

ORANGE COUNTY CONVENTION CENTER  
CAPITAL PLANNING  
9860 UNIVERSAL BLVD  
ORLANDO, FL 32819



ORANGE COUNTY MAYOR  
HONORABLE TERESA JACOBS

COMMISSIONER DISTRICT 1  
BETSY VANDERLEY

COMMISSIONER DISTRICT 2  
BRYAN NELSON

COMMISSIONER DISTRICT 3  
PETE CLARKE

COMMISSIONER DISTRICT 4  
JENNIFER THOMPSON

COMMISSIONER DISTRICT 5  
EMILY BONILLA

COMMISSIONER DISTRICT 6  
VICTORIA P. SIPLIN

OCCC NORTH/SOUTH BUILDING VAULTED ROOFS CAP REPLACEMENT  
9400 UNIVERSAL BLVD  
ORLANDO, FL 32819



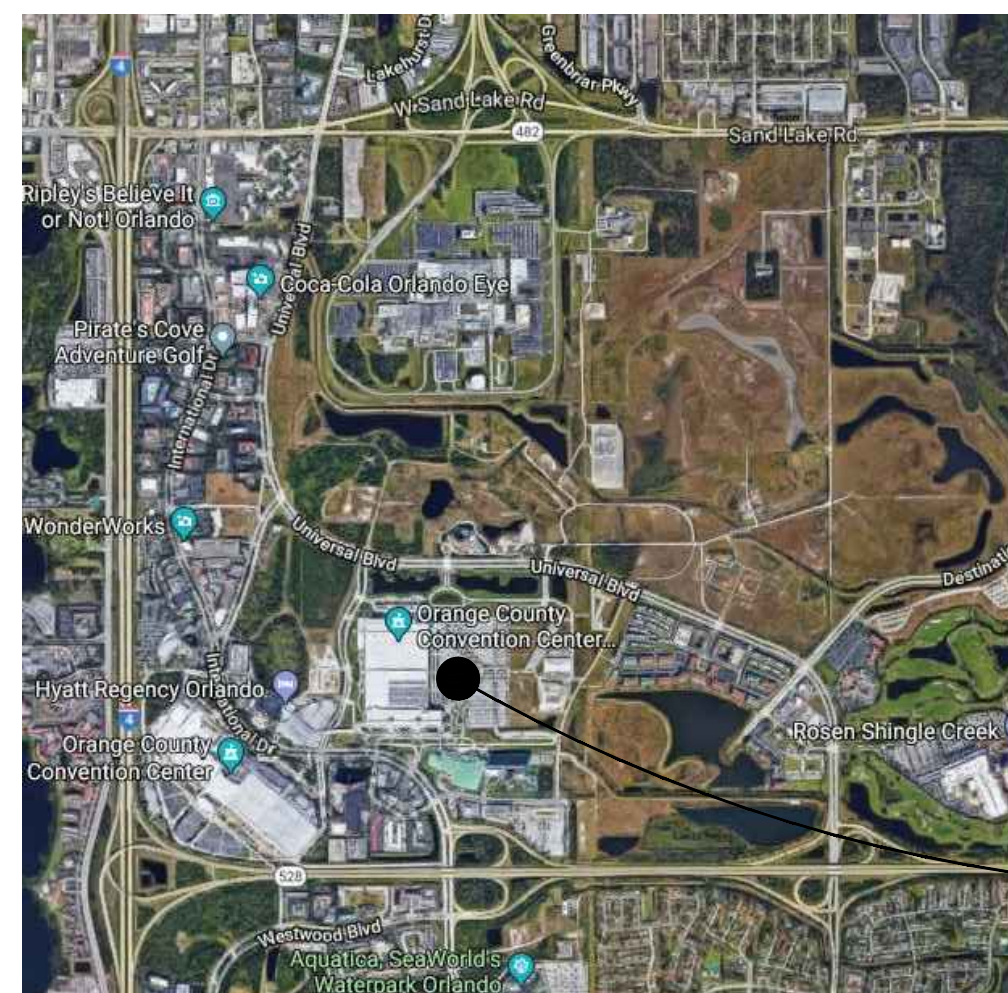
ARCHITECTURAL DESIGN  
COLLABORATIVE

ARCHITECT  
945 N. PENNSYLVANIA AVENUE  
WINTER PARK, FLORIDA 32789  
(407) 629-1188  
CONTACT: AL COOPER



BASE CONSULTANTS

STRUCTURAL ENGINEER  
1214 EAST CONCORD STREET  
ORLANDO, FL 32803  
(407) 377-7227  
CONTACT: LAURA BARBERO-BUFFA



PROJECT  
LOCATION



VICINITY MAP  
N.T.S.



NORTH BUILDING VAULTS  
ORANGE COUNTY  
CONVENTION CENTER  
NORTH/SOUTH BUILDING  
SOUTH BUILDING VAULTS



LOCATION MAP  
N.T.S.

CONSTRUCTION DOCUMENTS  
ISSUED: 05.23.18

## DEMOLITION NOTES

### GENERAL DEMOLITION NOTES:

- 1 REMOVE EXISTING COMPOSITE ALUMINUM FASCIA PANELS AND RELATED CONNECTORS/FASTENERS, SEALANTS, AND/OR UNDERLAYMENT SYSTEM. REPLACE WITH IN KIND NEW PANELS AND UNDERLAYMENT AS INDICATED OR REQUIRED BY THE DRAWINGS, ARCHITECT, ENGINEER, OR OWNER REPRESENTATIVE. EXISTING PANELS HAVE BEEN IN PLACE AND WEATHERING SINCE THE ORIGINAL BUILDING CONSTRUCTION DATE. PROVIDE COLOR SAMPLES FOR A&E/OCCC TEAM REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. PROVIDE ARCHITECT WITH AS-BUILT DRAWINGS OF FINAL INSTALLATION FOR RECORD PURPOSES. CONTRACTOR IS NOTIFIED THAT NOT ALL EXISTING CONDITIONS MAY HAVE BEEN INDICATED ON THE DRAWINGS AND THAT SOME FIELD DISCOVERY WILL BE REQUIRED. CONTRACTOR IS REQUIRED TO VISIT SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO DETERMINING THE SCOPE OF WORK TO BE ACCOMPLISHED AS PART OF HIS/HER BID.
- 2 THE WORK SHALL INCLUDE THE FURNISHING OF ALL MATERIALS, CUTTING, EXTENDING, CONNECTING, REPAIRING, ADAPTING, AND OTHER COINCIDENTAL WORK TOGETHER WITH SUCH TEMPORARY INSTALLATIONS AS MAY BE NECESSARY TO SATISFY THE DEMOLITION PROGRAM OR TO PROVIDE WATERPROOFING/WEATHERPROOFING. APPROVAL SHALL BE SECURED FROM THE OWNER/PROJECT MANAGER, ENGINEER PRIOR TO CUTTING/DRILLING ANY STRUCTURAL SUPPORT.
- 3 ALL BUILDING CONSTRUCTION AFFECTED BY THE REMOVAL, RELOCATION, INSTALLATION OF ANY COMPONENT SHALL BE REPAIRED AND FINISHED AS REQUIRED TO MATCH EXISTING CONDITION OR AS DIRECTED BY THE ARCHITECTURAL DRAWINGS, SPECIFICATIONS, ENGINEER, OR PROJECT MANAGER. GC SHALL EMPLOY METHODS, PRACTICES, AND TECHNIQUES TO PROTECT EXISTING ROOF MATERIALS AND CONSTRUCTION AND EXISTING WINDOW SYSTEMS.
- 4 WHEN ELECTRICAL DEVICES, PLUMBING, FIRE SYSTEM, OR OTHER FORM OF BUILDING SYSTEM ARE DISCOVERED PRESENT IN THE WORK AREA, PARTITIONS, OR STRUCTURE THE GC SHALL PROMPTLY NOTIFY THE OC PROJECT MANAGER, ARCHITECT, OR ENGINEER BEFORE PROCEEDING.
- 5 REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR WORK TO BE PERFORMED INVOLVING ANY PORTION OF THE STRUCTURE INCLUDING REMOVAL OR ADDITION OF MATERIALS AND/OR SYSTEMS.
- 6 GC SHALL DEMOLISH ANY FINISHES TO COMPLETE THE NECESSARY AND PROPOSED WORK AS DIRECTED BY THE ARCHITECTURAL OR STRUCTURAL DRAWINGS, SPECIFICATIONS, OR BY THE OC PROJECT MANAGER. IF INTERIOR FINISHES ARE DAMAGED DURING CONSTRUCTION ALL NECESSARY REPAIRS SHALL BE MADE TO RETURN THE AFFECTED AREA(S) TO LIKE NEW CONDITION.
- 7 EXISTING FIXTURES, EQUIPMENT, AND ALL DEBRIS WHICH ARE REQUIRED TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE WITH OC PROJECT MANAGER PRIOR TO REMOVAL.
- 8 ANY BUILDING SYSTEM THAT REQUIRES REMOVAL OR ALTERATION IS TO BE DONE BY THE GC INCLUDING LINES TO BE CAPPED AND PREPARED FOR REMOVAL OR RE-ROUTING AS REQUIRED.
- 9 REMOVE ALL UTILITIES IN DEMOLITION AREAS AND CONSTRUCTION AREAS IN A MANNER, AND IN THE TIME, SATISFACTORY TO THE UTILITY COMPANY. IF UTILITY COMPANY DESIRES TO EFFECT THE REMOVAL OF THE MATERIALS, THEY SHALL BE PERMITTED TO DO SO.
- 10 COVER ITEMS AS SPECIFIED BY OWNER/PROJECT MANAGER TO PROTECT FROM DUST AND DEBRIS.
- 11 SALVAGED MATERIALS SHALL BE REMOVED, CLEANED, AND PREPARED FOR RE-INSTALLATION. OWNER MAINTAINS OWNERSHIP OF ALL MATERIALS UNLESS OTHERWISE SPECIFIED.
- 12 WHERE EXISTING WALLS, CEILINGS, AND FIXTURES HAVE BEEN REMOVED, AREAS SHALL BE PATCHED TO MATCH EXISTING FINISHES, OR FINISHES TO BE ADDED AS PER PLANS, INTERIOR DESIGNER, OR AS PER OWNER.
- 13 WHERE EXISTING WORK IS DAMAGED IN THE EXECUTION OF THIS CONTRACT, OR WHERE OPENINGS ARE LEFT DUE TO THE REMOVAL OF PANELS, BUILDING SYSTEMS OR APPARATUS, THE SAME SHALL BE REPAIRED OR CLOSED TO CORRESPOND IN MATERIAL, QUALITY, SHAPE AND FINISH WITH THAT OF SIMILAR AND ADJOINING WORK, UNLESS OTHERWISE CALLED FOR. WHERE DAMAGE IS IRREPARABLE, NEW ITEMS OR COMPONENTS SHALL BE PROVIDED. GC SHALL PROVIDE ALL NECESSARY WATERPROOFING, FIRE STOPPING AND SEALING OF PENETRATIONS THAT ARE REQUIRED BY CODES AND STANDARDS IN EFFECT DURING THE CONSTRUCTION PROCESS.

