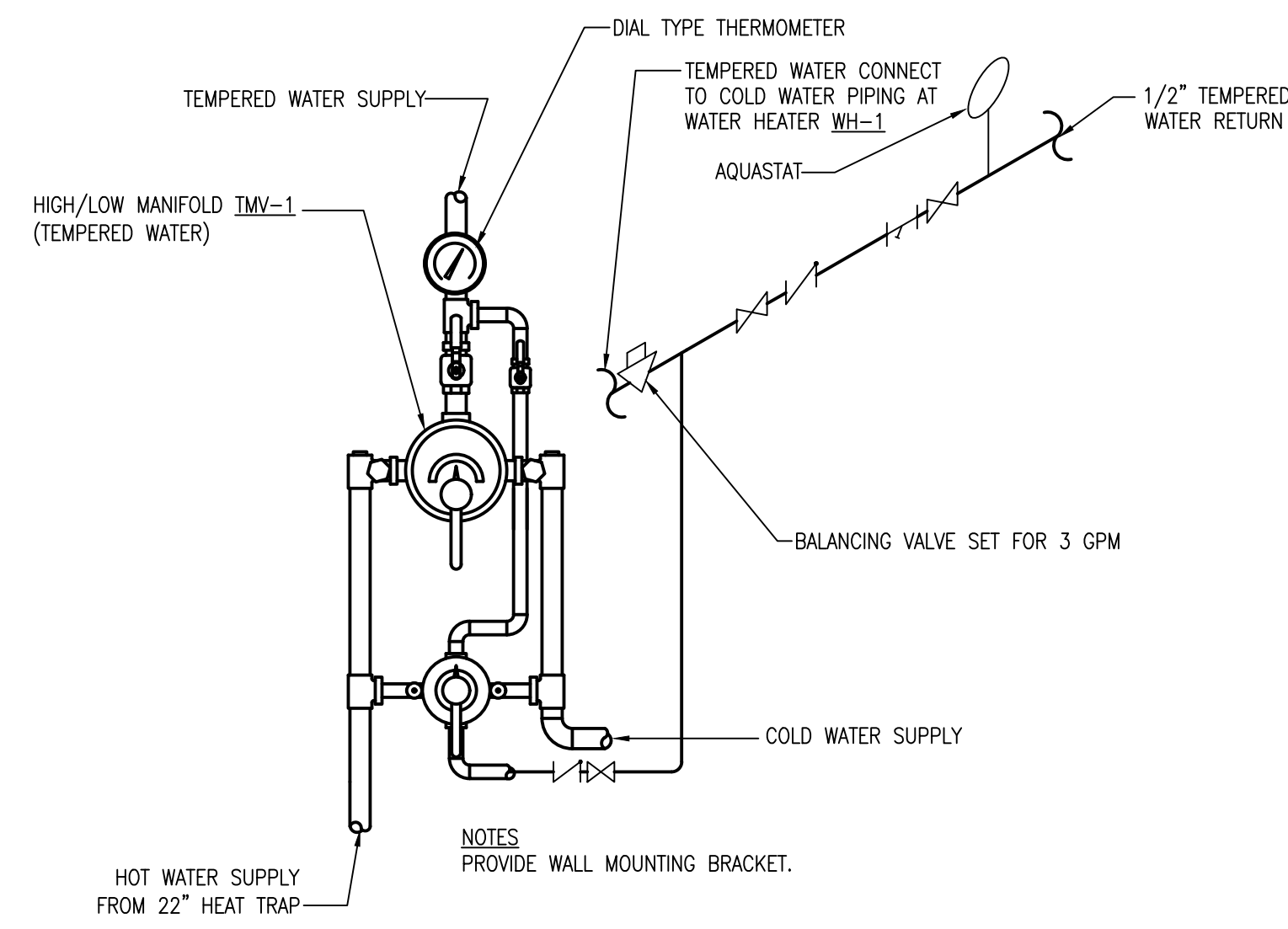
PLUMBING KEY NOTES

- 1 CONTRACTOR TO RUN ALL DOMESTIC WATER PIPING EXPOSED IN PLUMBING CHASE.
- 2 CONTRACTOR TO INSTALL ISOLATION VALVE FOR HOSE BIBB IN PLUMBING CHASE IN ACCESSIBLE LOCATION.
- 3 PROVIDE 12" X 12" CEILING ACCESS PANEL FOR HOSE BIBB SHUT OFF VALVE.
- 4 ROOF VENT PENETRATION SHALL BE COORDINATED TO PENETRATE THE STANDING SEAM METAL ROOF IN THE CENTER OF ROOF PANEL AND NOT AT A SEAM. LOCATE VTR ON THE LOWER 1/3 OF THE SLOPED ROOF.
- 5 FURNISH FLOOR DRAIN WITH REMOVABLE SEDIMENT BUCKET.

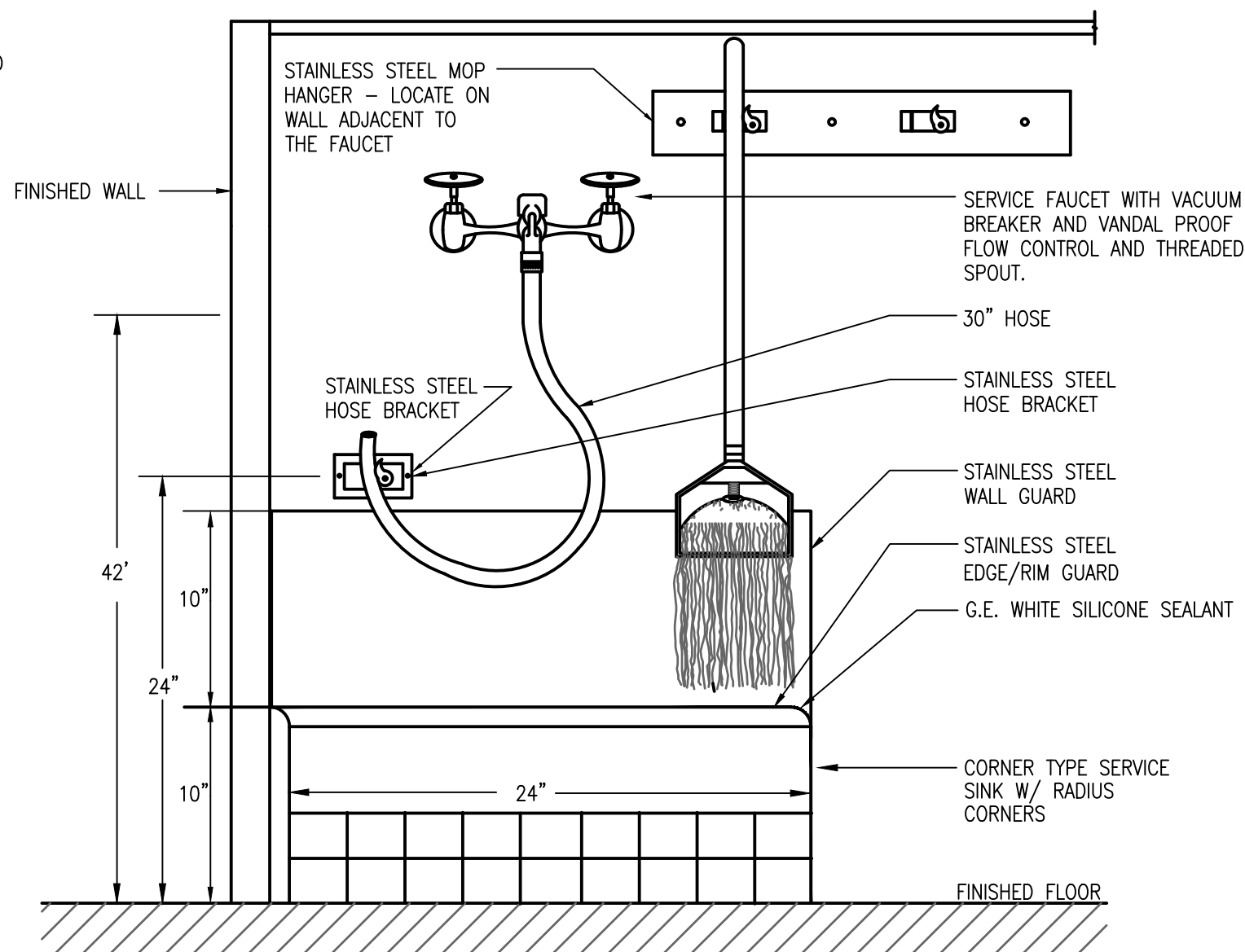
ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

<p>BORELLI PARTNERS ARCHITECTURE PLANNING LANDSCAPE INTERIOR</p>	<p>720 VASSAR STREET ORLANDO, FL 32804 (407) 418-1338</p>	<p>BOBES ASSOCIATES CONSULTING ENGINEERS 1111 W. COLLETT AVENUE, SUITE 200 ORLANDO, FL 32801 FLORIDA STATE LICENSE NUMBER: 5131</p>				
<p>CONSULTANTS</p> <table border="1" style="width: 100%; text-align: center;"> <tr> <td>A</td> <td>E</td> </tr> <tr> <td>B</td> <td>C</td> </tr> </table>	A	E	B	C	<p>PROJECT ADDRESS</p> <p>400 E. KELLY PARK RD. ORLANDO, FL 32712</p>	<p>OWNER NAME AND ADDRESS</p> <p>ORANGE COUNTY PARKS 400 E. SOUTH STREET 5TH FLOOR ORLANDO, FLORIDA 32801</p>
A	E					
B	C					
<p>PROJECT NO.</p> <p>17-109</p>	<p>DATE</p> <p>03-13-2018</p>	<p>DATE</p> <p>04-09-2018</p>				
<p>PHASE</p> <p>PERMIT SET</p>	<p>SCALE</p> <p>1/4" = 1'-0"</p>	<p>DATE</p> <p>04-09-2018</p>				
<p>FILE NAME</p> <p>03-13-18-CP-001</p>	<p>DRAWN BY</p> <p>ME</p>	<p>CHECKED BY</p> <p>ABJ</p>				
<p>PROJECT NO.</p> <p>17-109</p>	<p>DATE</p> <p>04-09-2018</p>	<p>DATE</p> <p>04-09-2018</p>				

