ORANGE COUNTY CONVENTION CENTER

CAPITAL PLANNING 9860 UNIVERSAL BLVD ORLANDO, FL 32819

ORANGE COUNTY MAYOR HONORABLE TERESA JACOBS

COMMISSIONER DISTRICT 1 BETSY VANDERLEY

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COMMISSIONER DISTRICT 3 PETE CLARKE

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OCCC NORTH/SOUTH BUILDING VAULTED ROOFS CAP REPLACEMENT 9400 UNIVERSAL BLVD ORLANDO, FL 32819



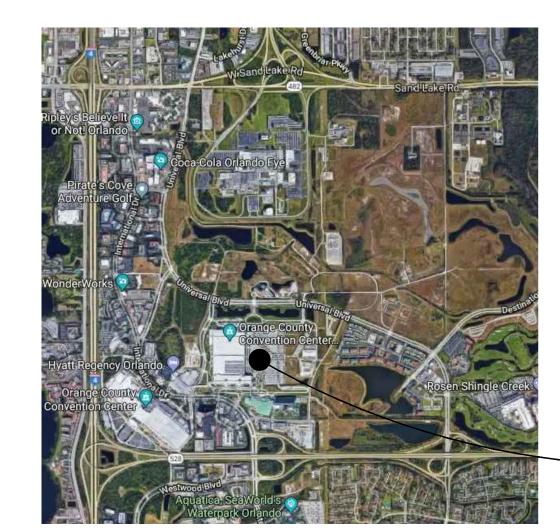
ARCHITECTURAL DESIGN COLLABORATIVE

945 N. PENNSYLVANIA AVENUE WINTER PARK, FLORIDA 32789 (407) 629-1188 CONTACT: AL COOPER



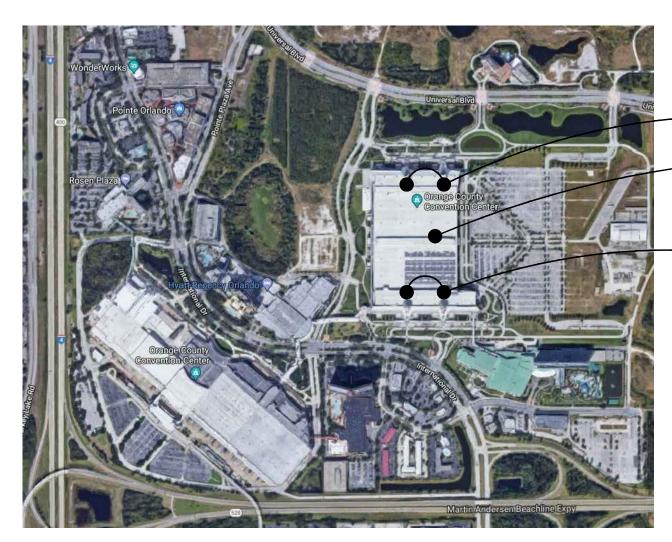
BASE CONSULTANTS

CONTACT: LAURA BARBERO-BUFFA



PROJECT LOCATION





NORTH BUILDING VAULTS ORANGE COUNTY **CONVENTION CENTER** NORTH/SOUTH BUILDING SOUTH BUILDING VAULTS

> CONSTRUCTION DOCUMENTS ISSUED: 05.23.18





DEMOLITION NOTES

GENERAL DEMOLITION NOTES

- 1 REMOVE EXISTING COMPOSITE ALUMINUM FASCIA PANELS AND RELATED CONNECTORS/FASTENERS, SEALANTS, AND/OR UNDERLAYMENT SYSTEM. REPLACE WITH IN KIND NEW PANELS AND UNDERLAYMENT AS INDICATED OR REQUIRED BY THE DRAWINGS, ARCHITECT, ENGINEER, OR OWNER REPRESENTATIVE. EXISTING PANELS HAVE BEEN IN PLACE AND WEATHERING SINCE THE ORIGINAL BUILDING CONSTRUCTION DATE. PROVIDE COLOR SAMPLES FOR A&E/OCCC TEAM REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. PROVIDE ARCHITECT WITH AS-BUILT DRAWINGS OF FINAL INSTALLATION FOR RECORD PURPOSES. CONTRACTOR IS NOTIFIED THAT NOT ALL EXISTING CONDITIONS MAY HAVE BEEN INDICATED ON THE DRAWINGS AND THAT SOME FIELD DISCOVERY WILL BE REQUIRED. CONTRACTOR IS REQUIRED TO VISIT SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO DETERMINING THE SCOPE OF WORK TO BE ACCOMPLISHED AS PART OF HIS/HER BID.
- 2 THE WORK SHALL INCLUDE THE FURNISHING OF ALL MATERIALS, CUTTING, EXTENDING, CONNECTING, REPAIRING, ADAPTING, AND OTHER COINCIDENTAL WORK TOGETHER WITH SUCH TEMPORARY INSTALLATIONS AS MAY BE NECESSARY TO SATISFY THE DEMOLITION PROGRAM OR TO PROVIDE WATERPROOFING/WEATHERPROOFING. APPROVAL SHALL BE SECURED FROM THE OWNER/PROJECT MANAGER, ENGINEER PRIOR TO CUTTING/DRILLING ANY STRUCTURAL SUPPORT.
- 3 ALL BUILDING CONSTRUCTION AFFECTED BY THE REMOVAL, RELOCATION, INSTALLATION OF ANY COMPONENT SHALL BE REPAIRED AND FINISHED AS REQUIRED TO MATCH EXISTING CONDITION OR AS DIRECTED BY THE ARCHITECTURAL DRAWINGS, SPECIFICATIONS, ENGINEER, OR PROJECT MANAGER. GC SHALL EMPLOY METHODS, PRACTICES, AND TECHNIQUES TO PROTECT EXISTING ROOF MATERIALS AND CONSTRUCTION AND EXISTING WINDOW SYSTEMS.