## DEMOLITION NOTES CONT.

- 14 INTERRUPTION OF THE EXISTING OPERATIONS OF FACILITIES SHALL BE KEPT TO A MINIMUM. THE GC SHALL FURNISH ALL MATERIALS REQUIRED TO MAINTAIN CONTINUITY OF BUILDING OPERATIONS. INTERRUPTION OF EXISTING OPERATIONS: THE NEW WORK SHALL BE DONE ONLY AT SUCH TIMES AS PERMITTED AND SCHEDULED IN ADVANCE WITH THE OWNER AND WITHOUT ADDITIONAL COST. CARE MUST BE USED IN REMOVING DEBRIS FROM AREAS BEING DEMOLISHED SO THAT OPERATIONS IN OTHER AREAS OF THE BUILDING WHICH MIGHT BE SERVED THROUGH THE AREAS UNDER CONSTRUCTION/REPAIR WILL NOT BE INTERRUPTED.
- 15 WHERE DEMOLITION WORK REQUIRES TEMPORARY INTERRUPTION OF ELECTRICAL, TELEPHONE, TV, ALARM OR COMMUNICATION SERVICES, RESPECTIVE UTILITIES AND/OR COMPANY REPRESENTATIVES SHALL BE NOTIFIED AS NECESSARY, AND ALL WORK DONE SHALL BE UNDER SUPERVISION AND IN COMPLIANCE WITH CODES AND ESTABLISHED STANDARDS.
- 16 ALL LIGHTING FIXTURES, RECEPTACLES, SWITCHES, WIRING DEVICES, SPECIAL OUTLETS, TELEPHONE CABLES, TV CABLES, MISCELLANEOUS SYSTEM WIRING, POWER CONDUCTORS, CONDUITS, ELECTRICAL BOXES, RACEWAYS AND ANY OTHER ELECTRICAL SYSTEM COMPONENTS LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED SHALL BE REMOVED UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR BE RELOCATED. CONDUITS RUNNING IN FINISHED AREAS SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER CONDUCTORS ARE REMOVED. NO WIRING SHALL BE LEFT ABANDONED AFTER WORK IS COMPLETED.
- 17 ALL DEMOLITION, RENOVATION, AND CONSTRUCTION TO COMPLY WITH CURRENT NFPA REQUIREMENTS.
- 18 DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.
- 19 THE GC SHALL THOROUGHLY INVESTIGATE EXISTING CONDITIONS INCLUDING GENERAL PLAN LAYOUT/CONFIGURATION AND EXISTING STRUCTURAL COMPONENTS VISIBLE OR CONCEALED IN WALL AND/OR ABOVE CEILING, THAT COULD IMPACT THE WORK. THE GC SHALL FIELD VERIFY EXISTING DIMENSIONS, MATERIALS AND METHODS OF CONSTRUCTION, AND STRUCTURE, AND COORDINATE EACH WITH THE CONTRACT DOCUMENTS. THE GC SHALL NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS PRIOR TO COMMENCING WORK.

## PROJECT INFORMATION

### APPLICABLE CODES

FLORIDA BUILDING CODE - 6th EDITION 2017  
FLORIDA BUILDING CODE - EXISTING BUILDING- 6th EDITION 2017

ORANGE COUNTY FLORIDA JURISDICTION

### NOTE:

THE EXISTING BUILDING IS PRIMARILY AN ASSEMBLY OCCUPANCY. THE SCOPE OF THIS PROJECT IS EXTERIOR WORK. THERE IS NO IMPACT TO EXISTING OCCUPANCY CLASSIFICATION, MEANS OF EGRESS, CONSTRUCTION TYPE, OR TO EXISTING INTERIOR FUNCTIONS.

## SCOPE

### VAULT AREAS, PANEL REPLACEMENT, AND TESTING:

THE PROJECT IS LOCATED AT THE ORANGE COUNTY CONVENTION CENTER, NORTH/SOUTH BUILDING, EXTERIOR, ROOF LEVEL. THE PROJECT SCOPE IS TO REPLACE COMPOSITE ALUMINUM PANELS THAT WERE TORN FROM THE FACE OF THE EXISTING SOUTH B, ROOF VAULT DURING HURRICANE IRMA AND AS DISCOVERED THROUGH TESTING TO BE IN NEED OF REPLACEMENT. THE REPLACEMENT PROCESS WILL IMPACT AT A MINIMUM, THREE PANELS ON ONE OF THE FOUR EXISTING ROOF VAULTS; THE EASTERNMOST VAULT ON THE SOUTH BUILDING OR SOUTH B, VAULT 1.

THERE ARE FOUR VAULT AREAS; TWO ON THE NORTH BUILDING AND TWO ON THE SOUTH BUILDING. THE NORTH BUILDING EAST VAULT IS "NORTH B" AND THE WEST VAULT IS "NORTH A". CONVERSELY THE SOUTH BUILDING EAST VAULT IS " SOUTH B" AND THE WEST VAULT IS "SOUTH A".

THERE IS A TOTAL OF TWENTY VAULTS OR FIVE VAULTS PER VAULT AREA.

THE VAULTS AND PANELS ARE NUMBERED AND LETTERED IN THE DRAWINGS ON SHEET A03.01. THE SMALLEST VAULT HAS 4 PANELS, THE TWO NEXT LARGEST VAULTS HAVE SIX PANELS EACH. THE NEXT LARGEST VAULT HAS 8 PANELS AND THE LARGEST VAULT HAS TWELVE PANELS. THERE ARE 36 PANELS PER VAULT AREA FOR A TOTAL OF 144 PANELS.

### THE PROJECT PROCESS: OCCURS ONLY AT SOUTH B

1. CONTRACTOR REMOVES THREE DAMAGED PANELS AT SOUTH B, ARCH 1 (HIGHEST ARCH).
2. CONTRACTOR PROVIDES AND INSTALLS NEW PANELS TO REPLACE THE DAMAGED PANELS ON THOSE THREE LOCATIONS.
3. CONTRACTOR PROVIDES AND INSTALLS THE NEW BENT PLATES (DETAIL 3/S-101), IN ALL OF THE PANELS AT ALL THE VAULTS OF SOUTH B.
4. CONTRACTOR RE-INSTALLS THE ROUNDED CAP AT ALL THE VAULTS OF SOUTH B.

### ALL VAULTS AT SOUTH A, NORTH A, AND NORTH B:

1. CONTRACTOR REMOVES ROUNDED CAPS AT ALL OF THE FIVE VAULTS AT SOUTH A, NORTH A, AND NORTH B.
2. CONTRACTOR INSTALLS THE NEW BENT PLATES (DETAIL 3/S-101) IN ALL THE PANELS AT ALL THE VAULTS OF SOUTH A, NORTH A, AND NORTH B.
3. CONTRACTOR RE-INSTALLS ALL THE ROUNDED CAPS AT ALL THE VAULTS OF SOUTH A, NORTH A, AND NORTH B.
4. UNIVERSAL ENGINEERING PERFORMS THE "PULL TEST" ON ALL PANELS AT ALL THE VAULTS OF ALL THE SIDES; NORTH A, NORTH B, SOUTH A, AND SOUTH B.

NEW COMPOSITE ALUMINUM FASCIA PANELS WILL BE FABRICATED TO REPLACE MISSING PANELS AND A NEW ATTACHMENT METHOD HAS BEEN DESIGNED. SEE SHEET S-101.

NEW PANELS WILL BE INSTALLED OVER A NEW UNDERLAYMENT SYSTEM OF DENSGLASS AND BUILDING WRAP IN KEEPING WITH THE EXISTING SYSTEM. THE SCOPE IS A REPAIR/REPLACEMENT PROCESS. THE EXISTING ROOF VAULTS ARE NOT BEING EXPANDED OR ALTERED EXCEPT TO AFFECT REPAIRS. THIS IS PRIMARILY AN EXTERIOR REPAIR PROJECT WITH BOTH WEATHERPROOFING AND AESTHETIC IMPLICATIONS.

ADDITIONAL WORK REQUIRED THAT WOULD ALTER THE PRESENTED SCOPE OF WORK SHALL BE SUBJECT TO A REVISION OF THESE DOCUMENTS AND MAY BE REQUIRED TO BE REVIEWED BY THE BUILDING DEPARTMENT HAVING JURISDICTION.

## DRAWING INDEX

### ARCHITECTURAL

---	COVER SHEET
A00.00	INDEX AND PROJECT INFORMATION
A00.10	GENERAL NOTES
A01.01	OVERALL KEY PLAN
A01.02	EXISTING CONDITIONS AND KEY PLAN
A02.01	EXTERIOR ELEVATIONS
A03.01	VAULT PANEL IDENTIFICATION

### STRUCTURAL

S-101	GENERAL NOTES AND DETAILS
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945 N. PENNSYLVANIA AVENUE  
WINTER PARK, FLORIDA 32789  
OFFICE: (407) 629-1188  
FAX: (407) 385-1220  
WWW.ADCINTERNATIONAL.NET

STATE OF FLORIDA  
ALBERT JOSEPH COOPER III, R.A.  
Architect • Seal/Signature

AA-C001315  
AR-0010460

### Project Documents for:



Project:  
OCCC North/South Building Vaulted Roofs Cap Replacement  
ORANGE COUNTY CONVENTION CENTER  
9400 UNIVERSAL BLVD.  
ORLANDO, FL 32819

Issue	Date & Issue Description	Drawn By	Checked By
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ARCHITECTURE  
• PLANNING  
• INTERIOR DESIGN  
• SPACE PLANNING

### Client Information

CAPITAL PLANNING

Project Number	Issue Date
17290	03/22/2018
Drawn By	Project Status
AJC	CONSTRUCTION DOCUMENTS
Checked By	Scale
KA	NTS

### File Name

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### Consultant • Seal/Signature


### Sheet Title:

INDEX AND PROJECT INFORMATION

**A00.00**



Project Documents for:



Project:  
OCCC North/South Building Vaulted Roofs Cap Replacement  
ORANGE COUNTY CONVENTION CENTER  
9400 UNIVERSAL BLVD.  
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Issue	Date & Issue Description	Drawn By	Checked By

- SPACE PLANNING
- INTERIOR DESIGN
- PLANNING

Client Information  
CAPITAL PLANNING

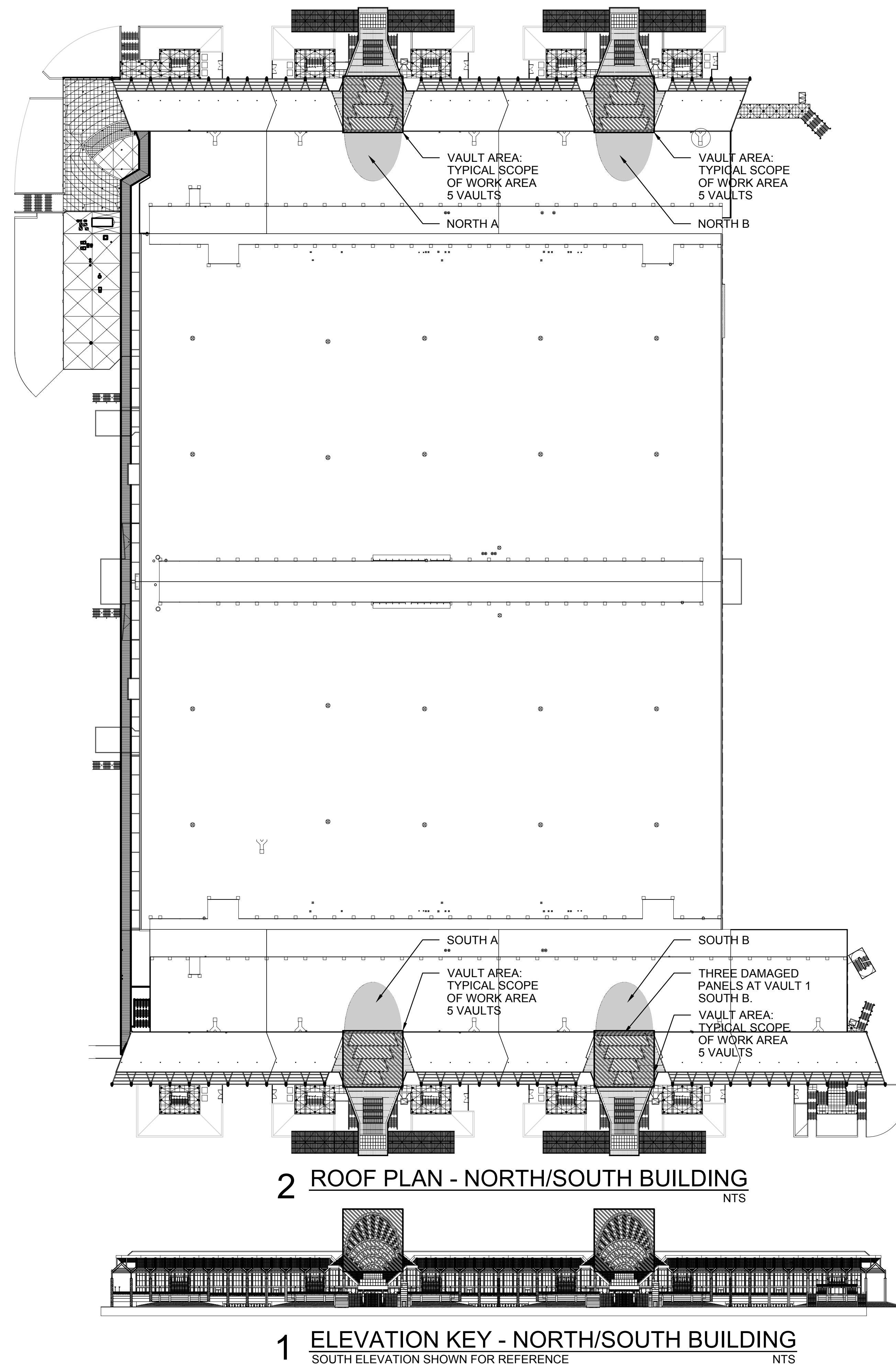
Project Number	Issue Date
17290	03/22/2018
Drawn By AJC	Project Status CONSTRUCTION DOCUMENTS
Checked By KA	Scale NTS