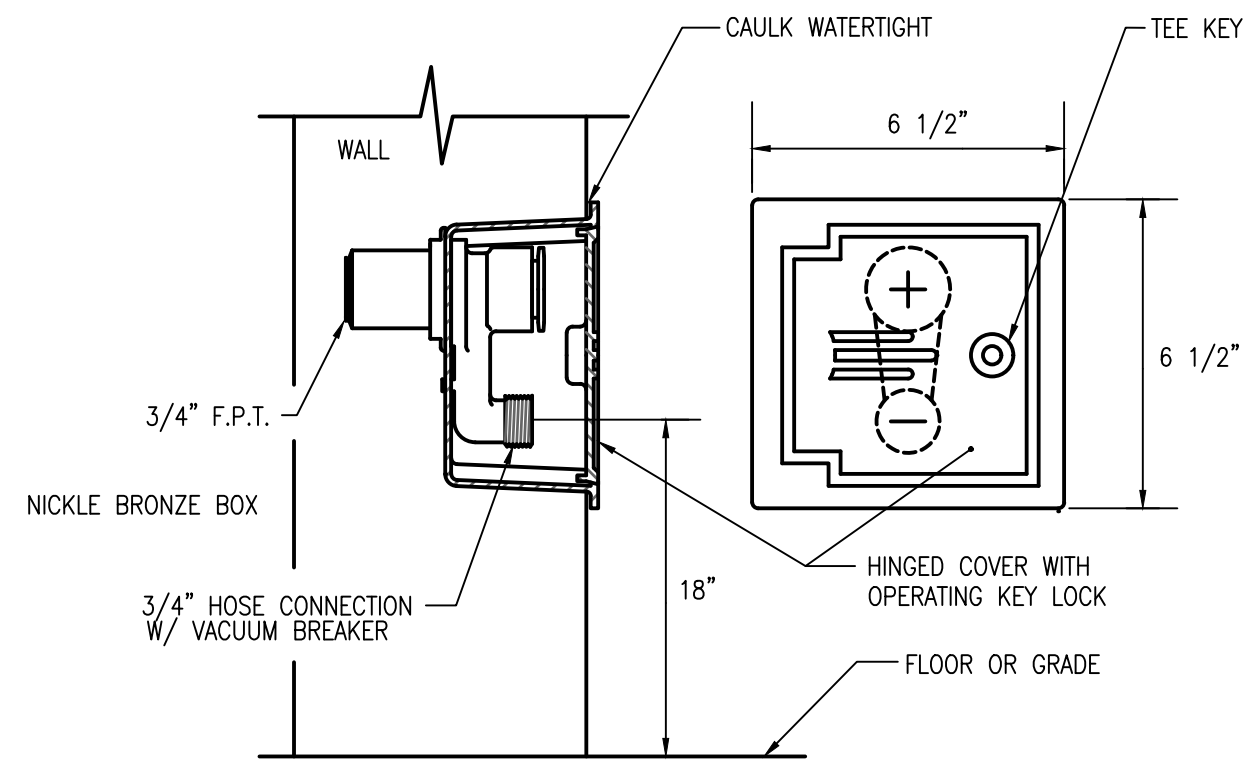
P-301



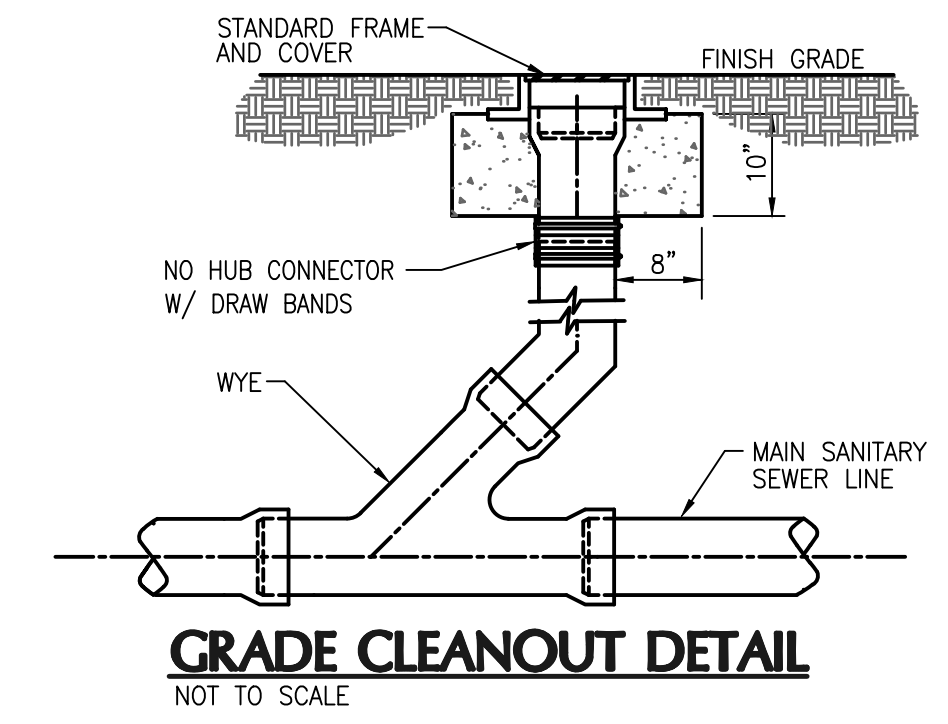
THERMOSTATIC MIXING VALVE DETAIL
NOT TO SCALE



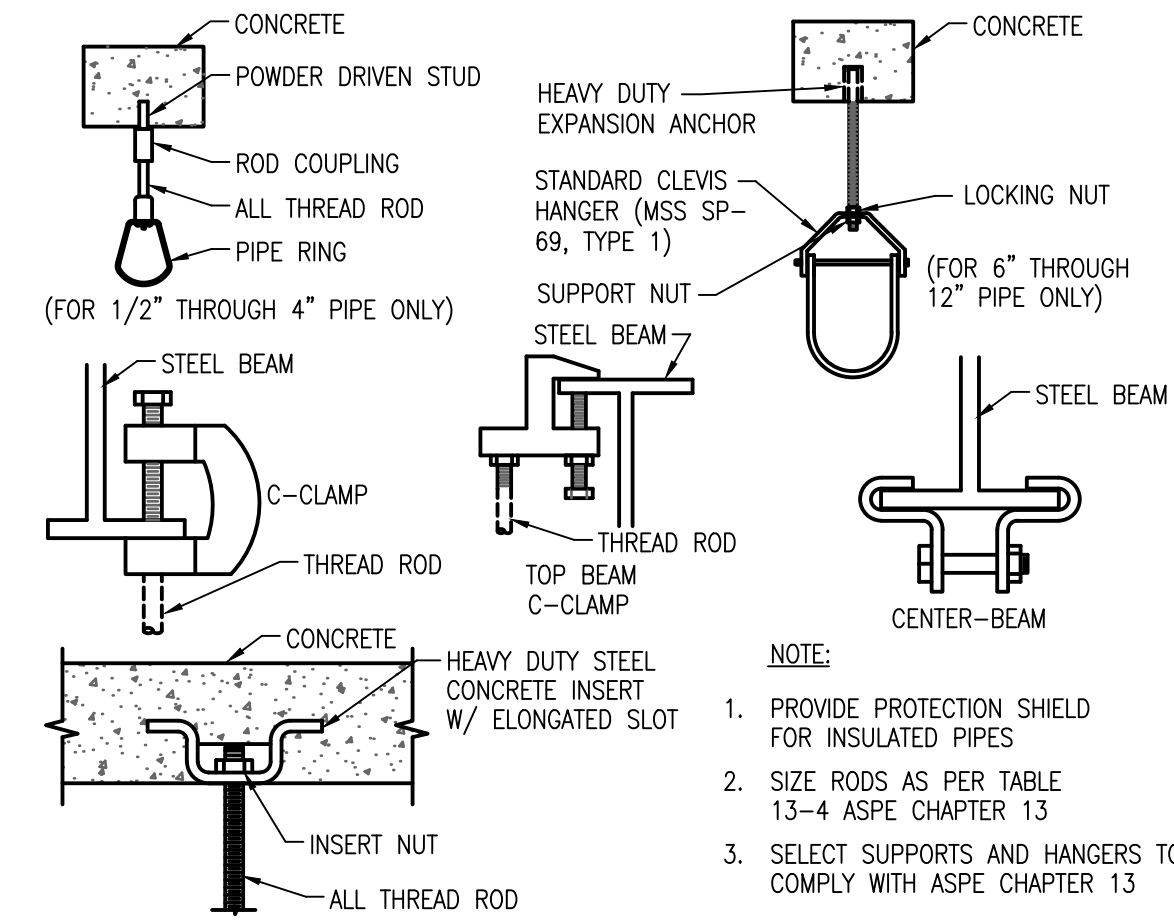
MOP SINK DETAIL
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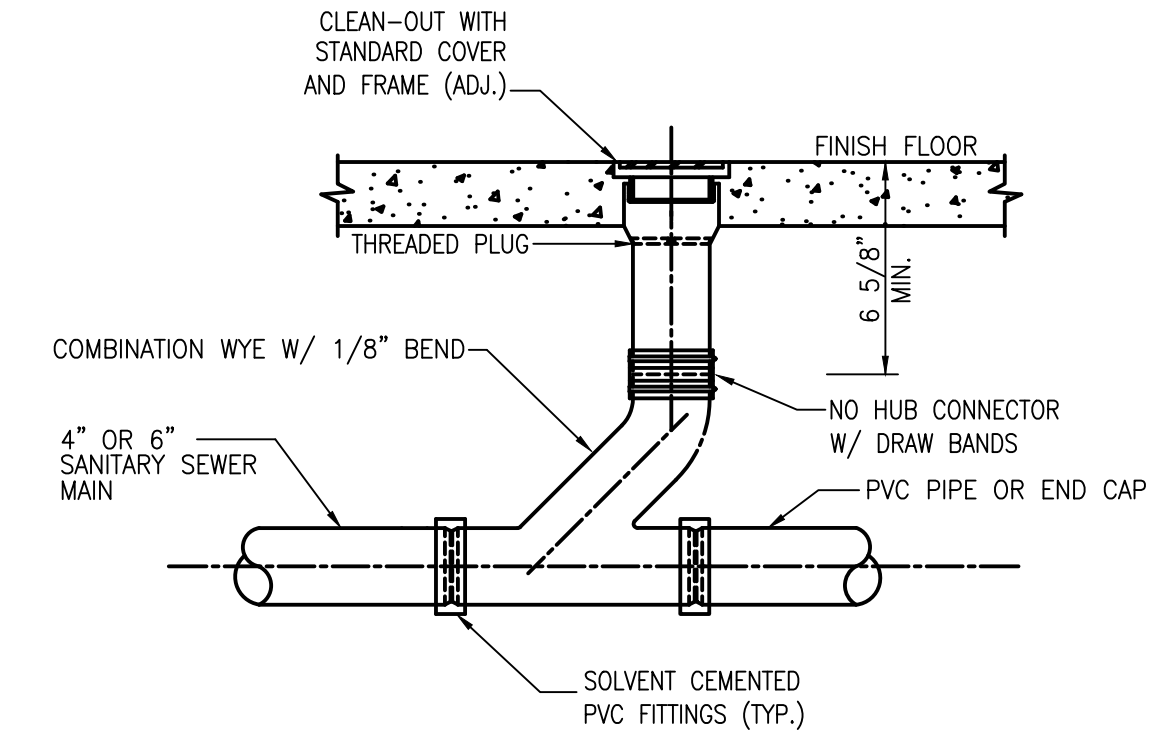
RECESSED HOSE BIBB DETAIL
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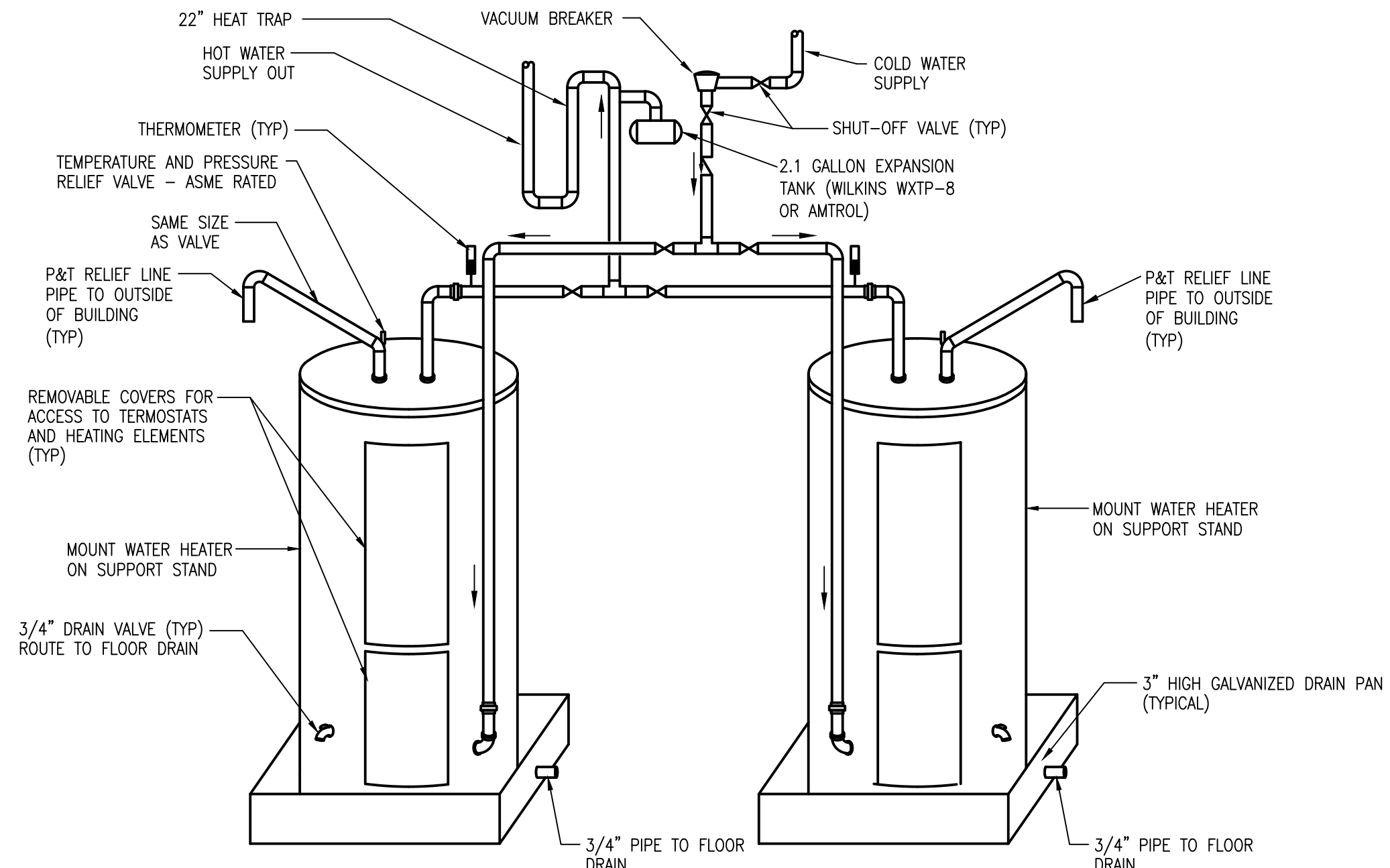
GRADE CLEANOUT DETAIL
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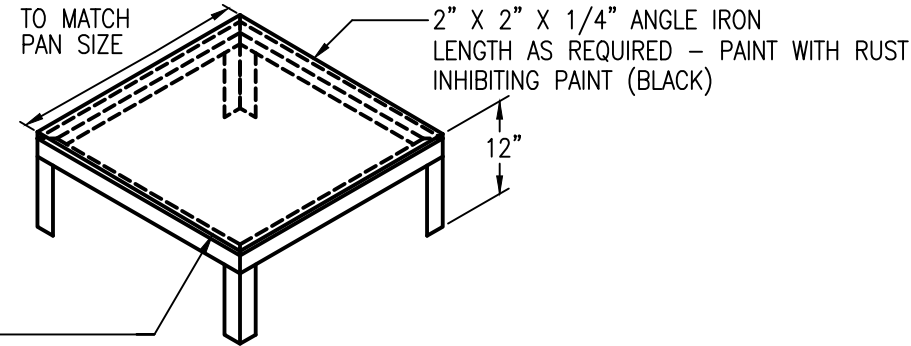
PIPE HANGERS AND SUPPORTS DETAIL
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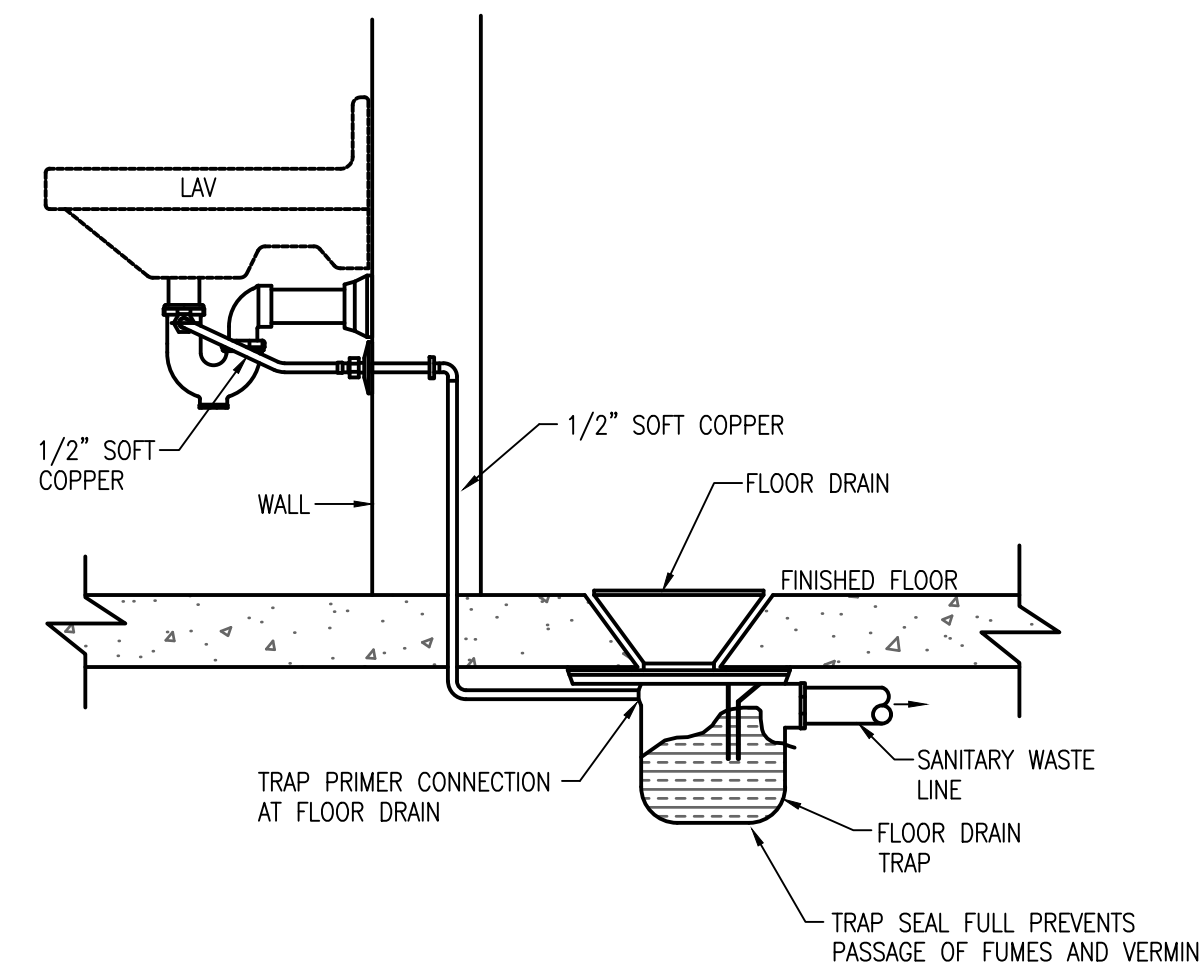
FLOOR CLEANOUT DETAIL
NOT TO SCALE