- 4 WHEN ELECTRICAL DEVICES, PLUMBING, FIRE SYSTEM, OR OTHER FORM OF BUILDING SYSTEM ARE DISCOVERED PRESENT IN THE WORK AREA, PARTITIONS, OR STRUCTURE THE GC SHALL PROMPTLY NOTIFY THE OC PROJECT MANAGER, ARCHITECT, OR ENGINEER BEFORE PROCEEDING
- 5 REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR WORK TO BE PERFORMED INVOLVING ANY PORTION OF THE STRUCTURE INCLUDING REMOVAL OR ADDITION OF MATERIALS AND/OR SYSTEMS.
- 6 GC SHALL DEMOLISH ANY FINISHES TO COMPLETE THE NECESSARY AND PROPOSED WORK AS DIRECTED BY THE ARCHITECTURAL OR STRUCTURAL DRAWINGS, SPECIFICATIONS, OR BY THE OC PROJECT MANAGER. IF INTERIOR FINISHES ARE DAMAGED DURING CONSTRUCTION ALL NECESSARY REPAIRS SHALL BE MADE TO RETURN THE AFFECTED AREA(S) TO LIKE NEW CONDITION.
- 7 EXISTING FIXTURES, EQUIPMENT, AND ALL DEBRIS WHICH ARE REQUIRED TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE WITH OC PROJECT MANAGER PRIOR TO REMOVAL.
- 8 ANY BUILDING SYSTEM THAT REQUIRES REMOVAL OR ALTERATION IS TO BE DONE BY THE GC INCLUDING LINES TO BE CAPPED AND PREPARED FOR REMOVAL OR RE-ROUTING AS REQUIRED.
- 9 REMOVE ALL UTILITIES IN DEMOLITION AREAS AND CONSTRUCTION AREAS IN A MANNER, AND IN THE TIME SATISFACTORY TO THE UTILITY COMPANY. IF UTILITY COMPANY DESIRES TO EFFECT THE REMOVAL OF THE MATERIALS, THEY SHALL BE PERMITTED TO DO SO.
- 10 COVER ITEMS AS SPECIFIED BY OWNER/PROJECT MANAGER TO PROTECT FROM DUST AND DEBRIS.
- 11 SALVAGED MATERIALS SHALL BE REMOVED, CLEANED, AND PREPARED FOR RE-INSTALLATION. OWNER MAINTAINS OWNERSHIP OF ALL MATERIALS UNLESS OTHERWISE SPECIFIED.
- 12 WHERE EXISTING WALLS, CEILINGS, AND FIXTURES HAVE BEEN REMOVED, AREAS SHALL BE PATCHED TO MATCH EXISTING FINISHES, OR FINISHES TO BE ADDED AS PER PLANS, INTERIOR DESIGNER. OR AS PER OWNER.
- 13 WHERE EXISTING WORK IS DAMAGED IN THE EXECUTION OF THIS CONTRACT, OR WHERE OPENINGS ARE LEFT DUE TO THE REMOVAL OF PANELS, BUILDING SYSTEMS OR APPARATUS, THE SAME SHALL BE REPAIRED OR CLOSED TO CORRESPOND IN MATERIAL, QUALITY, SHAPE AND FINISH WITH THAT OF SIMILAR AND ADJOINING WORK, UNLESS OTHERWISE CALLED FOR. WHERE DAMAGE IS IRREPARABLE, NEW ITEMS OR COMPONENTS SHALL BE PROVIDED. GC SHALL PROVIDE ALL NECESSARY WATERPROOFING, FIRE STOPPING AND SEALING OF PENETRATIONS THAT ARE REQUIRED BY CODES AND STANDARDS IN EFFECT DURING THE CONSTRUCTION PROCESS.