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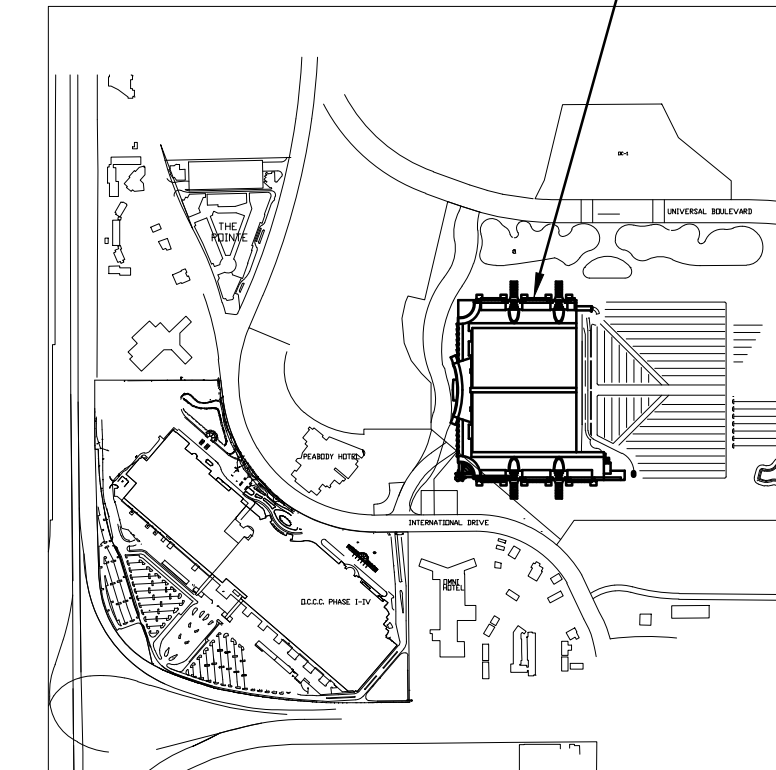
OVERALL KEY PLANS



NOTE:  
DRAWINGS ARE PRESENTED FOR GRAPHIC PURPOSES ONLY AND AS A KEY PLAN/ELEVATION FOR REFERENCE OF LOCATION AND GENERAL AESTHETIC.

**SITE KEY**

ORANGE COUNTY CONVENTION CENTER NORTH/SOUTH BUILDING



**SHEET NOTES**

- REFER TO SHEET A01.02 FOR ADDITIONAL DETAILED NOTES.
- REFER TO SHEET A03.01 FOR VAULT AND PANEL IDENTIFICATION DRAWINGS.

**A01.01**



Project Documents for:



Project:  
OCCC North/South Building Vaulted Roofs Cap Replacement  
ORANGE COUNTY CONVENTION CENTER  
9400 UNIVERSAL BLVD.  
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Issue Date & Issue Description Drawn By Checked By

PLANNING			
ARCHITECTURE			
INTERIOR DESIGN			
MECHANICAL			
ELECTRICAL			
PLUMBING			
CLIENT INFORMATION			

Client Information  
CAPITAL PLANNING

Project Number	17290	Issue Date	03/22/2018
Drawn By	AJC	Project Status	CONSTRUCTION DOCUMENTS
Checked By	KA	Scale	NTS

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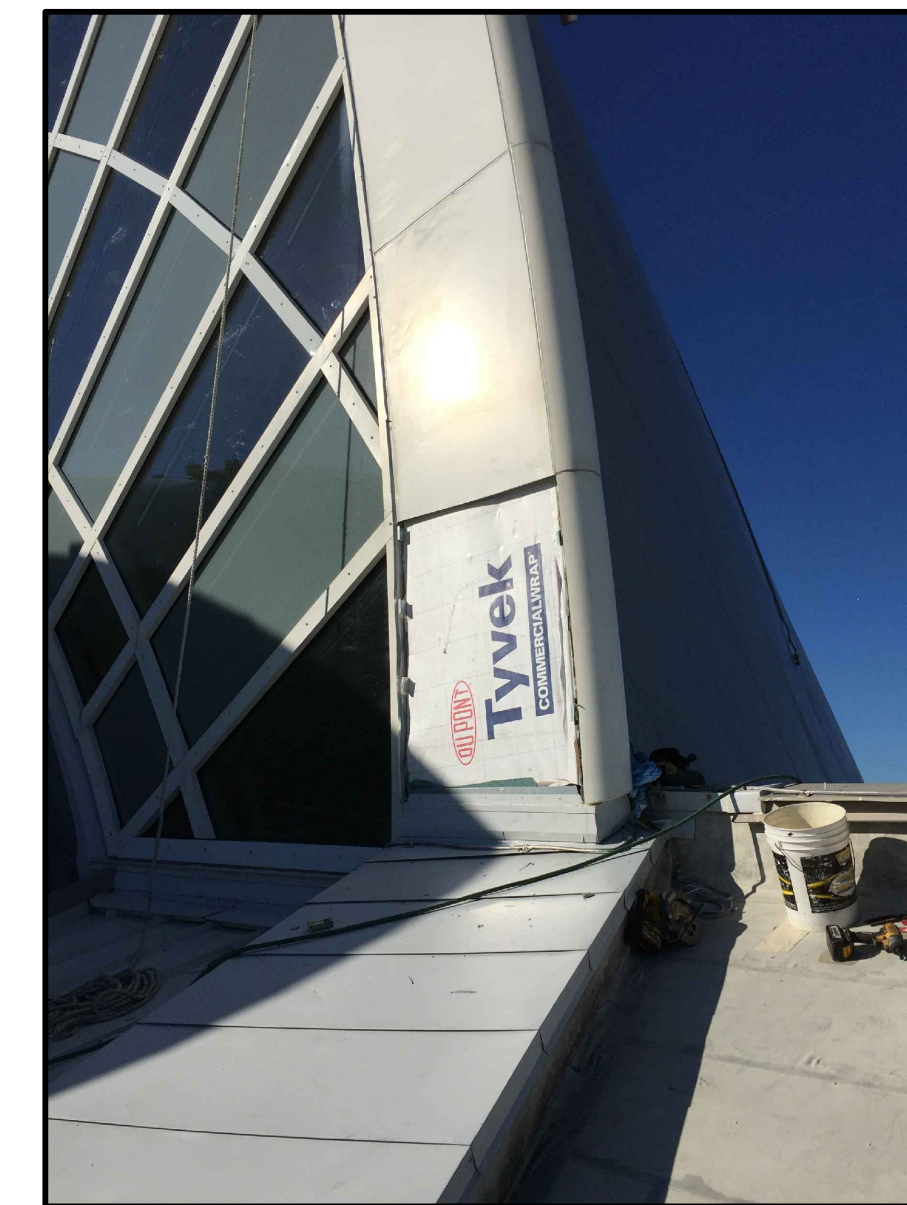


3 SOUTH BUILDING - EAST VAULT OR SOUTH B  
A01.01 VIEW LOOKING NORTH NTS



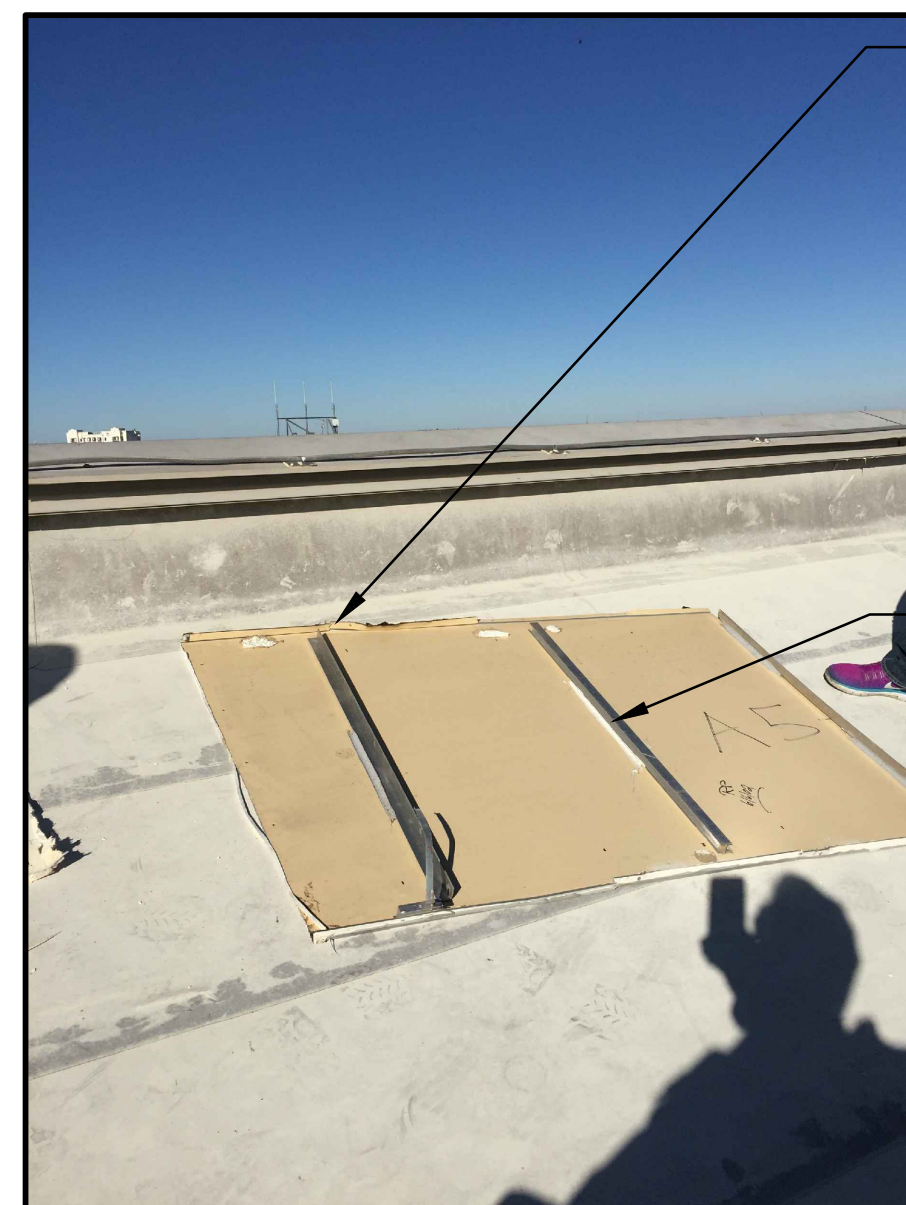
2 SOUTH BUILDING - EAST VAULT OR SOUTH B  
A01.01 VIEW LOOKING WEST NTS

THE COMPOSITE ALUMINUM FASCIA PANELS AT THE APEX OF SOUTH B VAULT 1 (IN THE EASTERMOST LOCATION ON THE SOUTH BUILDING) WERE TORN AWAY DURING HURRICANE IRMA. THE ALUMINUM FASCIA PANELS AND UNDERLAYMENT SYSTEM WILL BE REPLACED WITH NEW MATERIAL AND FASTENERS.