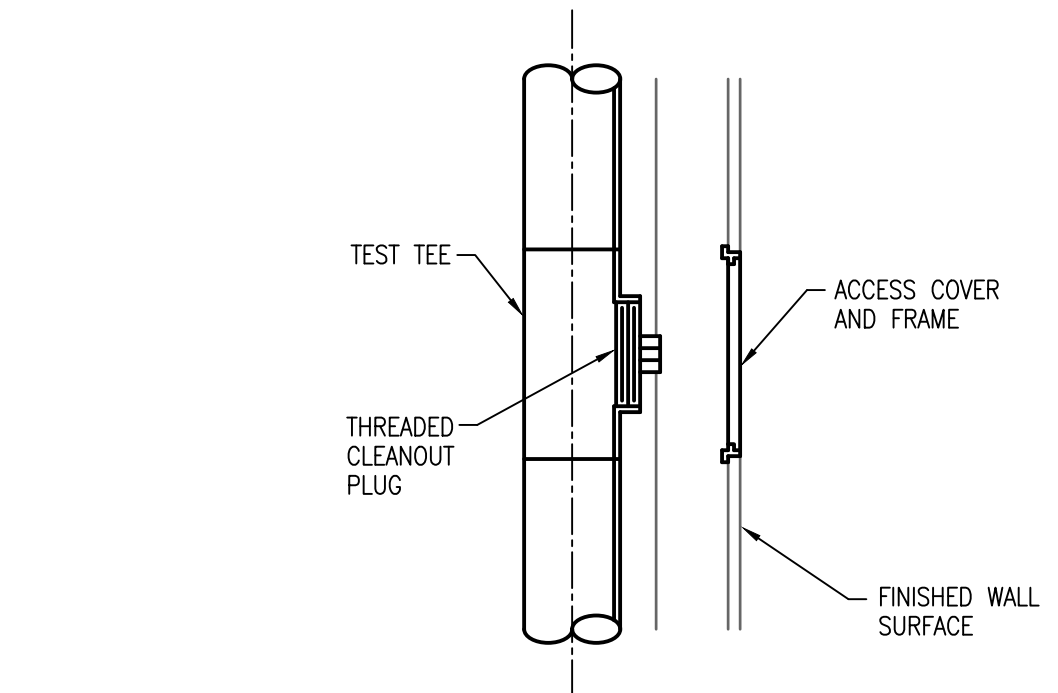
DOUBLE ELECTRIC WATER HEATER DETAIL
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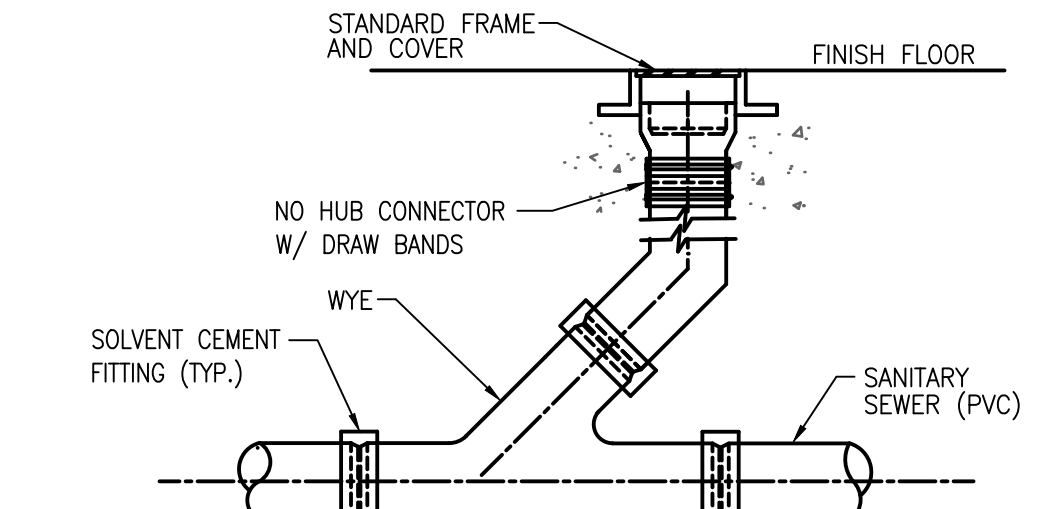
WATER HEATER SUPPORT BASE DETAIL
NOT TO SCALE