DEMOLITION NOTES CONT.

- 14 INTERRUPTION OF THE EXISTING OPERATIONS OF FACILITIES SHALL BE KEPT TO A MINIMUM. THE GC SHALL FURNISH ALL MATERIALS REQUIRED TO MAINTAIN CONTINUITY OF BUILDING OPERATIONS. INTERRUPTION OF EXISTING OPERATIONS: THE NEW WORK SHALL BE DONE ONLY AT SUCH TIMES AS PERMITTED AND SCHEDULED IN ADVANCE WITH THE OWNER AND WITHOUT ADDITIONAL COST. CARE MUST BE USED IN REMOVING DEBRIS FROM AREAS BEING DEMOLISHED SO THAT OPERATIONS IN OTHER AREAS OF THE BUILDING WHICH MIGHT BE SERVED THROUGH THE AREAS UNDER CONSTRUCTION/REPAIR WILL NOT BE INTERRUPTED.
- 15 WHERE DEMOLITION WORK REQUIRES TEMPORARY INTERRUPTION OF ELECTRICAL, TELEPHONE, TV, ALARM OR COMMUNICATION SERVICES, RESPECTIVE UTILITIES AND/OR COMPANY REPRESENTATIVES SHALL BE NOTIFIED AS NECESSARY, AND ALL WORK DONE SHALL BE UNDER SUPERVISION AND IN COMPLIANCE WITH CODES AND ESTABLISHED STANDARDS.
- 16 ALL LIGHTING FIXTURES, RECEPTACLES, SWITCHES, WIRING DEVICES, SPECIAL OUTLETS, TELEPHONE CABLES, TV CABLES, MISCELLANEOUS SYSTEM WIRING, POWER CONDUCTORS, CONDUITS, ELECTRICAL BOXES, RACEWAYS AND ANY OTHER ELECTRICAL SYSTEM COMPONENTS LOCATED IN THE AREAS SHOWN AS BEING DEMOLISHED OR NOT USED AFTER WORK IS COMPLETED SHALL BE REMOVED UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN OR BE RELOCATED. CONDUITS RUNNING IN FINISHED AREAS SHALL BE CUT FLUSH, PLUGGED AND ABANDONED AFTER CONDUCTORS ARE REMOVED. NO WIRING SHALL BE LEFT ABANDONED AFTER WORK IS COMPLETED.
- 17 ALL DEMOLITION, RENOVATION, AND CONSTRUCTION TO COMPLY WITH CURRENT NFPA REQUIREMENTS.
- 18 DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.
- 19 THE GC SHALL THOROUGHLY INVESTIGATE EXISTING CONDITIONS INCLUDING GENERAL PLAN LAYOUT/CONFIGURATION AND EXISTING STRUCTURAL COMPONENTS VISIBLE OR CONCEALED IN WALL AND/OR ABOVE CEILING, THAT COULD IMPACT THE WORK. THE GC SHALL FIELD VERIFY EXISTING DIMENSIONS, MATERIALS AND METHODS OF CONSTRUCTION, AND STRUCTURE, AND COORDINATE EACH WITH THE CONTRACT DOCUMENTS. THE GC SHALL NOTIFY THE ARCHITECT OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS PRIOR TO COMMENCING WORK.