1 SOUTH BUILDING - EAST VAULT OR SOUTH B  
A01.01 VIEW LOOKING NORTH NTS

A PORTION OF THE COMPOSITE ALUMINUM FASCIA PANEL AT THE BASE OF SOUTH B VAULT 1 (IN THE EASTERMOST LOCATION ON THE SOUTH BUILDING) WAS REMOVED TO INVESTIGATE THE ORIGINAL FASTENING/CONNECTION METHOD.  
FINDINGS:  
THE COMPOSITE ALUMINUM FASCIA PANELS ARE ATTACHED TO ALUMINUM "Z" CLIPS WITH POP RIVETS. THE "Z" CLIPS ARE SCREWED TO METAL TRACK THAT IN TURN ARE FASTENED TO HEAVIER STEEL STRUCTURE. EDGE CONDITIONS ARE CAULKED CONTINUOUSLY. THE FASCIA PANELS ARE INSTALLED OVER AN UNDERLAYMENT SYSTEM OF TYVEK BUILDING WRAP OVER DENSGLASS.



6 SOUTH BUILDING - EAST VAULT OR SOUTH B  
A01.01 VAULT STARTING PANEL BACKSIDE - STIFFENERS NTS

VIEW OF THE PORTION OF THE COMPOSITE ALUMINUM FASCIA PANEL THAT WAS REMOVED AT THE BASE OF THE VAULT FOR INSPECTION PURPOSES. NOTE THE BEND ON EACH SIDE OF THE COMPOSITE ALUMINUM PANEL THAT FORMS AN EDGE USED FOR FASTENING THE PANEL TO THE "Z" CLIPS ALONG THE EDGES OF THE PANEL. THE BEND FORMS A LEG OF APPROXIMATELY 1".

VIEW OF THE PORTION OF THE COMPOSITE ALUMINUM FASCIA PANEL THAT WAS REMOVED AT THE BASE OF THE VAULT FOR INSPECTION PURPOSES. NOTE THE APPLICATION OF METAL STIFFENER RIBS ADHERED TO THE BACK OF THE COMPOSITE PANEL AND THE "Z" CLIP ALONG THE EDGE OF THE PANEL THAT REMAINED ATTACHED TO THE PANEL EDGE AFTER REMOVAL. "Z" CLIPS ARE POP RIVETED TO THE PANEL LEGS WITH TWO RIVETS PER "Z" CLIP.



5 SOUTH BUILDING - EAST VAULT OR SOUTH B  
A01.01 VAULT STARTING PANEL BACKSIDE - STIFFENERS NTS



4 SOUTH BUILDING - EAST VAULT OR SOUTH B  
A01.01 VAULT STARTING PANEL VIEW LOOKING NORTH NTS

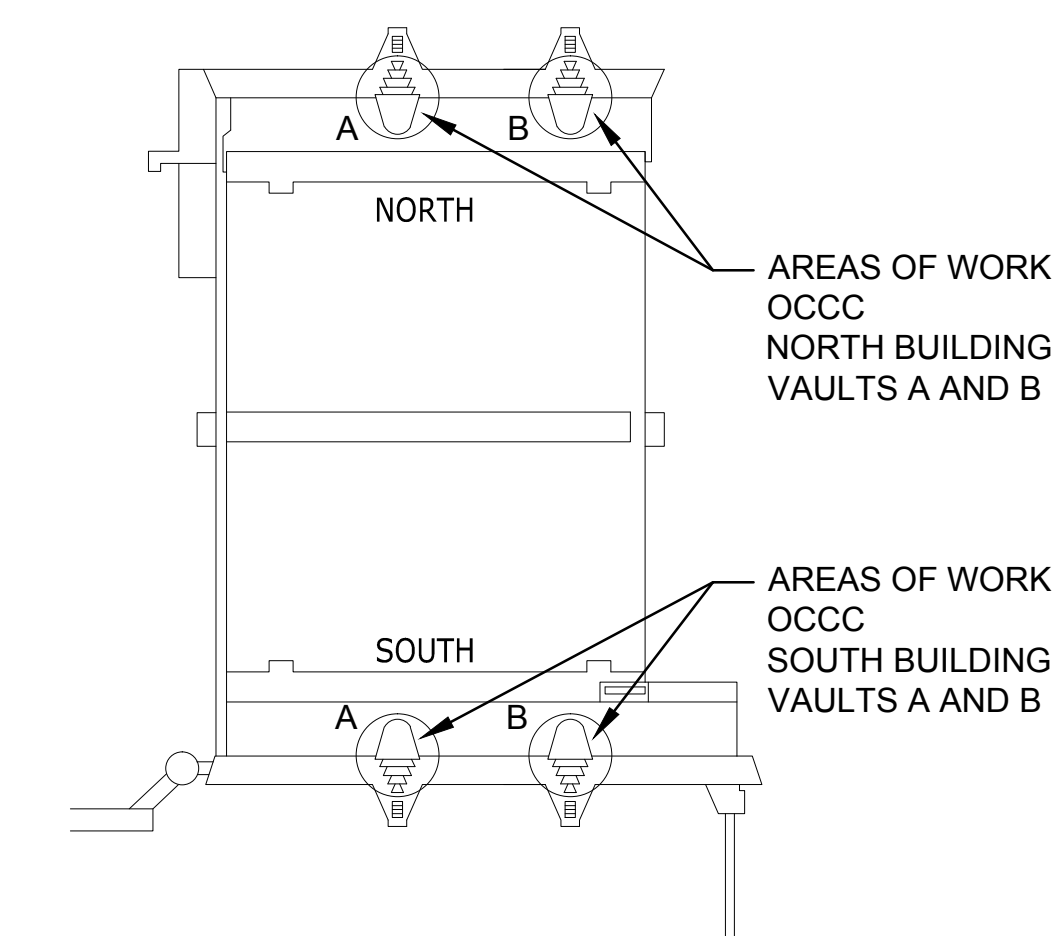
DETAIL VIEW OF THE UNDERLYING CONDITION BEHIND THE COMPOSITE ALUMINUM FASCIA PANEL AT THE BASE OF SOUTH B VAULT 1 (IN THE EASTERMOST LOCATION ON THE SOUTH BUILDING) THAT WAS REMOVED TO INVESTIGATE THE ORIGINAL FASTENING/CONNECTION METHOD.  
NOTE THE ALUMINUM "Z" CLIPS. THE "Z" CLIPS ARE SCREWED TO METAL TRACK THAT IN TURN ARE FASTENED TO HEAVIER STEEL STRUCTURE. EDGE CONDITIONS ARE CAULKED CONTINUOUSLY. THE UNDERLAYMENT SYSTEM OF TYVEK BUILDING WRAP OVER DENSGLASS IS VISIBLE.

PICTURES OF EXISTING CONDITIONS

SHEET NOTES

- A. MANUFACTURE AND INSTALL NEW COMPOSITE ALUMINUM PANELS AND REPLACE MISSING/DAMAGED COMPOSITE ALUMINUM PANELS. NUMBER OR OTHERWISE IDENTIFY REPLACEMENT PANELS WITH METHOD INDICATED ON SHEET A03.01 OR ALTERNATE METHOD ACCEPTABLE TO THE OCCC PROJECT MANAGER.
- B. PROTECT EXISTING ROOF AND ROOF ACCESSORIES, LIGHTING, GLAZING, AND OTHER BUILDING SYSTEMS DURING CONSTRUCTION INCLUDING EXISTING COMPOSITE ALUMINUM PANELS.
- C. CONTRACTOR TO RESTORE TO LIKE NEW CONDITION ANY ROOFING, BUILDING SYSTEM, GLAZING SYSTEM, PANEL, ETC. DAMAGED DURING CONSTRUCTION OR AFFECTED BY NEW CONSTRUCTION.
- D. USE FALL ARREST METHODS, TOOL TIE OFF METHODS, AND/OR TECHNIQUES AND COMPLY WITH OSHA STANDARDS THROUGHOUT THE CONSTRUCTION PERIOD.
- E. CONSIDER AND EMPLOY NOISE REDUCTION TECHNIQUES WHEN APPROPRIATE AS THE BUILDING COULD BE IN USE DURING CONSTRUCTION. COORDINATE WITH OCCC PROJECT MANAGER.
- F. GC TO COORDINATE ALL DISCIPLINES TO MEET CONSTRUCTION DEADLINES. COORDINATE ACCESS TO BUILDING AS NEEDED WITH OCCC PROJECT MANAGER.
- G. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR COMPOSITE ALUMINUM PANEL ATTACHMENT DETAILS AND STRUCTURAL NOTES.
- H. REFER TO PROJECT MANUAL/SPECIFICATIONS FOR MORE INFORMATION.


KEY PLAN



Sheet Title:  
EXISTING CONDITIONS AND KEY PLAN

**A01.02**

Project Documents for:



Project:  
OCCC North/South Building Vaulted Roofs Cap Replacement  
ORANGE COUNTY CONVENTION CENTER  
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Issue	Date & Issue Description	Drawn By	Checked By

Client Information  
CAPITAL PLANNING

Project Number	Issue Date
17290	03/22/2018
Drawn By	Project Status
AJC	CONSTRUCTION DOCUMENTS
Checked By	Scale
KA	VARIABLES

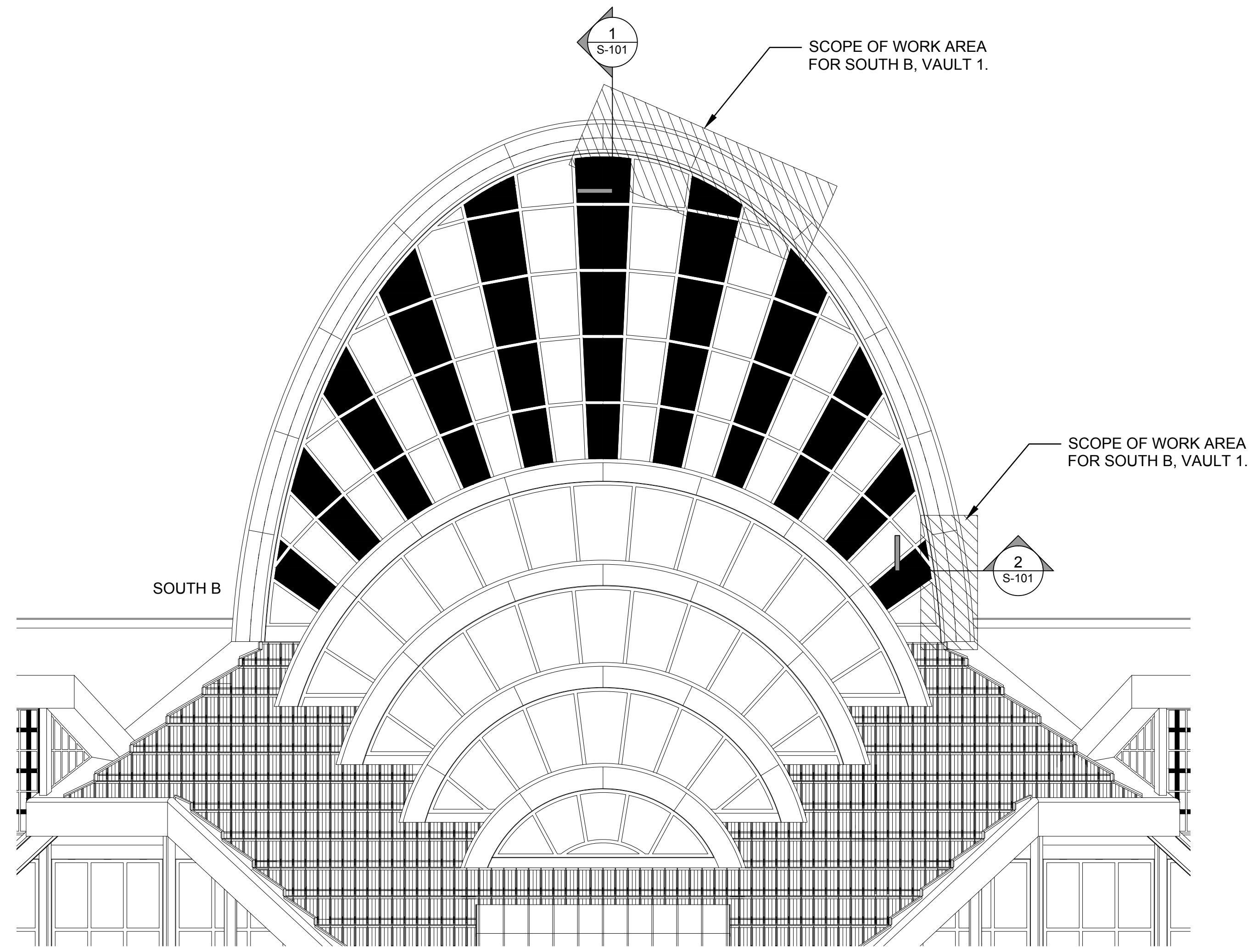
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Sheet Title:  
EXTERIOR ELEVATIONS