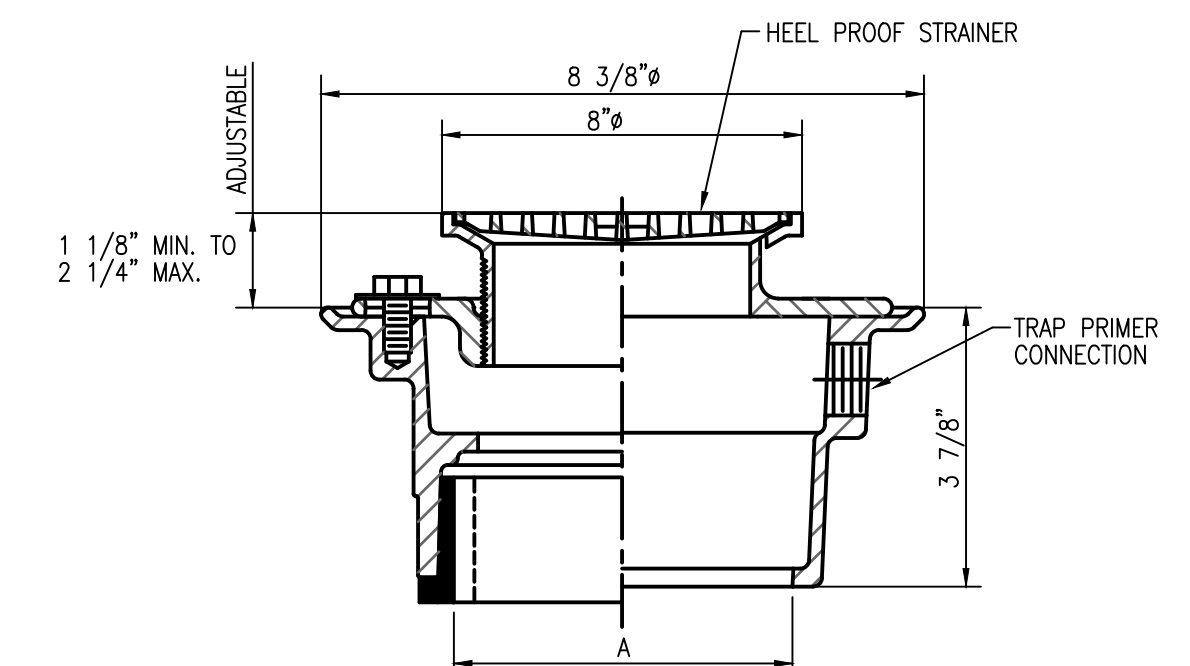
TRAP PRIMER PIPING DETAIL
NOT TO SCALE



WALL CLEANOUT DETAIL
NOT TO SCALE



FLOOR CLEANOUT DETAIL
NOT TO SCALE



FLOOR DRAIN DETAIL
NOT TO SCALE

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

BORRELLI PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
770 VASSAR STREET
ORLANDO, FL 32801 (407) 418-1338
CONVENTIONAL AND UNUSUAL DESIGN OF COMMERCIAL AND RESIDENTIAL BUILDINGS THROUGHOUT FLORIDA
BY PARTICIPATING AS PART OF THE ARCHITECTURE CORPORATION BORRELLI PARTNERS, INC. (007)

BOBES ASSOCIATES
CONSULTING ENGINEERS
1111 BOBES AVENUE, SUITE 200
ORLANDO, FL 32791
FLORIDA STATE REG. NO. 13088
AUGUSTO E. BOBES, P.E.
FLORIDA P.E. # 39410

PLUMBING DETAILS

PROJECT NO.	DESCRIPTION	DATE	PROJECT ADDRESS	DRAWING TITLE
17-09	PERMIT SET		401 E. KELLY PARK RD. ORLANDO, FL 32712	
SCALE	1/4" = 1'-0"		OWNER NAME AND ADDRESS	
FILE NAME	03-13-15-01		ORANGE COUNTY PARKS	
DRAWN BY	ME		401 E. SOUTH STREET	
CHECKED BY	ABU		5TH FLOOR	
DATE	04-09-2018		ORLANDO, FLORIDA 32801	

P-501

LIGHTING FIXTURE SCHEDULE							
FIXTURE TYPE	FIXTURE DESCRIPTION	LAMPS		MANUFACTURER		VOLTS	REMARKS
		QTY	TYPE	NAME	CATALOG #		
A	4' CEILING MOUNT HIGH PERFORMANCE LED FIXTURE, VANDAL RESISTANT, ALL ALUMINUM CONSTRUCTION, POLYCARBONATE OPAL LENS, WET LISTING, BRONZE FINISH	-	LED 4000K 82 CRI	LUMINAIRE LED (OR EQUAL)	VVF124-80W-4000K-120- OP-BRZ-WET-TX/SD	120	
AE	SAME AS "A" WITH 2600 LUMEN SELF CONTAINED 90 MINUTE EMERGENCY BATTERY PACK	-	LED 4000K 82 CRI	LUMINAIRE LED (OR EQUAL)	VVF124-80W-4000K-120- OP-BRZ-WET-EMB722-TX/SD	120	
B	4' SLIMLINE SURFACE MOUNT LED FIXTURE, C.R.S. HOUSING, ROUND FROSTED ACRYLIC SHIELDING, WHITE FINISH	-	LED 4000K 80 CRI	WILLIAMS (OR EQUAL)	LLMS-4-L34/840-S-RD-DRV- UNV	120	
C	17" DIA. LED FIXTURE, VANDAL RESISTANT, ALUMINUM BASE PLATE, POLYCARBONATE OPAL LENS, WET LISTING, BRONZE FINISH	-	LED 4000K 82 CRI	LUMINAIRE LED (OR EQUAL)	ARV17-40W-4000K-120-OP- BRZ-TX/SD	120	
EM	EMERGENCY FIXTURE, WHITE HOUSING, NICKEL CADMIUM BATTERY	-	LED	BEGHELLI (OR EQUAL)	PEH-1	120	
H	RUSTIC LED WALL SCONCE, HEAVY DUTY CAST GUARD AND FROSTED GLASS GLOBE, OIL RUBBED BRONZE FINISH	-	17W LED 4000K	BARN LIGHT ELECTRIC (OR EQUAL)	BLE-G-TGGWH-G3-PC-615- TGG-FST-LED-4000K	120	

ELECTRICAL GENERAL NOTES

(APPLIES TO ALL DRAWINGS)

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH FLORIDA BUILDING CODE 6th EDITION (2017 FBC), THE 2014 NATIONAL ELECTRICAL CODE (NEC), ALL APPLICABLE LOCAL, COUNTY AND STATE CODES AND STANDARDS, ALL REQUIREMENTS OF THE SERVING ELECTRIC UTILITY AND THE AMERICANS WITH DISABILITIES ACT (ADA).
- BRANCH WIRING IS NOT SHOWN GRAPHICALLY ON DRAWING AND IS INDICATED BY CIRCUIT NUMBERS BESIDE FIXTURES, DEVICES AND EQUIPMENT. PROVIDE COMPLETE WIRING SYSTEM WHETHER OR NOT INDICATED GRAPHICALLY.
- LIGHTING FIXTURES ARE SHOWN FOR QUANTITY AND CIRCUITING ONLY. FOR EXACT LOCATION OF LIGHTING FIXTURES, REFER TO ARCHITECTURAL REFLECTED CEILING PLANS. COORDINATE WORK WITH CEILING CONTRACTOR. PROVIDE PROPER FIXTURE FRAMES FOR TYPE OF CEILING INDICATED.
- FOR EXACT ARCHITECTURAL LAYOUT AND DIMENSIONS, COORDINATE WITH ARCHITECTURAL DRAWINGS. ELECTRICAL DRAWINGS ARE FOR REFERENCE ONLY.
- COORDINATE ALL WORK DONE UNDER THIS DIVISION WITH WORK TO BE PERFORMED UNDER DIVISION 15.
- COORDINATE WITH OTHER TRADES FOR EXACT LOCATIONS OF ALL MOTORS AND OTHER EQUIPMENT TO BE INSTALLED AND/OR WIRED UNDER THIS DIVISION BUT FURNISHED UNDER ANOTHER DIVISION OF THE SPECIFICATIONS.
- ALL BRANCH CIRCUITS FOR 120 VOLT, 20 AMP CIRCUITS EXCEEDING EIGHTY FEET IN LENGTH SHALL BE INCREASED IN SIZE AS REQUIRED TO ALLOW FOR VOLTAGE DROP LOSSES.
- PACK ALL SLEEVES FOR CONDUITS PASSING THROUGH FIRE RATED WALLS AND FLOOR SLABS WITH FIRE RESISTANT MATERIALS. ALL PENETRATIONS SHALL BE UL RATED.
- ALL EMPTY CONDUITS (EC) SHALL BE PROVIDED WITH NYLON PULL WIRES.
- TYPE AC CABLE AND ELECTRICAL NON-METALLIC TUBING SHALL NOT BE PERMITTED. TYPE MC CABLE IS PERMITTED AS LONG AS IT IS ACCEPTABLE TO THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ).
- COORDINATE THE REQUIRED SIZE OF ALL CIRCUIT BREAKERS FEEDING EQUIPMENT (I.E. MOTORS, HVAC, KITCHEN EQUIPMENT, SPECIAL PURPOSE OUTLETS, OWNER FURNISHED EQUIPMENT, ETC.) WITH APPROVED EQUIPMENT SHOP DRAWINGS AND OWNER REPRESENTATIVES PRIOR TO ORDERING PANELBOARDS. BREAKERS SHALL BE SIZED PER THE NEC, THE EQUIPMENT NAME PLATE AND MANUFACTURER'S RECOMMENDATIONS.
- THE POWER COMPANY SHALL BE CONTACTED WITHIN 10 DAYS OF THE AWARD OF THE CONTRACT BY THE CONTRACTOR TO VERIFY THE ACTUAL AVAILABLE SHORT CIRCUIT FAULT CURRENT (SCC) AT THE TRANSFORMER SECONDARY BUSHINGS. THE CONTRACTOR SHALL PROVIDE ELECTRICAL DISTRIBUTION AND UTILIZATION EQUIPMENT AND PANELBOARDS WHICH HAVE AIC/WITHSTAND RATINGS GREATER THAN THE AVAILABLE SCC.
- ALL CONDUITS IN OR UNDER SLAB OR UNDERGROUND SHALL BE PVC SCHEDULE 40.
- ALL CONDUITS ABOVE SLAB, WHETHER EXPOSED OR CONCEALED, SHALL BE EMT, IMC, OR RIGID GALVANIZED STEEL.
- FLEXIBLE METAL RACEWAYS SHALL NOT EXCEED 6' IN LENGTH.
- "LIQUID-TIGHT" TYPE FLEXIBLE WEATHERPROOF RACEWAYS SHALL HAVE A METALLIC INTERIOR AND NOT EXCEED 6' IN LENGTH.
- ALL BOXES, PLASTER RINGS, EXTENSION RINGS, AND BOX COVERS SHALL BE METAL.
- ALL CONDUITS SHALL BE PARALLEL AND PERPENDICULAR TO STRUCTURAL MEMBERS.
- ALL BENDS SHALL BE MADE IN CONDUIT USING PROPER EQUIPMENT AND MEET NATIONAL ELECTRICAL CODE (NEC) REQUIREMENTS.
- ALL WIRE, INCLUDING BUT NOT LIMITED TO FEEDERS AND BRANCH CIRCUIT WIRING, SHALL BE COPPER - #12 AWG THIN MINIMUM EXCEPT FOR LOW-VOLTAGE WIRING FOR COMMUNICATIONS SYSTEMS, WHICH MAY BE SMALLER.
- ALL BREAKERS SHALL BE "FULL SIZE". NO TANDEM, PIGGY BACK, TWIN, OR HALF SIZE BREAKERS WILL BE ACCEPTED.
- ALL DEVICES SHALL BE COMMERCIAL OR SPECIFICATION GRADE.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY POWER AND TEMPORARY LIGHTING DURING CONSTRUCTION. TEMPORARY POWER SHALL PROVIDE ADEQUATE POWER FOR NORMAL CONSTRUCTION USE. TEMPORARY LIGHTING SHALL PROVIDE ADEQUATE LIGHT SO THAT THE INDIVIDUAL TRADES WORK CAN BE COMPLETED.
- ALL ELECTRICAL EQUIPMENT SHALL BE UL LISTED.
- A GREEN INSULATED COPPER GROUND CONDUCTOR SHALL BE INSTALLED IN ALL RACEWAYS.
- GROUNDING SYSTEM SHALL BE IN ACCORDANCE WITH NEC ARTICLE 250 AND APPLICABLE REQUIREMENTS OF IEEE STANDARDS 142 AND 241.
- TEST RESISTANCE TO GROUND (EARTHING CONNECTION) WITH RESISTANCE TESTER SUBSEQUENT TO FINAL INSTALLATION. WHERE TEST INDICATES RESISTANCE TO GROUND IS OVER 5 OHMS, TAKE APPROPRIATE ACTION TO REDUCE RESISTANCE TO 5 OHMS OR LESS BY DRIVING ADDITIONAL PROPERLY SPACED GROUND RODS AND TREATING SOIL IN PROXIMITY OF GROUND RODS WITH COMMON SALT, COPPER SULFATE OR MAGNESIUM SULFATE. RETEST TO DEMONSTRATE COMPLIANCE.
- CONDUCTORS ARE SIZED FOR VOLTAGE DROP PER N.E.C. ARTICLES 210.19(A) NOTE 4, 215.2(A)(1)NOTE 2 AND THE 2017 F.B.C. ENERGY CONSERVATION CODE C405.6.3. ELECTRICAL CONTRACTOR SHALL PERFORM VOLTAGE DROP CALCULATIONS IN ACCORDANCE WITH N.E.C. ARTICLES 210.19(A)(1)NOTE 4, 215.2(A)NOTE 2 AND THE 2017 F.B.C. ENERGY CONSERVATION CODE C405.6.3 ON ANY CIRCUITS THAT ARE INSTALLED THAT DIFFER FROM THE DESIGN SHOWN IN THESE PLANS. FEEDER CONDUCTORS AND BRANCH CIRCUIT CONDUCTORS SHALL EACH BE SIZED FOR A MAXIMUM VOLTAGE DROP OF 3% AND A COMBINED MAXIMUM VOLTAGE DROP OF 5% TOTAL.
- LIGHT FIXTURES SUPPORTED BY CEILING GRID SHALL BE SUPPORTED AS PER FIELD TECHNICAL INFORMATION NO. 40. LIGHT FIXTURES WEIGHING LESS THAN 10 POUNDS SHALL HAVE ONE 12 GAGE HANGER WIRE CONNECTED FROM THE FIXTURE TO THE STRUCTURE ABOVE. LIGHT FIXTURES WEIGHING MORE THAN 10 POUNDS SHALL HAVE TWO 12 GAGE WIRES ATTACHED AT OPPOSING CORNERS OF EACH LIGHT FIXTURE.
- ELECTRICAL CONTRACTOR SHALL PROVIDE A COMPLETE AND OPERABLE FIRE ALARM SYSTEM INCLUDING ALL REQUIRED EQUIPMENT, DEVICES, COMPONENTS, PERMITS, INSPECTIONS AND CERTIFICATIONS AS REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM SHALL BE FURNISHED WITH A DMP WIRELESS CELLULAR COMMUNICATOR.
- PROVIDE A COMPLETE LIGHTNING PROTECTION SYSTEM FOR THE BUILDING TO COMPLY WITH THE REQUIREMENTS OF NFPA 70, NFPA 780, LPI STANDARDS 175, 176, AND 177. PROVIDE COMPONENTS WHICH ARE UL-LISTED AND MASTER LABELED.
- THE CONTRACTOR SHALL PROVIDE A COMPLETE ELECTRICAL SHOP DRAWING SUBMITTAL TO THE ENGINEER FOR REVIEW AND APPROVAL. THE ELECTRICAL SUBMITTAL SHALL INCLUDE ALL ELECTRICAL PANELS, MDP'S, BREAKERS, DISCONNECTS, DEVICES, RECEPTACLES, CONDUIT, RACEWAYS, LIGHT FIXTURES, POLES, SWITCHES, OCCUPANCY SENSORS, PULL BOXES, WIRING, ETC. CONTRACTOR SHALL NOT ORDER ANY ELECTRICAL EQUIPMENT UNTIL THIS SUBMITTAL IS REVIEWED AND ACCEPTED BY THE ENGINEER OF RECORD. CONTRACTOR SHALL SUBMIT THE SHOP DRAWING AS ONE COMPLETE SUBMITTAL AND SHALL NOT PIECE-MEAL THE SUBMITTAL SPREAD OUT OVER THE COURSE OF DAYS AND WEEKS. FAILURE TO SUBMIT A COMPLETE ELECTRICAL SHOP DRAWING SUBMITTAL SHALL RESULT IN AN IMMEDIATE REJECTION OF THE SHOP DRAWING SUBMITTAL.