PROJECT INFORMATION

APPLICABLE CODES

FLORIDA BUILDING CODE - 6th EDITION 2017
FLORIDA BUILDING CODE - EXISTING BUILDING- 6th EDITION 2017

ORANGE COUNTY FLORIDA JURISDICTION

NOTE:

THE EXISTING BUILDING IS PRIMARILY AN ASSEMBLY OCCUPANCY. THE SCOPE OF THIS PROJECT IS EXTERIOR WORK. THERE IS NO IMPACT TO EXISTING OCCUPANCY CLASSIFICATION, MEANS OF EGRESS, CONSTRUCTION TYPE, OR TO EXISTING INTERIOR FUNCTIONS.

SCOPE

VAULT AREAS, PANEL REPLACEMENT, AND TESTING:
THE PROJECT IS LOCATED AT THE ORANGE COUNTY CONVENTION
CENTER, NORTH/SOUTH BUILDING, EXTERIOR, ROOF LEVEL. THE
PROJECT SCOPE IS TO REPLACE COMPOSITE ALUMINUM PANELS
THAT WERE TORN FROM THE FACE OF THE EXISTING SOUTH B, ROOF
VAULT DURING HURRICANE IRMA AND AS DISCOVERED THROUGH
TESTING TO BE IN NEED OF REPLACEMENT. THE REPLACEMENT
PROCESS WILL IMPACT AT A MINIMUM, THREE PANELS ON ONE OF
THE FOUR EXISTING ROOF VAULTS; THE EASTERNMOST VAULT ON
THE SOUTH BUILDING OR SOUTH B, VAULT 1.

THERE ARE FOUR VAULT AREAS; TWO ON THE NORTH BUILDING AND TWO ON THE SOUTH BUILDING. THE NORTH BUILDING EAST VAULT IS "NORTH B" AND THE WEST VAULT IS "NORTH A". CONVERSELY THE SOUTH BUILDING EAST VAULT IS "SOUTH B" AND THE WEST VAULT IS "SOUTH A".

THERE IS A TOTAL OF TWENTY VAULTS OR FIVE VAULTS PER VAULT

THE VAULTS AND PANELS ARE NUMBERED AND LETTERED IN THE DRAWINGS ON SHEET A03.01. THE SMALLEST VAULT HAS 4 PANELS, THE TWO NEXT LARGEST VAULTS HAVE SIX PANELS EACH. THE NEXT LARGEST VAULT HAS 8 PANELS AND THE LARGEST VAULT HAS TWELVE PANELS. THERE ARE 36 PANELS PER VAULT AREA FOR A TOTAL OF 144 PANELS.

THE PROJECT PROCESS: OCCURS ONLY AT SOUTH B 1. CONTRACTOR REMOVES THREE DAMAGED PANELS AT SOUTH B,

- ARCH 1 (HIGHEST ARCH).

 2. CONTRACTOR REMOVES THREE DAMAGED PANELS AT SOUTH B,
 ARCH 1 (HIGHEST ARCH).
- THE DAMAGED PANELS ON THOSE THREE LOCATIONS.