**3 PHOTO - SOUTH B - VAULT 1**  
EASTERNMOST VAULT ON THE SOUTH BUILDING NTS



**2 ELEVATION - SOUTH B - VAULT 1**  
PANEL REPAIR/REPLACEMENT AT SOUTH B - VAULT 1 SCALE: 3/32" = 1'-0"

**VAULT AREAS, PANEL REPLACEMENT, AND TESTING:**  
THE PROJECT IS LOCATED AT THE ORANGE COUNTY CONVENTION CENTER, NORTH/SOUTH BUILDING, EXTERIOR, ROOF LEVEL. THE PROJECT SCOPE IS TO REPLACE COMPOSITE ALUMINUM PANELS THAT WERE TORN FROM THE FACE OF THE EXISTING SOUTH B, ROOF VAULT DURING HURRICANE IRMA AND AS DISCOVERED THROUGH TESTING TO BE IN NEED OF REPLACEMENT. THE REPLACEMENT PROCESS WILL IMPACT AT A MINIMUM, THREE PANELS ON ONE OF THE FOUR EXISTING ROOF VAULTS; THE EASTERNMOST VAULT ON THE SOUTH BUILDING OR SOUTH B, VAULT 1.

THERE ARE FOUR VAULT AREAS; TWO ON THE NORTH BUILDING AND TWO ON THE SOUTH BUILDING. THE NORTH BUILDING EAST VAULT IS "NORTH B" AND THE WEST VAULT IS "NORTH A". CONVERSELY THE SOUTH BUILDING EAST VAULT IS "SOUTH B" AND THE WEST VAULT IS "SOUTH A".  
THERE IS A TOTAL OF TWENTY VAULTS OR FIVE VAULTS PER VAULT AREA.  
THE VAULTS AND PANELS ARE NUMBERED AND LETTERED IN THE DRAWINGS ON SHEET A03.01. THE SMALLEST VAULT HAS 4 PANELS, THE TWO NEXT LARGEST VAULTS HAVE SIX PANELS EACH. THE NEXT LARGEST VAULT HAS 8 PANELS AND THE LARGEST VAULT HAS TWELVE PANELS. THERE ARE 36 PANELS PER VAULT AREA FOR A TOTAL OF 144 PANELS.

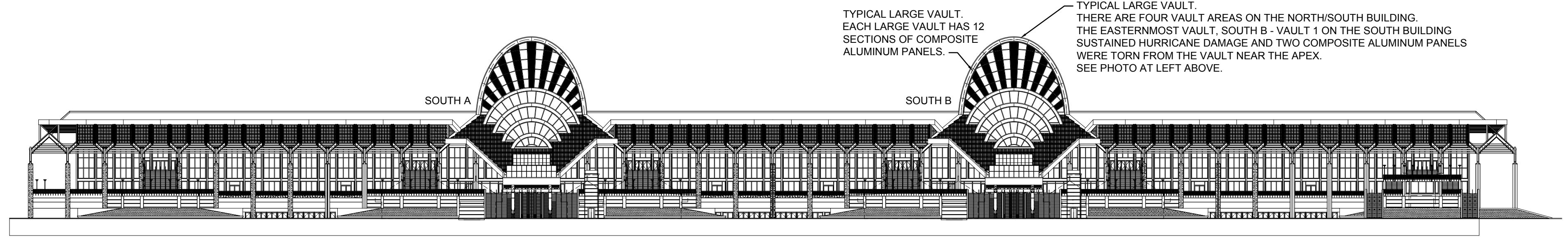
THE PROJECT PROCESS: OCCURS ONLY AT SOUTH B  
1. CONTRACTOR REMOVES THREE DAMAGED PANELS AT SOUTH B, ARCH 1 (HIGHEST ARCH).  
2. CONTRACTOR PROVIDES AND INSTALLS NEW PANELS TO REPLACE THE DAMAGED PANELS ON THOSE THREE LOCATIONS.  
3. CONTRACTOR PROVIDES AND INSTALLS THE NEW BENT PLATES (DETAIL 3/S-101), IN ALL OF THE PANELS AT ALL THE VAULTS OF SOUTH B.  
4. CONTRACTOR RE-INSTALLS THE ROUNDED CAP AT ALL THE VAULTS OF SOUTH B.

ALL VAULTS AT SOUTH A, NORTH A, AND NORTH B:  
1. CONTRACTOR REMOVES ROUNDED CAPS AT ALL OF THE FIVE VAULTS AT SOUTH A, NORTH A, AND NORTH B.  
2. CONTRACTOR INSTALLS THE NEW BENT PLATES (DETAIL 3/S-101) IN ALL THE PANELS AT ALL THE VAULTS OF SOUTH A, NORTH A, AND NORTH B.  
3. CONTRACTOR RE-INSTALLS ALL THE ROUNDED CAPS AT ALL THE VAULTS OF SOUTH A, NORTH A, AND NORTH B.  
4. UNIVERSAL ENGINEERING PERFORMS THE "PULL TEST" ON ALL PANELS AT ALL THE VAULTS OF ALL THE SIDES; NORTH A, NORTH B, SOUTH A, AND SOUTH B.

NEW COMPOSITE ALUMINUM FASCIA PANELS WILL BE FABRICATED TO REPLACE MISSING PANELS AND A NEW ATTACHMENT METHOD HAS BEEN DESIGNED. SEE SHEET S-101.  
NEW PANELS WILL BE INSTALLED OVER A NEW UNDERLAYMENT SYSTEM OF DENSGLASS AND BUILDING WRAP IN KEEPING WITH THE EXISTING SYSTEM. THE SCOPE IS A REPAIR/REPLACEMENT PROCESS. THE EXISTING ROOF VAULTS ARE NOT BEING EXPANDED OR ALTERED EXCEPT TO AFFECT REPAIRS. THIS IS PRIMARILY AN EXTERIOR REPAIR PROJECT WITH BOTH WEATHERPROOFING AND AESTHETIC IMPLICATIONS.

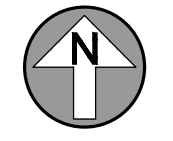
- OUTLINE OF PROPOSED SEQUENCING, POST CONTRACTOR SELECTION:
1. THE SELECTED CONTRACTOR PROVIDES AND SETS UP RIG/ SCAFFOLDING/BRACING AS NEEDED FOR UNIVERSAL ENGINEERING SCIENCES TO PERFORM TESTING AT EACH VAULT AND ON EACH PANEL.
  2. UNIVERSAL ENGINEERING SCIENCES PERFORMS TESTING AND SUBMITS RESULTS TO CIP AND A&E TEAM FOR REVIEW.
  3. CIP AND A&E TEAM EVALUATE TEST RESULTS AND DIRECT SELECTED CONTRACTOR TO PERFORM WORK TO REPLACE SPECIFIC PANELS.
  4. SELECTED CONTRACTOR USES A&E DETAILS/DESIGN SOLUTIONS TO MAKE THE REPLACEMENT/REPAIRS.

NOTE:  
SEE SHEET A03.01 FOR ENLARGED ELEVATIONS OF THE FOUR VAULT AREAS AND THE VAULT NUMBERING AND PANEL IDENTIFICATION DRAWINGS.  
TYPICAL LARGE VAULT.  
THERE ARE FOUR VAULT AREAS ON THE NORTH/SOUTH BUILDING. THE EASTERNMOST VAULT, SOUTH B - VAULT 1 ON THE SOUTH BUILDING SUSTAINED HURRICANE DAMAGE AND TWO COMPOSITE ALUMINUM PANELS WERE TORN FROM THE VAULT NEAR THE APEX. SEE PHOTO AT LEFT ABOVE.



**1 ELEVATION KEY - NORTH/SOUTH BUILDING**  
VIEW OF SOUTH ELEVATION OF THE SOUTH BUILDING SCALE: 1/64" = 1'-0"

NOTE:  
DRAWINGS ARE PRESENTED FOR GRAPHIC PURPOSES ONLY AND AS A KEY PLAN/ELEVATION FOR REFERENCE OF LOCATION AND GENERAL AESTHETIC.





Project:  
OCCC North/South Building Vaulted Roofs Cap Replacement  
ORANGE COUNTY CONVENTION CENTER  
9400 UNIVERSAL BLVD.  
ORLANDO, FL 32819

Issue Date & Issue Description Drawn By Checked By

Issue	Date & Issue Description	Drawn By	Checked By

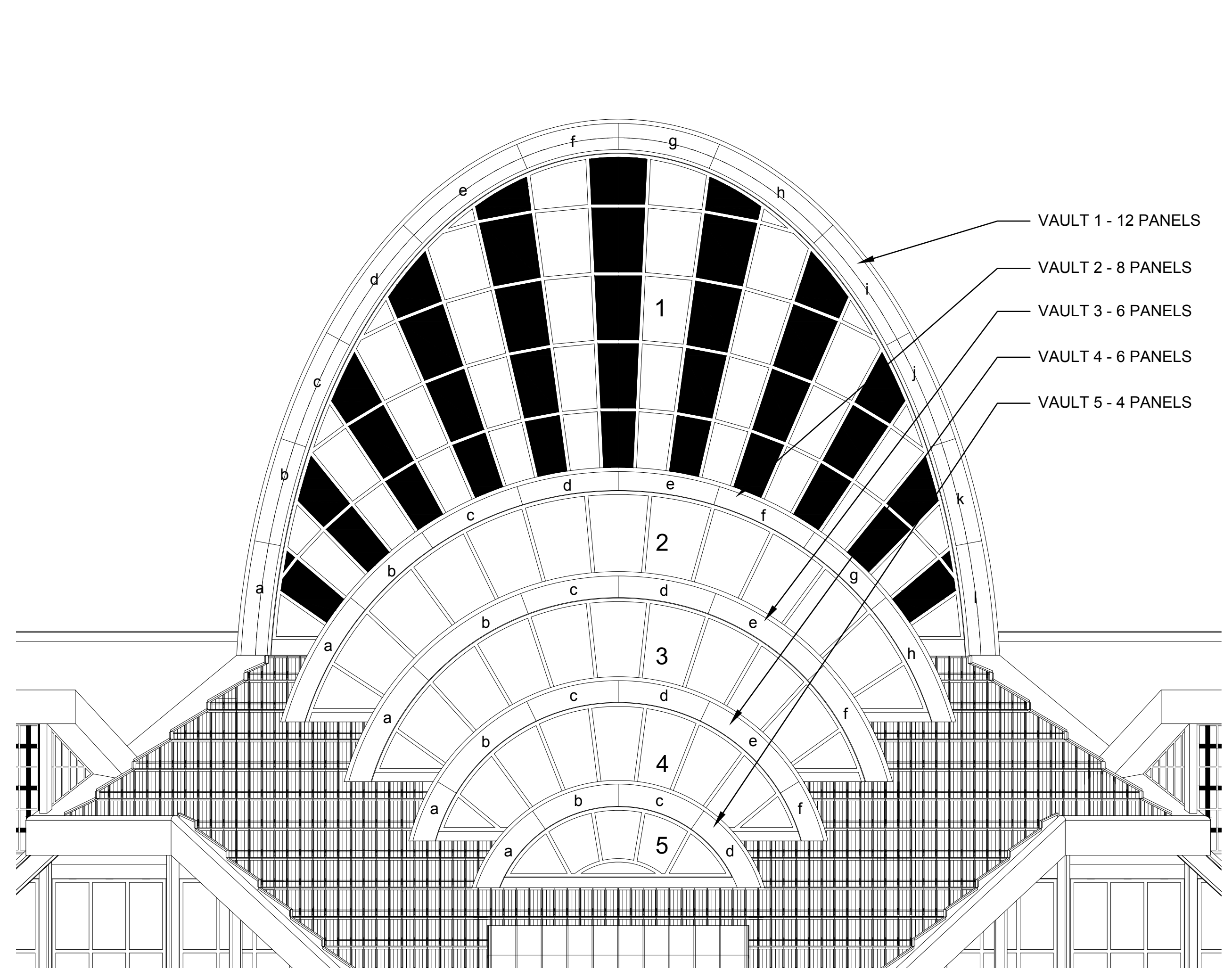
Client Information  
CAPITAL PLANNING

Project Number	Issue Date
17290	03/22/2018
Drawn By	Project Status
AJC	CONSTRUCTION DOCUMENTS
Checked By	Scale
KA	VARIABLES