ELECTRICAL SYMBOL LIST

(SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT.)

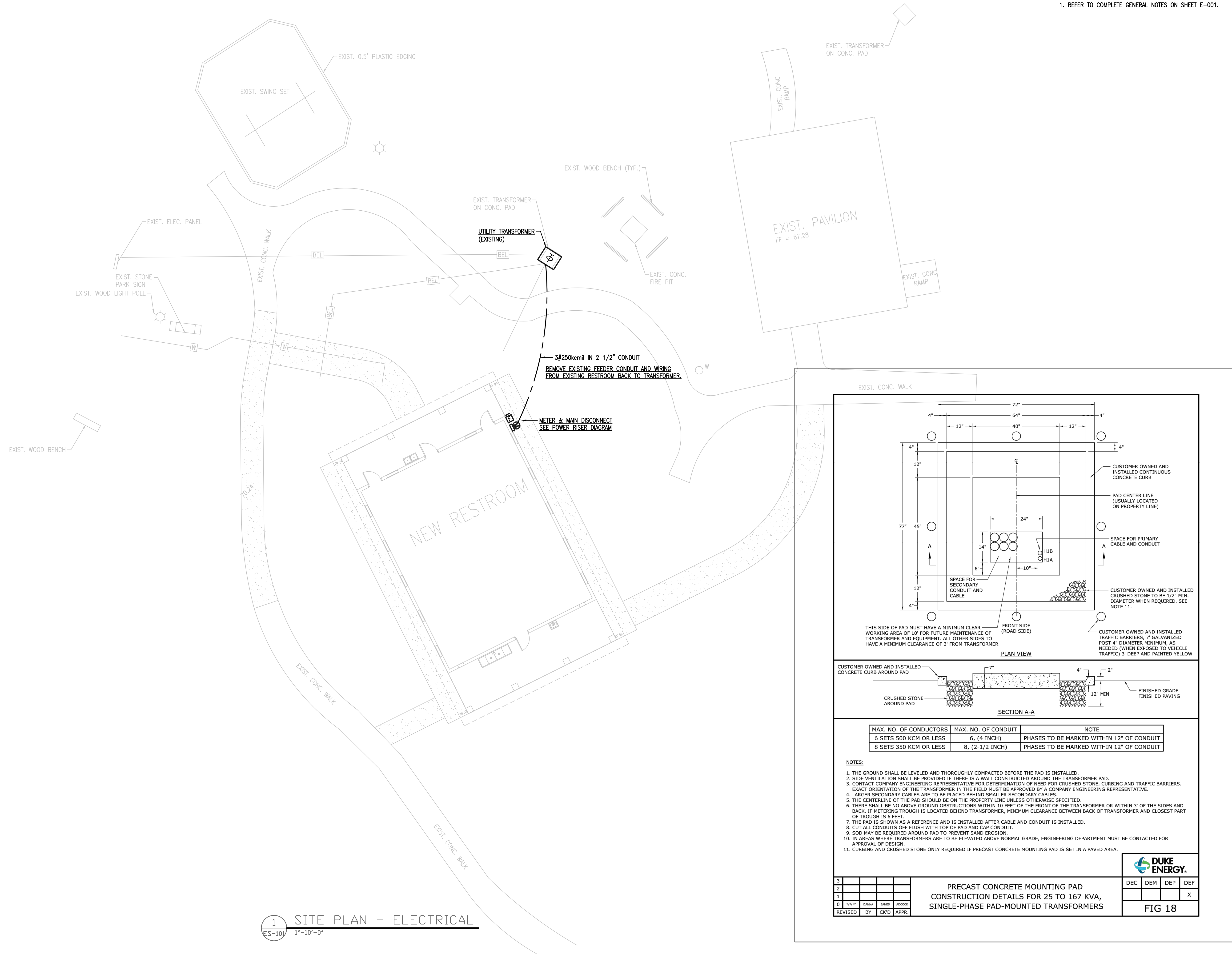
	RECESSED LED FIXTURE
	SURFACE MOUNTED LED FIXTURE
	WALL MOUNTED LED FIXTURE
	DOWNLIGHT OR PENDANT LED FIXTURE
	WALL MOUNTED LED FIXTURE
	CEILING MOUNTED EXIT LIGHT. ARROW INDICATES DIRECTIONAL ARROW ON FIXTURE, SHADED AREA INDICATES FACE OF FIXTURE.
	WALL OR END MOUNTED EXIT LIGHT
	EMERGENCY FIXTURE
	PHOTOCELL
	SINGLE POLE SWITCH, SUBSCRIPT LETTER INDICATES FIXTURE CONTROLLED. (3 = 3 WAY, 4 = 4 WAY, K = KEY OPERATED) MOUNTED 48" AFF
	DIMMER SWITCH, TYPE AND WATTAGE TO CONTROL FIXTURE
	QUAD RECEPTACLE
	20A, 2 POLE, 125V GROUNDED DUPLEX RECEPTACLE. MOUNTED ABOVE COUNTERTOP UNLESS OTHERWISE NOTED. 18" AFF UNLESS OTHERWISE NOTED. G = GROUND FAULT INTERRUPTER
	20A, 2 POLE, 125V GROUNDED DUPLEX RECEPTACLE. MOUNTED ABOVE COUNTERTOP UNLESS OTHERWISE NOTED.
	TELEPHONE WALL OUTLET 18" AFF UNLESS OTHERWISE NOTED. PROVIDE 1" EC TO CEILING SPACE.
	TELEPHONE AND DATA DUPLEX OUTLET, LEVITON CAT. #41688-1 OR EQUAL. 18" AFF UNLESS OTHERWISE NOTED. PROVIDE 1" EC TO CEILING SPACE.
	TELEVISION OUTLET WITH 1" EC TO ITB. 18" AFF UNLESS OTHERWISE NOTED.
	CEILING MOUNTED JUNCTION BOX
	WALL MOUNTED JUNCTION BOX
	CONNECTION TO EQUIPMENT
	PUSHBUTTON
	MOTOR HORSEPOWER RATED TOGGLE SWITCH BY DIVISION 15
	NONFUSED DISCONNECT SWITCH. NUMBERS INDICATE SWITCH SIZE.
	FUSED DISCONNECT SWITCH. FUSES SIZED AS SHOWN ON DRAWINGS.
	MOTOR
	PANELBOARD
	FIRE ALARM/SECURITY CONTROL PANEL
	FIRE ALARM ANNUNCIATOR PANEL
	INTERCOM
	CEILING SPEAKER
	TELEPHONE TERMINAL BOARD (TTB)
	FIRE ALARM STROBE LIGHT, MOUNTED 80" AFF
	FIRE ALARM MANUAL PULL STATION, MOUNTED 48" AFF
	FIRE ALARM HORN WITH STROBE LIGHT, MOUNTED 80" AFF
	SPRINKLER FLOW SWITCH
	SPRINKLER TAMPER SWITCH
	KEY LOCK BOX
	FIXED TEMPERATURE HEAT DETECTOR
	DUCT SMOKE DETECTOR
	SMOKE DETECTOR
	HOOD FIRE SUPPRESSION SYSTEM PULL STATION
	AHU FIRE ALARM SHUTDOWN RELAY
	SECURITY SYSTEM DOOR CONTACT
	SECURITY SYSTEM ALARM HORN
	ABOVE FINISHED FLOOR
	FINISHED FLOOR
	AIR HANDLING UNIT
	EMPTY CONDUIT
	EXHAUST FAN
	ELECTRIC WATER COOLER
	ELECTRIC WATER HEATER
	GROUND FAULT INTERRUPTER
	CONDENSING UNIT
	WEATHERPROOF (NEMA-3R)
	NIGHT LIGHT
	SHUNT TRIP
	ISOLATED GROUND

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

BOBELLI PARTNERS ARCHITECTURE PLANNING LANDSCAPE INTERIOR 770 VASSAR STREET ORLANDO, FL 32801 (407) 418-1338 <small>CONVENTIONAL AND UNUSUAL DESIGN SERVICES PROVIDED BY ARCHITECTS REGISTERED IN FLORIDA AND LICENSED AS PROFESSIONAL ARCHITECTS IN OTHER STATES. PARTICIPATION AS SHOWN BY THE ARCHITECT COPYRIGHT BOBELLI PARTNERS, INC. 2017</small>	
BOBES ASSOCIATES CONSULTING ENGINEERS 1111 ORANGE AVENUE, SUITE 200 ORLANDO, FL 32761 FLORIDA STATE LICENSE NUMBER: 5131	
SIGNATURE AND DATED SEAL	
CONSULTANTS	
DRAWING TITLE GENERAL NOTES, SYMBOL LIST AND LIGHTING FIXTURE SCHEDULE	
PROJECT ADDRESS 401E KELLY PARK RD. APOPA, FL 32712	PROJECT DATE 04-09-2018
OWNER NAME AND ADDRESS ORANGE COUNTY PARKS 401E SOUTH STREET 5TH FLOOR ORLANDO, FLORIDA 32801	DATE 04-09-2018
PROJECT NO. PHASE SCALE FILE NAME DRAWN BY CHECKED BY DATE	REV. DESCRIPTION 17-109 PERMIT SET NONE 17-1015.E-00 WNC ABJ 04-09-2018
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GENERAL NOTES