 3.CONTRACTOR PROVIDES AND INSTALLS THE NEW BENT PLATES
 (DETAIL 3/S-101), IN ALL OF THE PANELS AT ALL THE VAULTS OF SOUTH B.
- 4. CONTRACTOR RE-INSTALLS THE ROUNDED CAP AT ALL THE VAULTS OF SOUTH B.
- ALL VAULTS AT SOUTH A, NORTH A, AND NORTH B:

 1. CONTRACTOR REMOVES ROUNDED CAPS AT ALL OF THE FIVE VAULTS AT SOUTH A, NORTH A, AND NORTH B.

 2. CONTRACTOR INSTALLS THE NEW BENT PLATES (DETAIL 3/S-101) IN ALL THE PANELS AT ALL THE VAULTS OF SOUTH A, NORTH A, AND NORTH B.

3. CONTRACTOR RE-INSTALLS ALL THE ROUNDED CAPS AT ALL THE VAULTS OF SOUTH A, NORTH A, AND NORTH B.
4. UNIVERSAL ENGINEERING PERFORMS THE "PULL TEST" ON ALL PANELS AT ALL THE VAULTS OF ALL THE SIDES; NORTH A, NORTH B, SOUTH A, AND SOUTH B.

NEW COMPOSITE ALUMINUM FASCIA PANELS WILL BE FABRICATED TO REPLACE MISSING PANELS AND A NEW ATTACHMENT METHOD HAS BEEN DESIGNED. SEE SHEET S-101.

NEW PANELS WILL BE INSTALLED, OVER A NEW UNDERLAYMENT.

NEW PANELS WILL BE INSTALLED OVER A NEW UNDERLAYMENT SYSTEM OF DENSGLASS AND BUILDING WRAP IN KEEPING WITH THE EXISTING SYSTEM. THE SCOPE IS A REPAIR/REPLACEMENT PROCESS. THE EXISTING ROOF VAULTS ARE NOT BEING EXPANDED OR ALTERED EXCEPT TO AFFECT REPAIRS. THIS IS PRIMARILY AN EXTERIOR REPAIR PROJECT WITH BOTH WEATHERPROOFING AND AESTHETIC IMPLICATIONS.

ADDITIONAL WORK REQUIRED THAT WOULD ALTER THE PRESENTED SCOPE OF WORK SHALL BE SUBJECT TO A REVISION OF THESE DOCUMENTS AND MAY BE REQUIRED TO BE REVIEWED BY THE BUILDING DEPARTMENT HAVING JURISDICTION.

DRAWING INDEX

ARCHITECTURAL

COVER SHEET

A00.00 INDEX AND PROJECT INFORMATION

A00.10 GENERAL NOTES

A01.01 OVERALL KEY PLAN

A01.02 EXISTING CONDITIONS AND KEY PLAN

A02.01 EXTERIOR ELEVATIONS

A03.01 VAULT PANEL IDENTIFICATION

STRUCTURAL

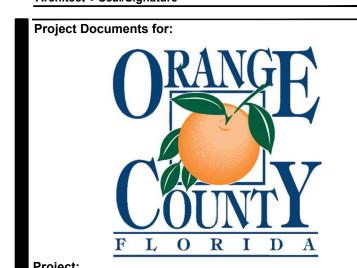
S-101 GENERAL NOTES AND DETAILS

ARCHITECTURAL DESIGN COLLABORATIVE

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STATE OF FLORIDA AA-C001315
ALBERT JOSEPH COOPER III, R.A. AR-0010460
Architect • Seal/Signature



OCCC North/South Building Vaulted Roofs Cap Replacement ORANGE COUNTY CONVENTION CENTER 9400 UNIVERSAL BLVD.
ORLANDO, FL 32819

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INDEX AND PROJECT INFORMATION