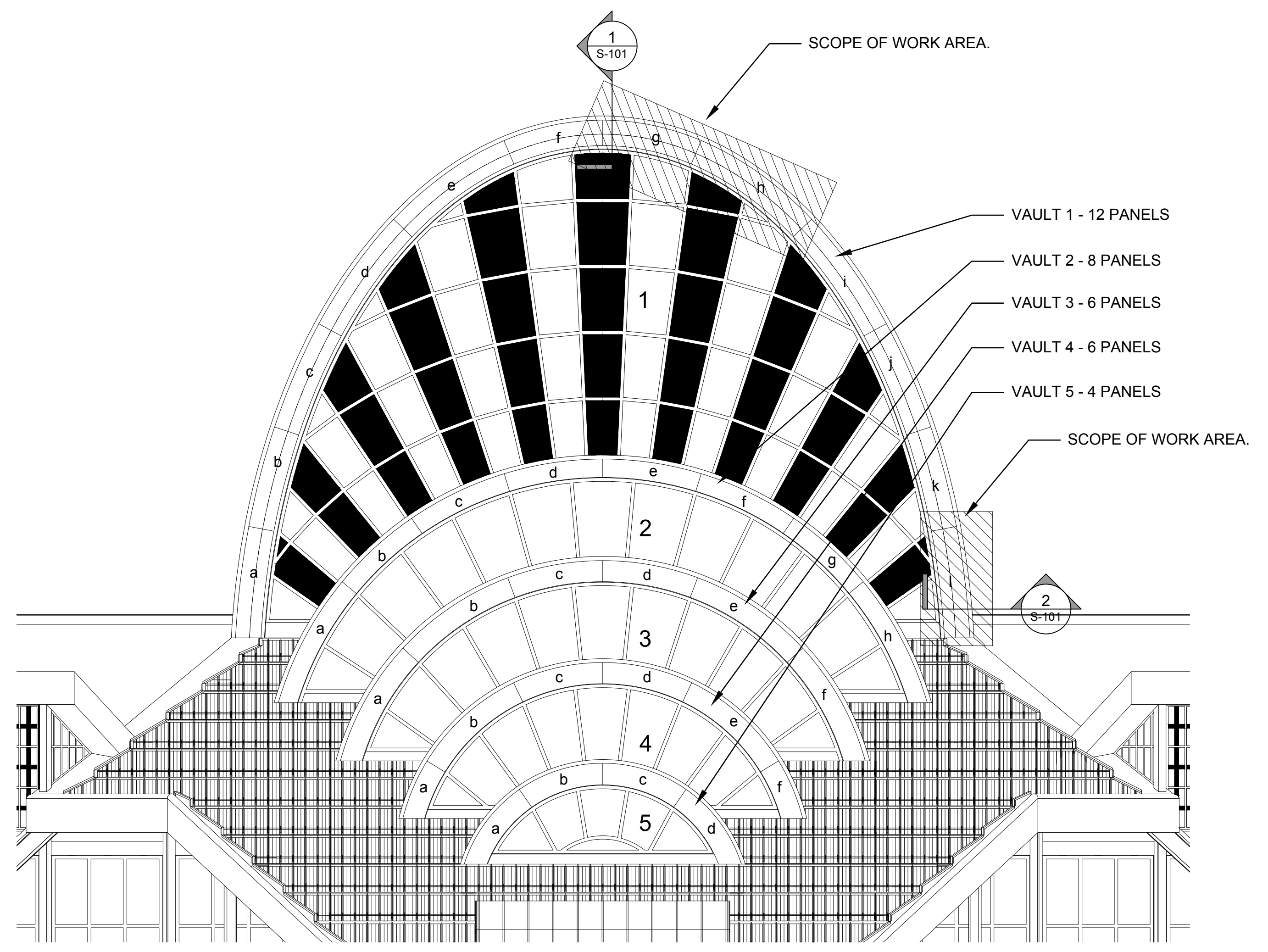
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A03.01.DWG

Consultant • Seal/Signature

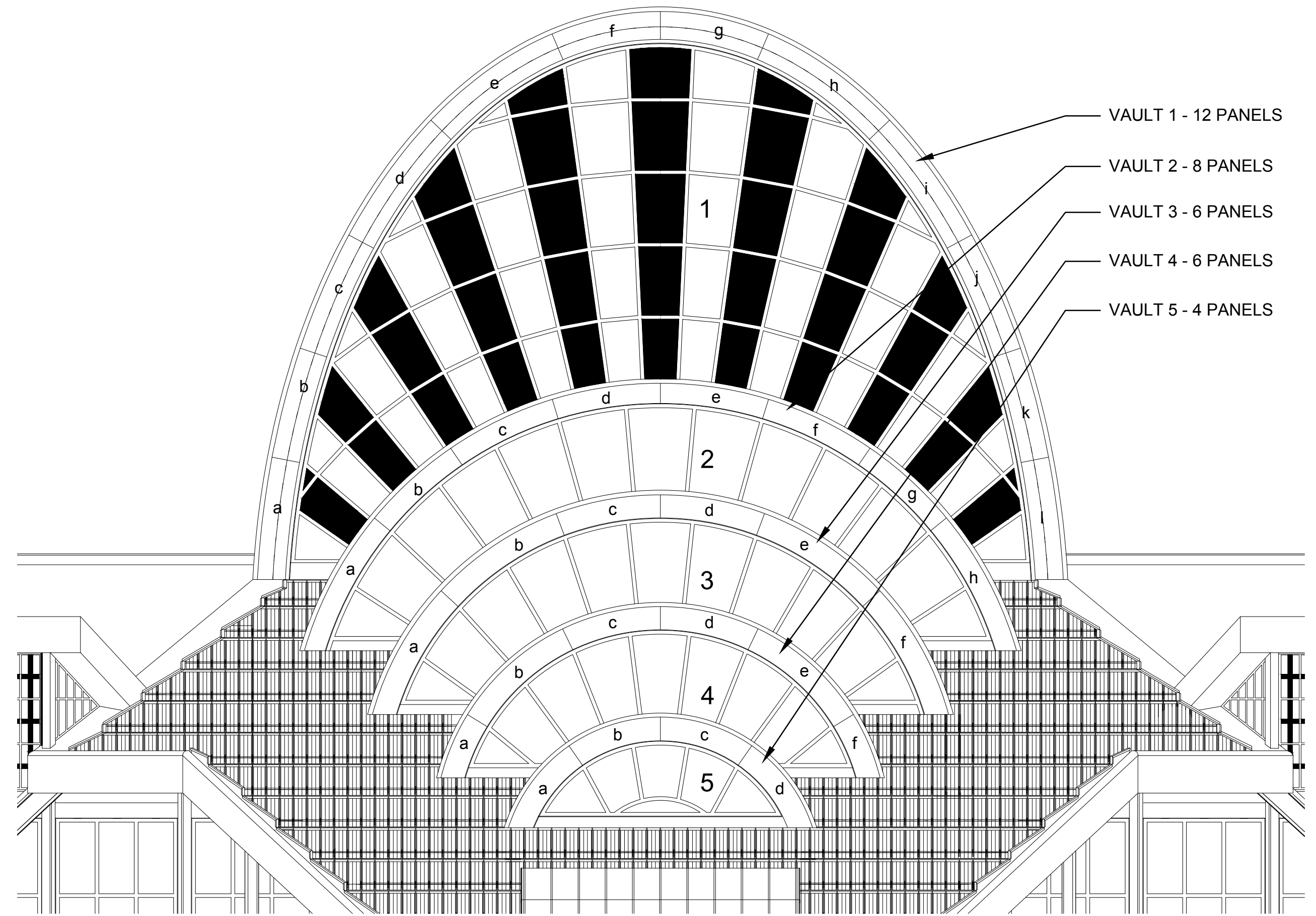
Sheet Title:  
VAULT PANEL IDENTIFICATION



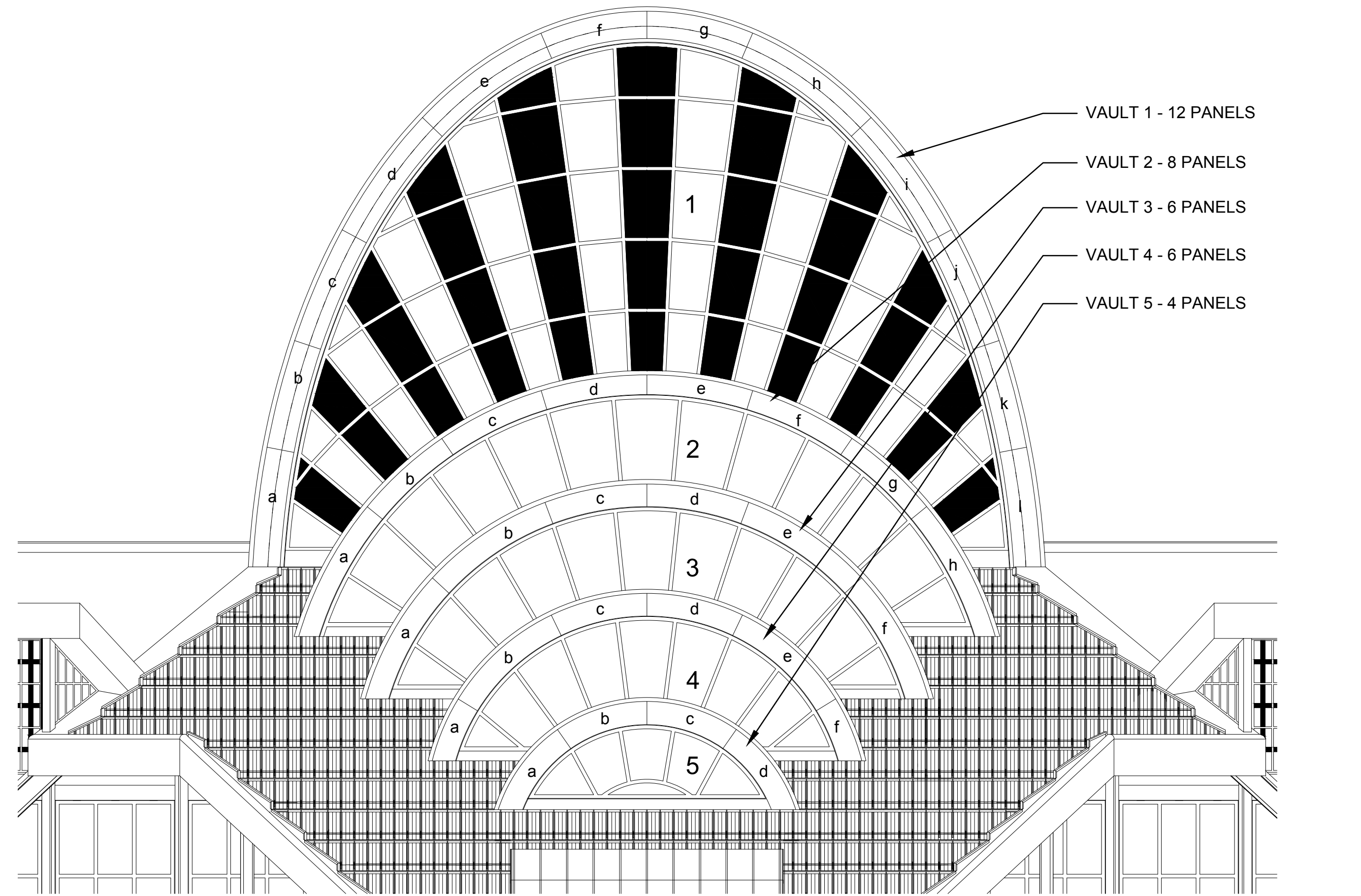
**3** ELEVATION - NORTH VAULT B  
SCALE: 3/32" = 1'-0"



**2** ELEVATION - SOUTH VAULT B  
SCALE: 3/32" = 1'-0"

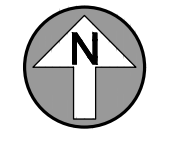


**4** ELEVATION - NORTH VAULT A  
SCALE: 3/32" = 1'-0"



**1** ELEVATION - SOUTH VAULT A  
SCALE: 3/32" = 1'-0"

NOTE: DRAWINGS ARE PRESENTED FOR GRAPHIC PURPOSES ONLY AND AS A KEY PLAN/ELEVATION FOR REFERENCE OF LOCATION AND GENERAL AESTHETIC.