1. REFER TO COMPLETE GENERAL NOTES ON SHEET E-001.



1 SITE PLAN - ELECTRICAL
ES-101 1'-10"-0"

MAX. NO. OF CONDUCTORS	MAX. NO. OF CONDUIT	NOTE
6 SETS 500 KCM OR LESS	6, (4 INCH)	PHASES TO BE MARKED WITHIN 12" OF CONDUIT
8 SETS 350 KCM OR LESS	8, (2-1/2 INCH)	PHASES TO BE MARKED WITHIN 12" OF CONDUIT

- NOTES:**
1. THE GROUND SHALL BE LEVELED AND THOROUGHLY COMPACTED BEFORE THE PAD IS INSTALLED.
 2. SIDE VENTILATION SHALL BE PROVIDED IF THERE IS A WALL CONSTRUCTED AROUND THE TRANSFORMER PAD.
 3. CONTACT COMPANY ENGINEERING REPRESENTATIVE FOR DETERMINATION OF NEED FOR CRUSHED STONE, CURBING AND TRAFFIC BARRIERS. EXACT ORIENTATION OF THE TRANSFORMER IN THE FIELD MUST BE APPROVED BY A COMPANY ENGINEERING REPRESENTATIVE.
 4. LARGER SECONDARY CABLES ARE TO BE PLACED BEHIND SMALLER SECONDARY CABLES.
 5. THE CENTERLINE OF THE PAD SHOULD BE ON THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED.
 6. THERE SHALL BE NO ABOVE GROUND OBSTRUCTIONS WITHIN 10 FEET OF THE FRONT OF THE TRANSFORMER OR WITHIN 3' OF THE SIDES AND BACK. IF METERING TROUGH IS LOCATED BEHIND TRANSFORMER, MINIMUM CLEARANCE BETWEEN BACK OF TRANSFORMER AND CLOSEST PART OF TROUGH IS 6 FEET.
 7. THE PAD IS SHOWN AS A REFERENCE AND IS INSTALLED AFTER CABLE AND CONDUIT IS INSTALLED.
 8. CUT ALL CONDUITS OFF FLUSH WITH TOP OF PAD AND CAP CONDUIT.
 9. SOD MAY BE REQUIRED AROUND PAD TO PREVENT SAND EROSION.
 10. IN AREAS WHERE TRANSFORMERS ARE TO BE ELEVATED ABOVE NORMAL GRADE, ENGINEERING DEPARTMENT MUST BE CONTACTED FOR APPROVAL OF DESIGN.
 11. CURBING AND CRUSHED STONE ONLY REQUIRED IF PRECAST CONCRETE MOUNTING PAD IS SET IN A PAVED AREA.

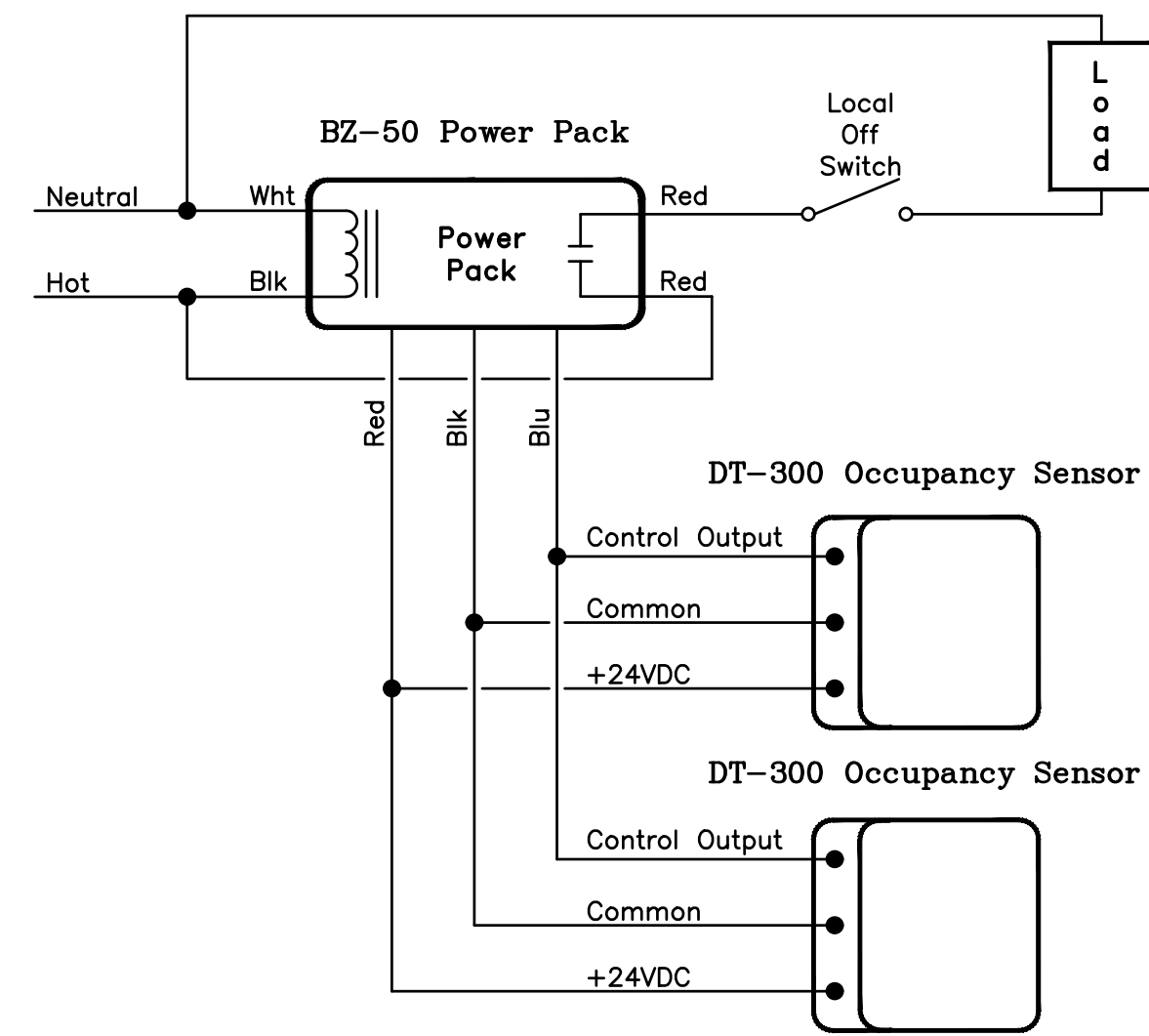
PRECAST CONCRETE MOUNTING PAD
 CONSTRUCTION DETAILS FOR 25 TO 167 KVA,
 SINGLE-PHASE PAD-MOUNTED TRANSFORMERS
 FIG 18

DEC	DEM	DEP	DEF
			X

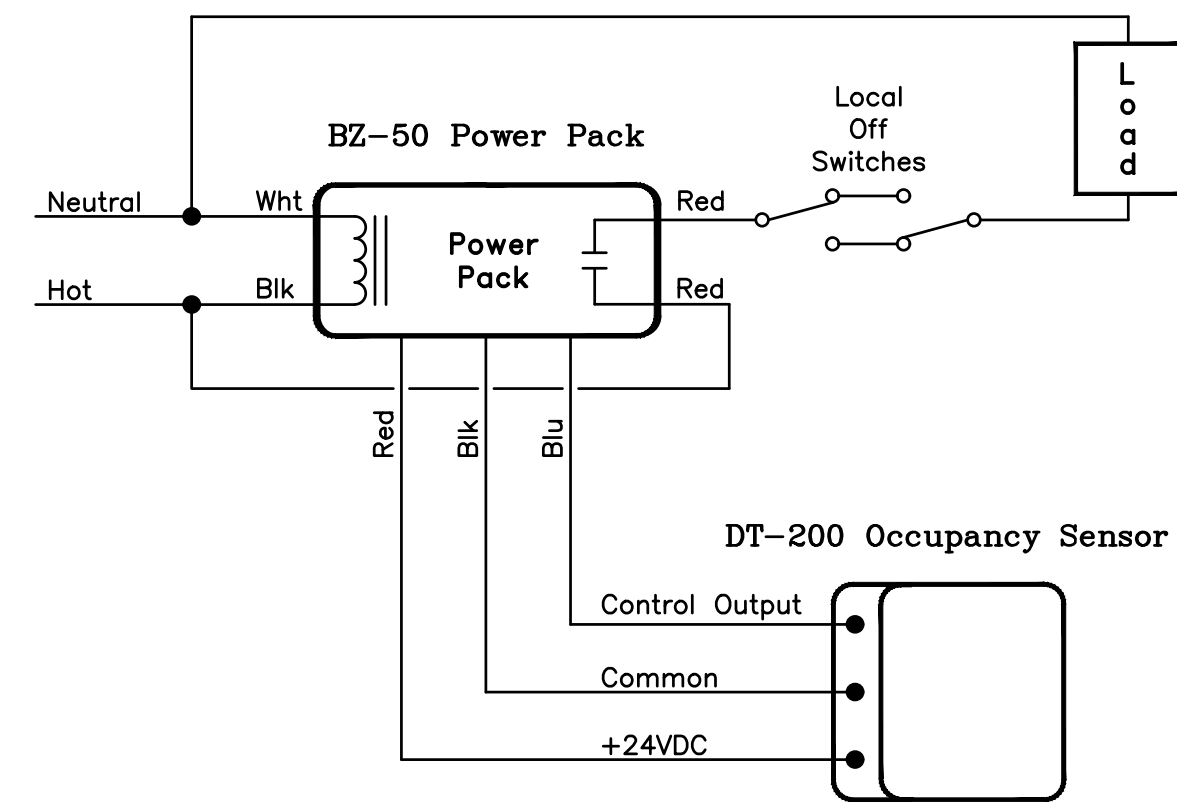
ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

 770 VASSAS STREET ORLANDO, FLORIDA 32819 (407) 253-1338 WWW.BORRELLIANDPARTNERS.COM		CONSULTANTS SIGNATURE AND DATED SEAL	
 150 CIRCLE DRIVE, MIAMI, FL 33151 (305) 555-0000 WWW.BORRESASSOCIATES.COM FLORIDA STATE P.E. NUMBER: 8131		CONSULTANTS SIGNATURE AND DATED SEAL	
SITE PLAN ELECTRICAL			
PROJECT ADDRESS 400 E. KELLY PARK RD. ORLANDO, FL 32712	PROJECT NO. 17-109	DATE 04-22-2018	DRAWING TITLE ELECTRICAL
OWNER NAME AND ADDRESS ORANGE COUNTY PARKS 400 E. SOUTH STREET 5TH FLOOR ORLANDO, FLORIDA 32801	PERMIT SET AS NOTED	FILE NAME 13-125 E-01	DRAWN BY WMC
CHECKED BY ARJF	DATE 04-22-2018	REVISIONS 1 0 3/2/17 DAWA EARS JACODD REVISED BY CK'D APPR.	DATE 04-22-2018