Project Documents for:



**Project:**  
OCCC North/South Building Vaulted Roofs Cap Replacement  
ORANGE COUNTY CONVENTION CENTER  
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ORLANDO, FL 32819

Issue	Date & Issue Description	Drawn By	Checked By

TO THE BEST OF THE ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE 2017.

Client Information

CAPITAL PLANNING

Project Number	17290	Issue Date	05/23/2018
Drawn By	MR	Project Status	Construction Documents
Checked By	LB8	Scale	Scale
File Name			

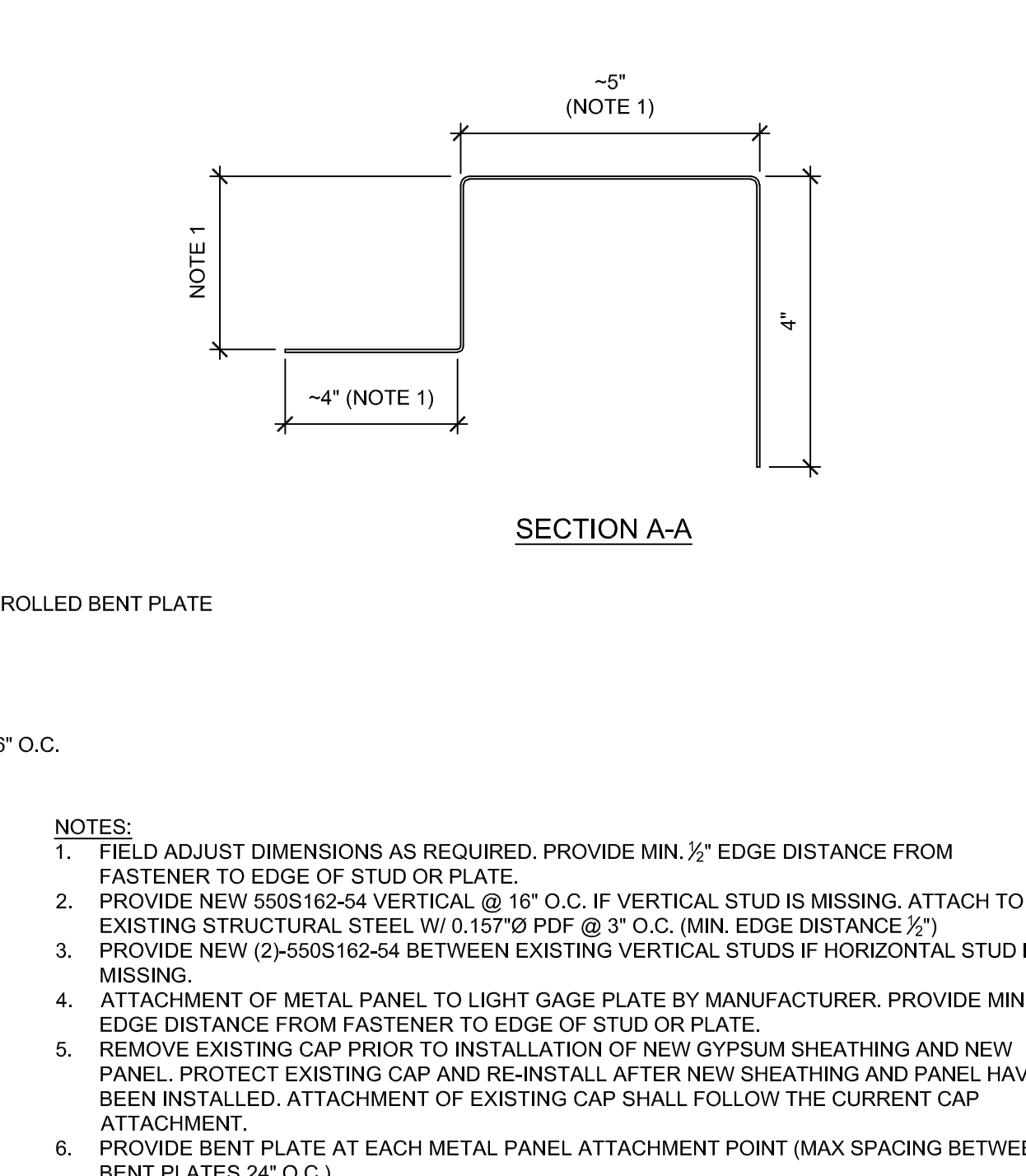
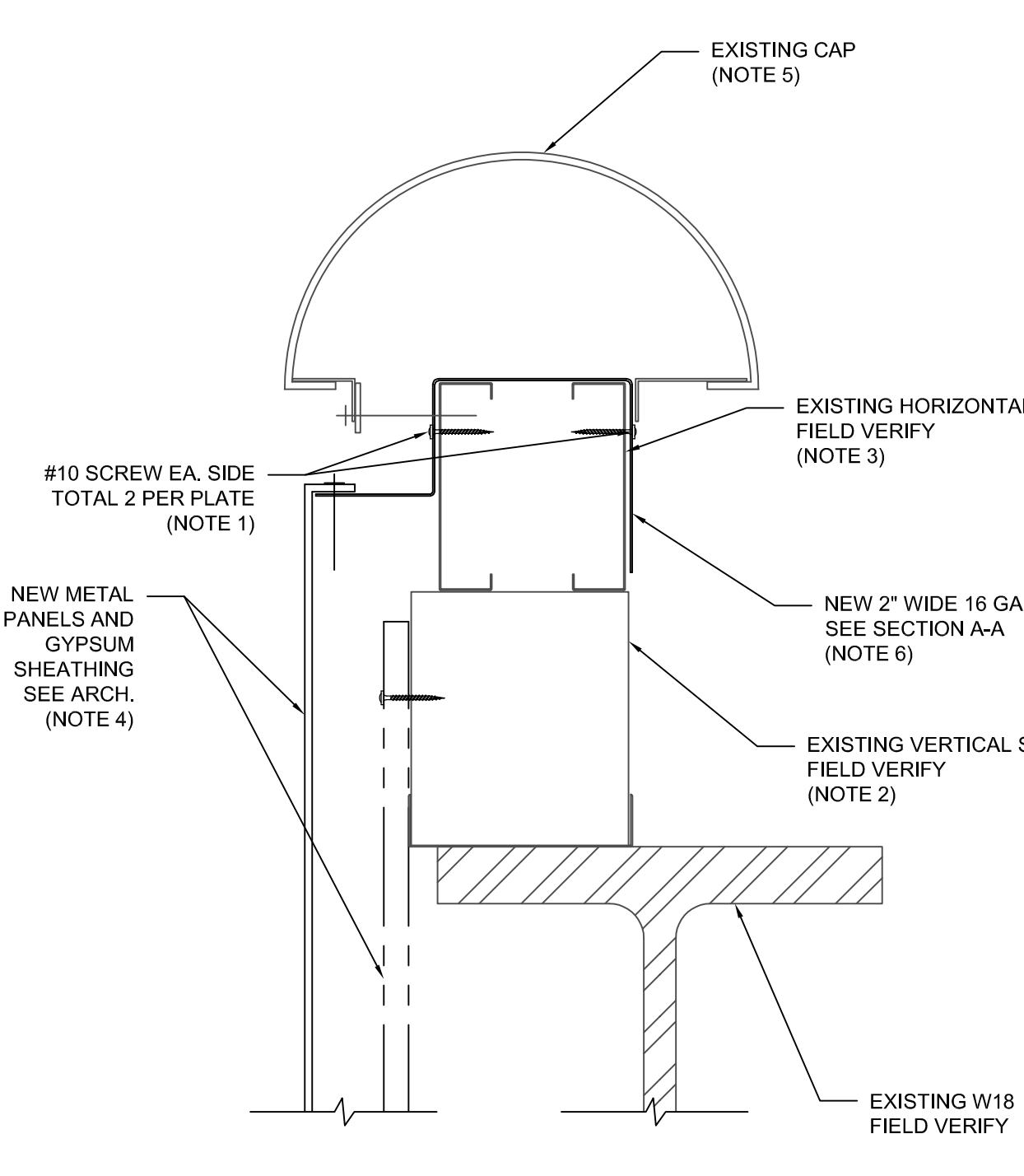
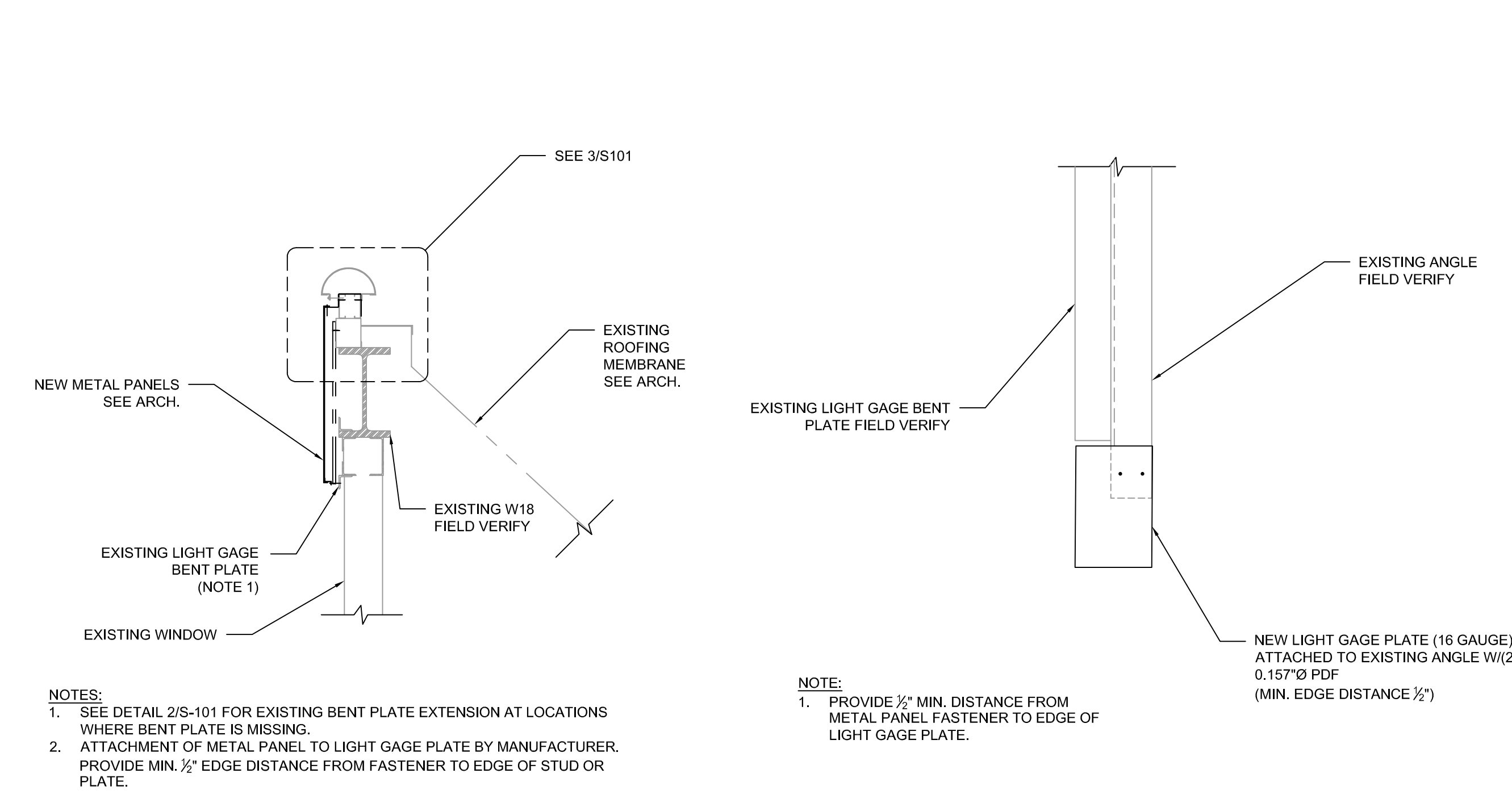
Consultant • Seal/Signature

LAURA ISABEL BARBERO BUFFA  
FLORIDA PE 74027

Sheet Title: GENERAL NOTES AND DETAILS

- GENERAL NOTES:
- CODES: FLORIDA BUILDING CODE 2017 AND ALL APPLICABLE LOCAL CODES.
  - STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, SHOP DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE ALL ELEVATIONS AND DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL COMPARE ALL CONTRACT DRAWINGS AND REPORT ANY DISCREPANCY BETWEEN DISCIPLINES AND WITHIN A GIVEN DISCIPLINE TO THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
  - IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONTRACT DOCUMENTS AND LATEST ADDENDA AND TO SUBMIT TO ALL SUBCONTRACTORS AND SUPPLIERS PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.
  - IF A CONFLICT EXISTS AMONG THE STRUCTURAL DRAWINGS, GENERAL NOTES, OR THE SPECIFICATIONS, THE STRICTEST REQUIREMENTS, AS INDICATED BY THE ENGINEER, SHALL GOVERN.
  - UNLESS OTHERWISE NOTED, DETAILS SHOWN ON ANY DRAWING ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS. THE APPLICABILITY OF THE DETAIL TO ITS LOCATION CAN BE DETERMINED BY THE TITLE OF THE DETAIL. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE REFERENCED AT EACH LOCATION.
  - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND FOR SAFETY PRECAUTIONS AND PROGRAMS, DURING THE CONSTRUCTION PROCESS. IT SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE AND TO PROTECT FROM DAMAGE ANY PORTIONS THAT ARE TO REMAIN.
  - CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND THE PUBLIC DURING DEMOLITION AND ERECTION OF THE NEW CONSTRUCTION.
  - CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING OF STRUCTURE AS REQUIRED, AS WELL AS TEMPORARY SHORING OR SUPPORTS TO ALLOW THE OWNER'S MATERIAL TESTING COMPANY TO PERFORM ALL REQUIRED TESTING ON THE METAL PANELS. THE DETAILS AND ENGINEERING OF SHORING, BRACING AND OTHER CONSTRUCTION REQUIRED FOR SUCH WORK AND THE PHASING, STAGING, AND SEQUENCE OF SUCH OPERATION SHALL BE PREPARED IN THE FORM OF SHOP OR DETAIL DRAWINGS BY A PROFESSIONAL ENGINEER, RETAINED BY THE CONTRACTOR OR SUB-CONTRACTOR. SEE SECTION "O, SUBMITTALS" FOR ADDITIONAL INFORMATION.
  - BASE CONSULTANTS, INC., SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSION OF THE CONTRACTOR OR FOR THEIR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
  - DESIGN WIND LOADS FOR STRENGTH DESIGN WITH A LOAD FACTOR OF 1.0:  
BASIC WIND SPEED 149 MPH  
EXPOSURE B  
STRUCTURAL CATEGORY III
  - WIND PRESSURES TAKEN FROM SHEET S0.001 OF ORANGE COUNTY CONVENTION CENTER PHASE V COMPOSITE STRUCTURAL SET DATED DECEMBER 4, 2000.  
COMPONENTS AND CLADDING WIND PRESSURES  
NOMINAL WIND PRESSURE 53 PSF
  - DESIGN ROOF LOADS:  
1. LIVE LOAD: 20 PSF
  - LIGHT GAUGE STEEL:  
1. STEEL STUDS SHALL BE C-STUDS WITH A MINIMUM YIELD OF 33,000 PSI FOR 18 AND 20 GAUGE, AND 50,000 PSI FOR 14 AND 16 GAUGE. STUDS SHALL BE OF THE SIZE, GAUGE, AND SPACING SHOWN ON THE DRAWINGS. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS ADEQUATE FOR DEVELOPMENT OF THE FULL MOMENT CAPACITY OF THE STUDS. FOR LOAD-BEARING STUDS, TRACK SHALL BE OVERSIZE TO PROVIDE FULL STUD BEARING. SCREWS SHALL BE ELCO DRIL-FLEX, HILTI KWIK-FLEX, OR APPROVED.  
2. DESIGN AND MANUFACTURE LIGHT GAUGE METAL FRAMING, INCLUDING ALL CONNECTIONS, ANCHORAGE HARDWARE, AND FASTENERS IN ACCORDANCE WITH REQUIREMENTS OF AISI SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS (LATEST EDITION) OR THE AISI LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATION FOR COLD-FORMED STEEL STRUCTURAL MEMBERS (LATEST EDITION) AND THE RECOMMENDATIONS OF THE LIGHT GAUGE METAL WALL FRAMING MANUFACTURER.  
3. STEEL STUDS AND RUNNER TRACK MEMBERS SHALL CONFORM TO ASTM A440 GRADE C (MINIMUM YIELD POINT 40,000 PSI) WITH HOT DIPPED GALVANIZED COATING CONFORMING TO ASTM A525 (CLASS G90).  
4. ALL FRAMING MEMBERS SHALL BE CUT SQUARELY. MEMBERS SHALL BE HELD FIRMLY IN PLACE UNTIL PROPERLY JOINED. JOINING OF MEMBERS SHALL BE MADE WITH SELF-DRILLING SCREWS. WIRE TYING OF FRAMING MEMBERS SHALL NOT BE PERMITTED. ATTACHMENT OF MATERIALS TO FRAMING MEMBERS SHALL BE MADE WITH SELF-DRILLING SCREWS.  
5. STUDS SHALL SIT SQUARELY IN THE TOP AND BOTTOM RUNNER TRACKS WITH FIRM ABUTMENT AGAINST TRACK WELDS. STUDS SHALL BE PLUMB AND SECURELY FASTENED TO THE FLANGES OF BOTH TOP AND BOTTOM RUNNER TRACKS.
  - SPECIALITY ENGINEERING REQUIREMENTS  
1. THE FLORIDA STATE OF PROFESSIONAL ENGINEERS HAS ISSUED STATEMENTS ON RESPONSIBILITIES OF PROFESSIONAL ENGINEERS, IN ACCORDANCE WITH RULE 21H-19.00(3) CERTAIN COMPONENTS OF THE STRUCTURE - SHORING OR SUPPORTS FOR PANEL TESTING - REQUIRE THE WORK OF SPECIALTY ENGINEER FOR THE DESIGN OF THOSE COMPONENTS.
  - EXISTING STRUCTURE  
1. INFORMATION SHOWN ON THE DRAWINGS WAS TAKEN FROM THE DRAWINGS "ORANGE COUNTY CONVENTION CENTER PHASE V COMPOSITE STRUCTURAL SET" DATED DECEMBER 4, 2000, AND "ORANGE COUNTY CONVENTION CENTER PHASE V" DATED JANUARY 21, 2002.  
2. WORK SHOWN ON THE DRAWINGS ASSUMES THAT THE ORIGINAL CONSTRUCTION WAS PERFORMED IN ACCORDANCE WITH THE ABOVE INDICATED ORIGINAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE CONDITIONS RELATING TO THE EXISTING STRUCTURE, INCLUDING DIMENSIONS, ELEVATIONS, MEMBER SIZES MATERIALS, DETAILS ETC., AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.
  - SUBMITTALS  
1. THE GENERAL CONTRACTOR SHALL PREPARE A DETAILED LIST AND SCHEDULE OF ALL SUBMITTAL ITEMS TO BE SENT TO THE STRUCTURAL ENGINEER PRIOR TO THE START OF CONSTRUCTION.  
2. GENERAL CONTRACTORS SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING FOR REVIEW.  
3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR ENGINEER AND HAVE THE ENGINEER'S SHOP DRAWING APPROVAL STAMP AFFIXED PRIOR TO FABRICATION. FABRICATION AND ERECTION SHALL BE FROM REVIEWED SHOP DRAWINGS.  
4. A RECORD SET OF APPROVED SHOP DRAWINGS SHALL BE KEPT IN THE FIELD BY THE GENERAL CONTRACTOR.  
5. ANY DEVIATION FROM, ADDITION TO, SUBSTITUTION FOR, OR MODIFICATION TO THE STRUCTURE OR ANY PART OF THE STRUCTURE DETAILED ON THE CONTRACT DOCUMENTS SHALL BE SUBMITTED IN WRITING TO THE ENGINEER FOR REVIEW. SHOP DRAWINGS SUBMITTED FOR REVIEW DO NOT CONSTITUTE "IN-WRITING" UNLESS IT IS CLEARLY NOTED THAT SPECIFIC CHANGES ARE BEING SUGGESTED.  
6. THE CONTRACTOR SHALL PREPARE A LIST AND SCHEDULE OF ALL STRUCTURAL SUBMITTALS PRIOR TO CONSTRUCTION.  
7. THE FOLLOWING SHOP DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR FOR THE ENGINEER'S REVIEW:  
a. LIGHT GAUGE METAL  
b. SHORING OR SUPPORTS FOR PANEL TESTING (\*)  
ITEMS MARKED (\*) SHALL HAVE SHOP DRAWINGS AND DESIGN CALCULATIONS SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF FLORIDA.  
8. THE OMISSION FROM THE SHOP DRAWINGS OF ANY MATERIALS REQUIRED BY THE CONTRACT DOCUMENTS TO BE FURNISHED SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF FURNISHING AND INSTALLING SUCH MATERIALS, REGARDLESS OF WHETHER THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED.  
9. THE USE OF ELECTRONIC FILES OR REPRODUCTIONS OF THESE CONTRACT DOCUMENTS BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES THEIR ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT, AND OBLIGATES THEMSELVES TO ANY JOB EXPENSE, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR HEREON.  
10. REQUEST FOR INFORMATION (RFI) SHALL BE ORIGINATED BY THE CONTRACTOR AND SHALL BE SUBMITTED TO THE ENGINEER VIA ARCHITECT OR DIRECTLY TO ENGINEER WHEN APPROVED BY ARCHITECT. RFI SHALL BE SUBMITTED IN A PROMPT MANNER TO AVOID DELAYS IN THE CONTRACTORS WORK. RFI RESPONSES ARE NOT INTENDED TO AUTHORIZE ANY INCREASE IN CONSTRUCTION COST, SCHEDULE OR CONFLICT WITH APPLICABLE STANDARDS OR CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGN TEAM IMMEDIATELY OF ANY PERCEIVED COST, SCHEDULE OR SCOPE IMPACTS.

3 S-101 STRUCTURAL NOTES SCALE: N.T.S.



1 S-101 NEW METAL PANEL - SECTION AT PARAPET SCALE: N.T.S.  
2 S-101 BENT PLATE EXTENSION AT PANEL SCALE: N.T.S.  
3 S-101 NEW LIGHT GAUGE BENT PLATE DETAIL SCALE: N.T.S.