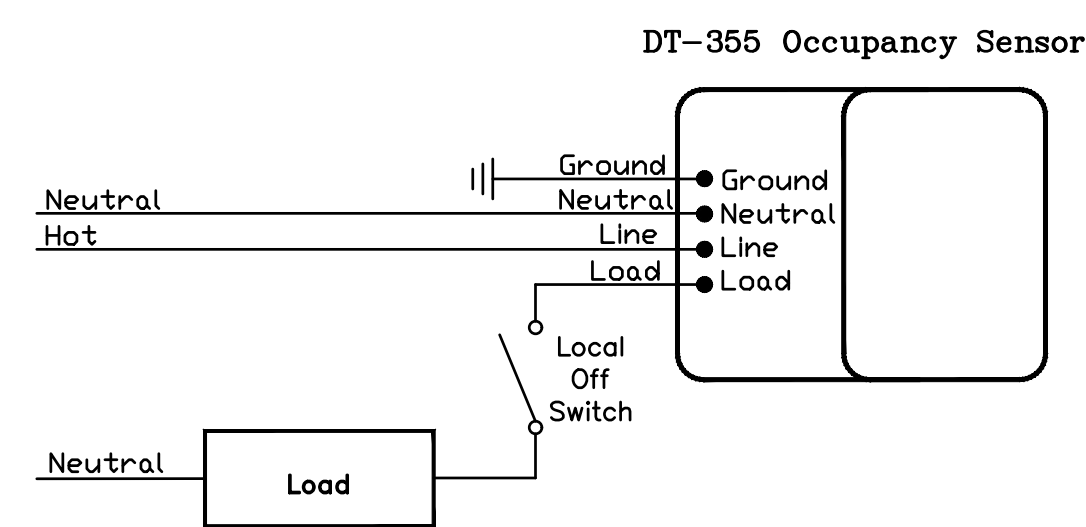
ES-101



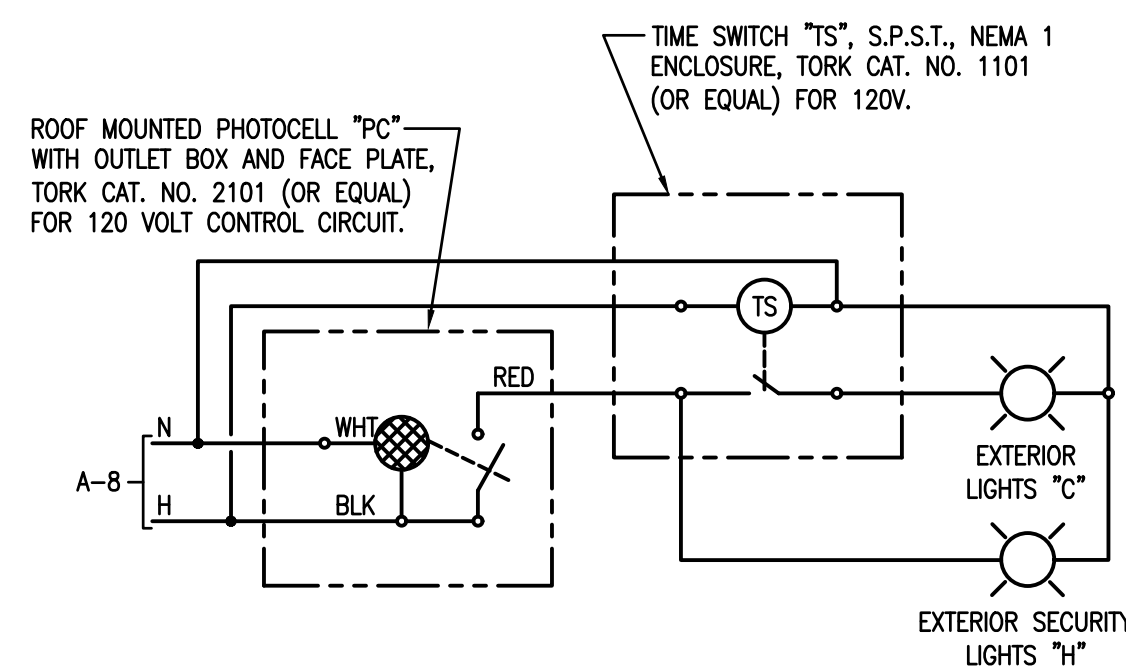
TYPICAL DT-300 OCCUPANCY SENSOR WIRING DIAGRAM



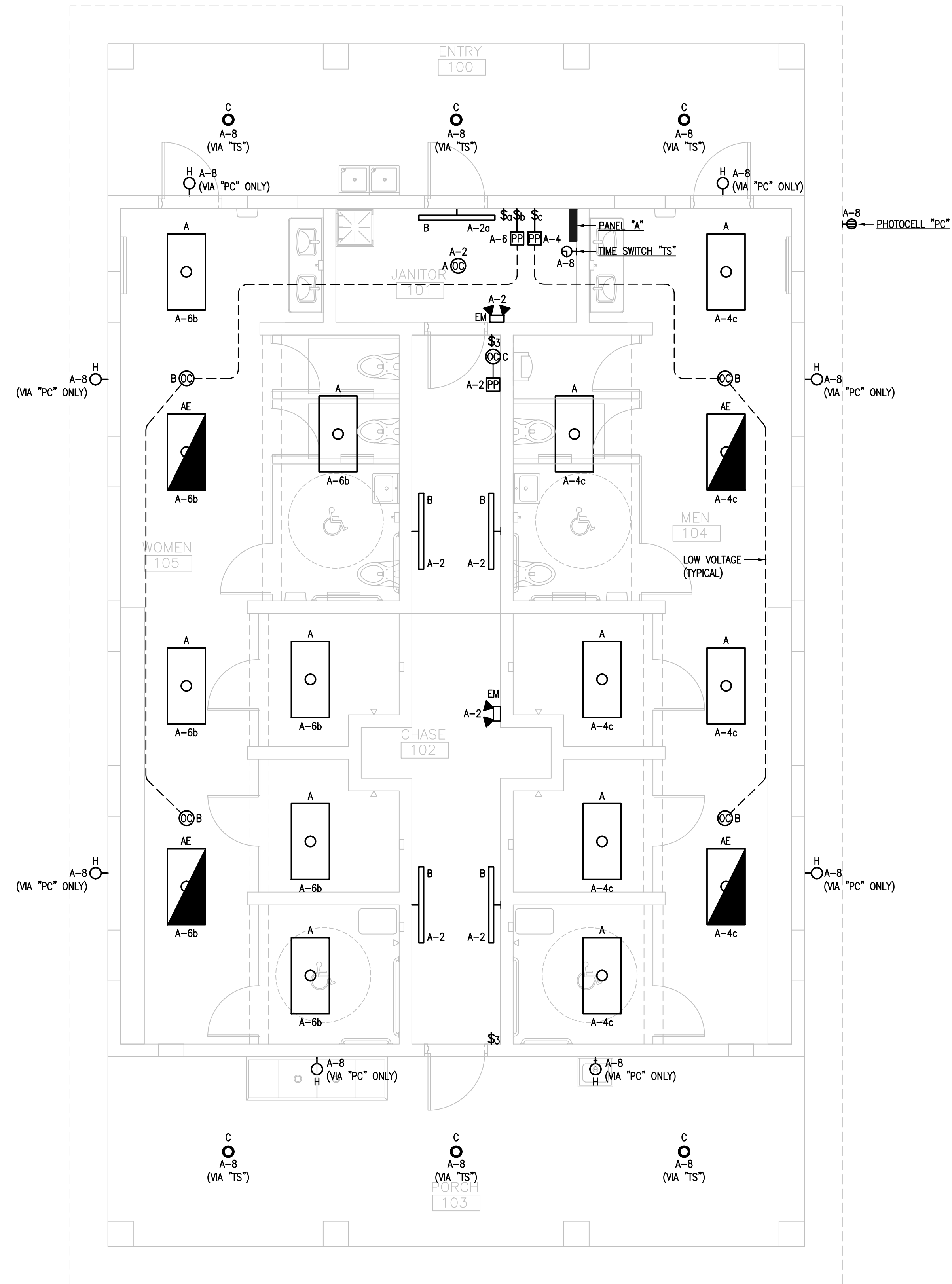
TYPICAL DT-200 OCCUPANCY SENSOR WIRING DIAGRAM



TYPICAL DT-355 OCCUPANCY SENSOR WIRING DIAGRAM



BUILDING EXTERIOR LIGHTING CONTROL WIRING DIAGRAM



1 RESTROOM AND SHOWER FLOOR PLAN - LIGHTING
E-101 1/4" = 1'-0"

GENERAL NOTES

1. REFER TO COMPLETE GENERAL NOTES ON SHEET E-001.
2. COORDINATE EXACT LOCATION OF ALL LIGHTING FIXTURES WITH ARCHITECTURAL REFLECTED CEILING PLAN.
3. CONNECT ALL EMERGENCY FIXTURES, EMERGENCY DRIVERS AND EXIT SIGNS TO LOCAL LIGHTING CIRCUITS AHEAD OF ANY CONTROLS.
4. NUMBERS ON THE PLAN THAT ARE SHOWN NEXT TO DEVICES INDICATE THE CIRCUIT NUMBER FEEDING THAT DEVICE, EXAMPLE - A-2. SEE PANEL SCHEDULE.

WATTSTOPPER LEGEND

- A (C) DT-355, DUAL TECHNOLOGY LINE VOLTAGE CEILING SENSOR, 120VAC, 800 WATTS
- B (C) DT-300, SERIES DUAL TECHNOLOGY CEILING MOUNT SENSOR, 24VDC
- C (C) DT-200, SERIES DUAL TECHNOLOGY WALL MOUNT SENSOR, 24VDC
- FP BZ-50, UNIVERSAL VOLTAGE POWER PACK

OCCUPANCY SENSOR NOTES

1. THE BASIS OF LIGHTING CONTROL FOR THIS PROJECT IS COMPONENTS MANUFACTURED BY WATTSTOPPER, INC. ALL EQUIPMENT SHALL BE LOCATED, INSTALLED AND PROGRAMMED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
2. ADDITIONAL SENSORS MAY BE REQUIRED TO PROVIDE COMPLETE COVERAGE DEPENDING ON PARTITION HEIGHT/PLACEMENT, FURNITURE PLACEMENT, EQUIPMENT HEIGHT/PLACEMENT AND SHELVING HEIGHT/PLACEMENT.
3. LIGHTING CONTROL AND SENSOR LAYOUTS ARE DONE ACCORDING TO CURRENT FLORIDA ENERGY CODE AND FEDERAL ENERGY GUIDELINES UNLESS SPECIFIED OTHERWISE.

ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

BORRELLI + PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIOR
770 VASSAR STREET
ORLANDO, FLORIDA 32818
CONTRACT NO. 17156-CP-17156-001
GENERAL CONTRACTOR: BORGES ASSOCIATES
ELECTRICAL CONTRACTOR: BORGES ASSOCIATES
MECHANICAL CONTRACTOR: BORGES ASSOCIATES
PLUMBING CONTRACTOR: BORGES ASSOCIATES
FLORIDA STATE P.E. NUMBER: 8131

BORGES ASSOCIATES
150 CIRCLE DRIVE, MAITLAND, FL 32751
E-MAIL: INFO@BORGESASSOCIATES.COM
FLORIDA STATE P.E. NUMBER: 8131

FLOOR PLAN LIGHTING

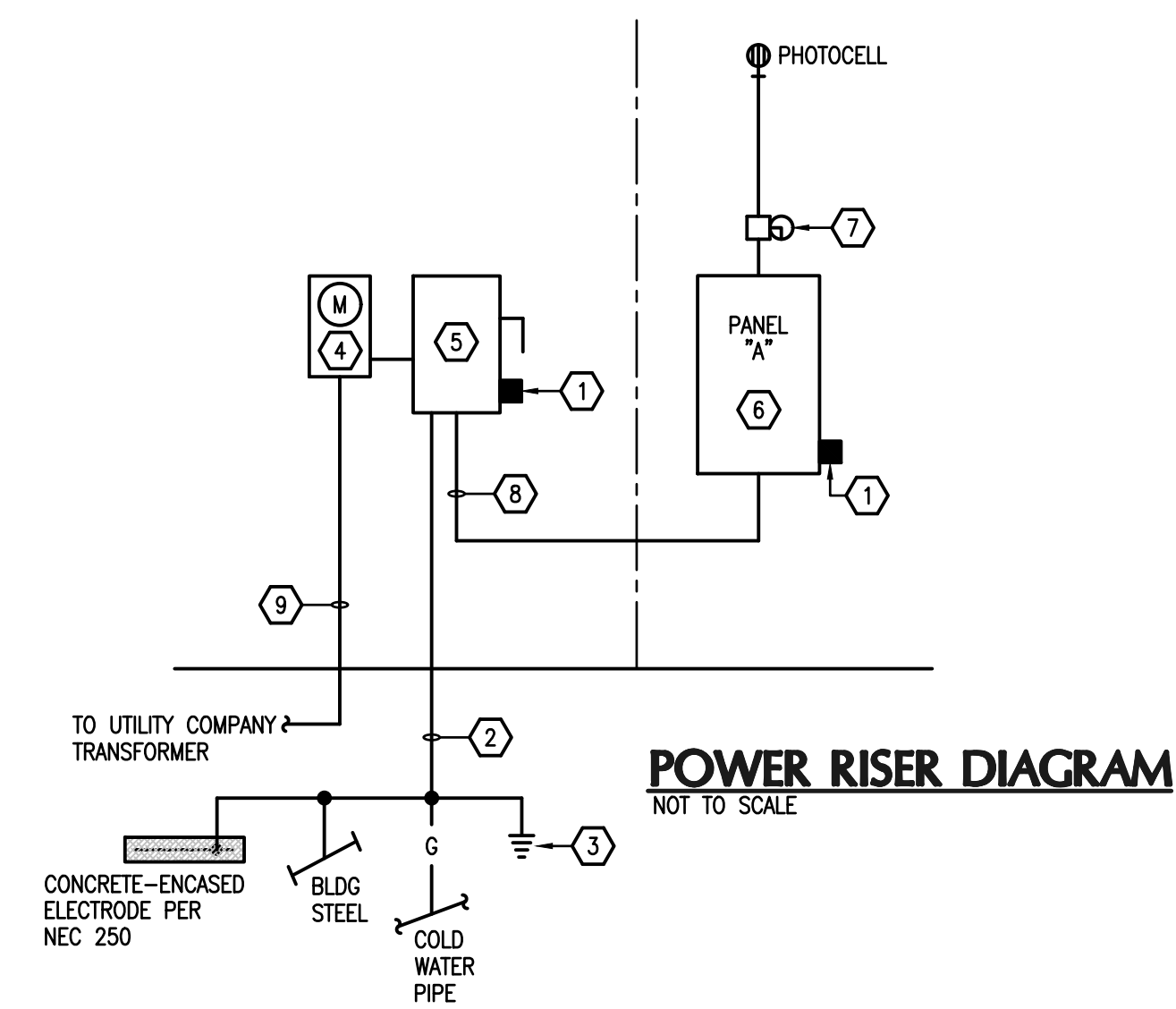
PROJECT NO. 17-109
PHASE PERMIT SET
SCALE AS NOTED
FILE NAME 13-125 E-101
DRAWN BY WMC
CHECKED BY ARJF
DATE 04-29-2018

PROJECT ADDRESS 400 E. KELLY PARK RD.
APPROX. FL. 32712
OWNER NAME AND ADDRESS ORANGE COUNTY PARKS
400 E. SOUTH STREET
5TH FLOOR
ORLANDO, FLORIDA 32801

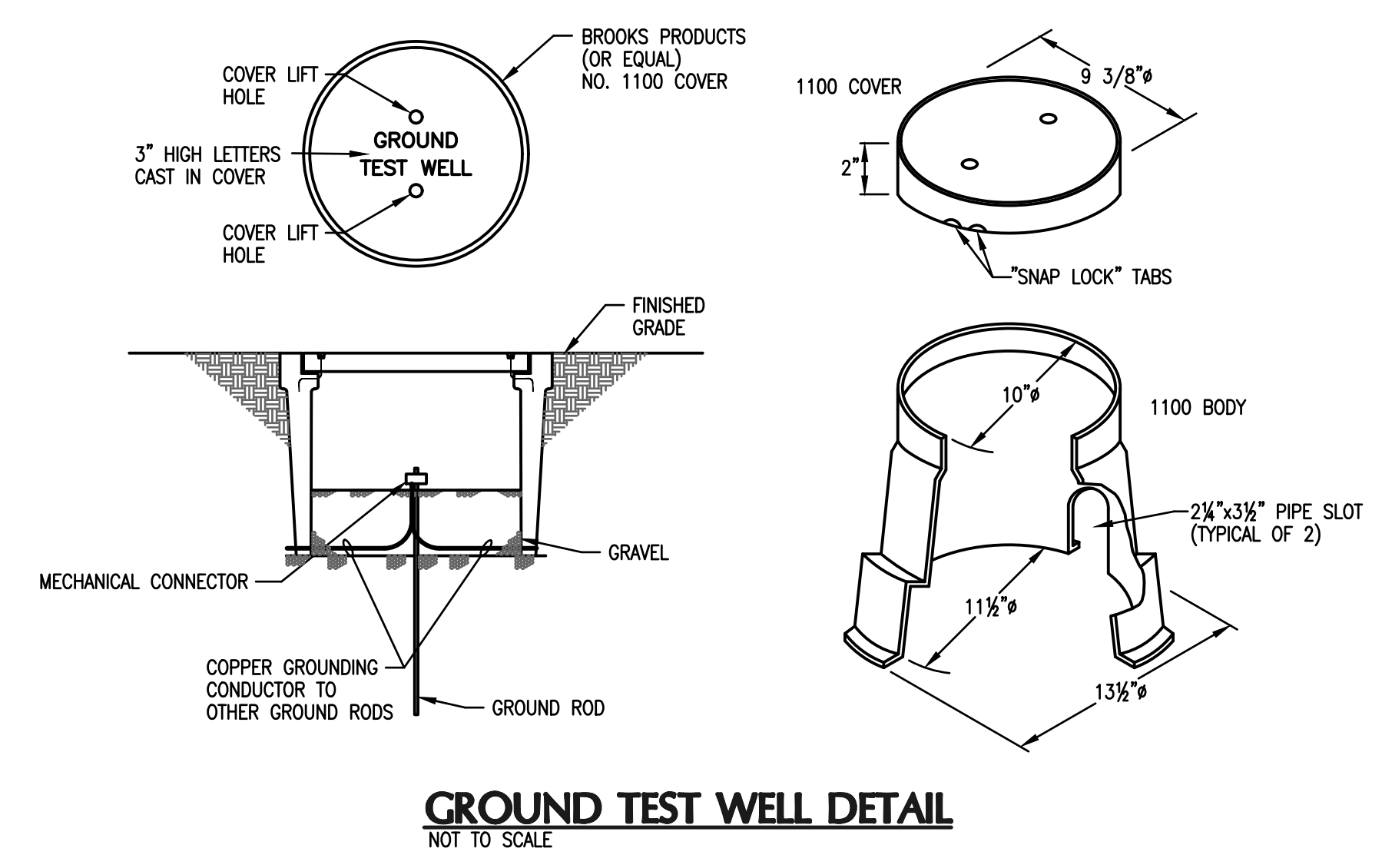
PROJECT NO. 17-109
DATE 04-29-2018
DESCRIPTION RESTROOM AND SHOWER FLOOR PLAN - LIGHTING
REV. 1
DESCRIPTION

E-101

LOAD DESCRIPTION		WATTS/PHASE		BKR		POLE		WATTS/PHASE		LOAD DESCRIPTION		
		PH A	PH B					PH A	PH B			
RECEPTACLES	900			20	1	1	2	1	20	165	LIGHTS - 101,102	
EF-1.1		1656		25	1	3	4	1	20	656	LIGHTS - 104	
HAND DRYER	1500			20	1	5	6	1	20	656	LIGHTS - 105	
HAND DRYER		1500		20	1	7	8	1	20	478	LIGHTS - EXTERIOR	
HAND DRYER	1500			20	1	9	10	1	20	360	TTB	
HAND DRYER		1500		20	1	11	12	1	20	480	FACP, SECURITY PANEL (NOTE 1)	
EWH-1.1 (NOTE 2)	9000			100	2	13	14	1	20	500	EWC-1	
		9000				15	16	X	X		SPACE	
EWH-1.2 (NOTE 2)	9000			100	2	17	18	X	X		SPACE	
		9000				19	20	X	X		SPACE	
SPACE	X			X	X	21	22	X	X		SPACE	
SPACE	X			X	X	23	24	X	X		SPACE	
SPACE	X			X	X	25	26	X	X		SPACE	
SPACE	X			X	X	27	28	2	30	X	SPACE	
SPACE	X			X	X	29	30			X	SURGE PROTECTION DEVICE	
SPACE	X			X	X					X		
PANELBOARD SUB-TOTALS		21900	22656							1681	1614	PANELBOARD SUB-TOTALS
LOAD CALCULATIONS:		CONNECTED LOAD (WATTS)		DEMAND FACTOR		ESTIMATED DEMAND LOAD (WATTS)		NOTES:				
LIGHTING		1955		1.25		2444		1. PROVIDE CIRCUIT BREAKER WITH HANDLE CLAMP. 2. PROVIDE CIRCUIT BREAKER WITH PERMANENT HANDLE LOCK.				
RECEPTACLES (FIRST 10 KW)		900		1.00		900						
RECEPTACLES (REMAINDER)		X		0.50		X						
HVAC (WORST CASE)		1656		1.00		1656						
WATER HEATING		36000		1.00		36000						
KITCHEN		X		0.65		X						
MISCELLANEOUS		7340		1.00		7340						
PANELBOARD TOTALS:		47851W (199A)				48340W (201A)						



- POWER RISER DIAGRAM KEY NOTES**
- 1 PROVIDE AND INSTALL LISTED LIGHTNING ARRESTER ON THE SERVICE FEEDERS AND SURGE SUPPRESSION DEVICE ON THE PANEL ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 - 2 #2 INSULATED COPPER GROUNDING ELECTRODE CONDUCTOR, INSTALL IN 1/2" C.
 - 3 (3) - 3/4" x 10'-0" COPPERCLAD GROUND RODS, INSTALL 10'-0" APART IN A TRIANGLE AND CONNECT GROUND SYSTEM PER NEC ARTICLE 250. PROVIDE GROUND TEST WELL AT EACH GROUND ROD. REFER TO DETAIL.
 - 4 METER AND METER SOCKET, COORDINATE ALL REQUIREMENTS WITH UTILITY COMPANY PRIOR TO BID.
 - 5 PROVIDE AND INSTALL A HEAVY DUTY FUSIBLE DISCONNECT SWITCH, 2P, 400A, NEMA 3R, SERVICE ENTRANCE RATED, WITH 250A FUSES.
 - 6 FOR PANELBOARD INFORMATION SEE PANEL SCHEDULE. VERIFY AIC WITH UTILITY CO. PRIOR TO ORDERING PANEL AND PROVIDE PANEL WITH THE AIC RATING AS REQUIRED.
 - 7 PROVIDE AND INSTALL TIME SWITCH AS SHOWN ON PLANS.
 - 8 2 1/2" C. - 3#250kcmil, 1#4 GND.
 - 9 2 1/2" C. - 3#250kcmil.



ORANGE COUNTY PARKS: KELLY PARK RESTROOM (CP 17156)

		720 VASSAR STREET ORLANDO, FL 32804 (407) 418-1338 <small>CONSTRUCTION DRAWINGS ARE THE PROPERTY OF BOBELL PARTNERS. THESE DRAWINGS ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BOBELL PARTNERS, INC.</small>	
		ALBERTO E. BOBES, P.E. FLORIDA P.E. # 39410	
CONSULTANTS 		SIGNATURE AND DATED SEAL	
DRAWING TITLE PANEL SCHEDULE AND POWER RISER DIAGRAM		PROJECT ADDRESS 400 E. KELLY PARK RD. APOPA, FL 32712 OWNER NAME AND ADDRESS ORANGE COUNTY PARKS 400 E. SOUTH STREET 5TH FLOOR ORLANDO, FLORIDA 32801	
PROJECT NO. 17-109	DATE	REV. #	DESCRIPTION
PHASE PERMIT SET	DATE	REV. #	DESCRIPTION
SCALE NONE	DATE 01-10-2018	REV. #	DESCRIPTION
FILE NAME VWC	DATE 04-09-2018	REV. #	DESCRIPTION
DRAWN BY ABJ	DATE	REV. #	DESCRIPTION
CHECKED BY	DATE	REV. #	DESCRIPTION