A00.00

1.0 GENERAL NOTES & CONDITIONS

- 1.1 SPECIFICATIONS FOR GENERAL CONTRACTORS PERFORMING WORK FOR THE OWNER/CLIENT - CAPITAL PLANNING - OCCC.
- 1.2 UPON COMPLETION OF THE JOB, THE CONTRACTOR SHALL PROVIDE THE OWNER/CLIENT WITH:
- A. AS-BUILT PLANS. B. THE ORIGINAL BUILDING PERMIT PLANS WITH THE ORIGINAL INSPECTOR'S SIGNATURES.
- 1.3 THE OWNER/CLIENT WILL NOT BE RESPONSIBLE FOR:
- A. SECURITY OF MATERIALS OF WORK IN PLACE.
- B. AIR CONDITIONING WORK NOT PROPERLY PERFORMING TO ALLOW FOR PROPER COOLING OF THE PREMISES UNLESS ALL AIR CONDITIONING WORK IS DONE IN COORDINATION WITH THE **BUILDING ENGINEERING STAFF**
- C. WARRANTY REPAIRS. D. WINDOW BREAKAGE DURING CONSTRUCTION.
- E. WORK STOPPAGES DUE TO WORK INTERFERING WITH OTHER TENANTS.
- F. DELAYS DUE TO CHANGE ORDERS
- G. PAYMENT OF ANY DRAW WILL BE SUBJECT TO THE OWNER/CLIENT REPRESENTATIVES AGREEING TO THE DEGREE OF COMPLETION. TEN PERCENT (10%) OF EACH DRAW WILL BE HELD AS A RETAINER UNTIL THE JOB IS COMPLETED, INCLUDING PUNCH LIST ITEMS, RELEASES OF LIEN, AND ACCEPTANCE OF THE SPACE BY BOTH THE TENANT AND OWNER.
- 1.4 THE GENERAL CONTRACTOR (GC) WILL: SECURE THE NECESSARY BUILDING PERMITS AND INSPECTIONS. INDEMNIFY AND KEEP HARMLESS THE OWNER FROM ALL LOSSES. DAMAGES, LIABILITIES, AND EXPENSES WHICH MAY ARISE OR BE CLAIMED AGAINST THE OWNER AND BE IN FAVOR OF ANY PERSONS. FIRMS, OR CORPORATIONS FOR ANY INJURIES OR DAMAGES TO THE PERSON OR PROPERTY OF ANY PERSONS, FIRMS, OR CORPORATION CONSEQUENT UPON OR ARISING FROM THE CONSTRUCTION, USE, OR OCCUPANCY OF PREMISES BY THE CONTRACTOR OR CONSEQUENT UPON OR ARISING FROM ANY ACTS. OMISSIONS. NEGLECT OR FAULT OF THE CONTRACTOR, HIS AGENTS, SERVANTS, EMPLOYEES, LICENSEES, VISITORS, CUSTOMERS, PATRONS, OR INVITEES, OR CONSEQUENT UPON OR ARISING FROM THE CONTRACTOR'S FAILURE TO COMPLY WITH ANY LAWS, STATUTES, ORDINANCES, CODES, OR REGULATIONS; THAT THE OWNER SHALL NOT BE LIABLE TO THE CONTRACTOR FOR DAMAGES. LOSSES OR INJURIES TO THE PERSONS, FIRMS OR CORPORATIONS EXCEPT WHEN SUCH INJURY, LOSS, OR DAMAGE RESULTS FROM NEGLIGENCE OF THE OWNER, HIS AGENTS, OR EMPLOYEES, AND THAT THE CONTRACTOR WILL INDEMNIFY AND KEEP HARMLESS THE OWNER AND BE IN FAVOR OF ANY PERSONS, FIRMS, OR CORPORATIONS FOR ANY INJURIES OR DAMAGES TO THE PERSON, OR THE PROPERTY OF ANY PERSONS. FIRMS OR CORPORATIONS WHERE SAID INJURIES OR DAMAGES AROSE ABOUT OR UPON THE PREMISES AS A RESULT OF THE NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, EMPLOYEES, SERVANTS, LICENSES, VISITORS, CUSTOMERS, PATRONS, AND INVITEES. ALL PERSONAL PROPERTY PLACED OR MOVED INTO OR OUT OF THE BUILDING SHALL BE AT THE RISK OF THE CONTRACTOR. THEREFORE THE OWNER SHALL NOT BE LIABLE TO THE CONTRACTOR FOR ANY DAMAGE TO ANY PERSONAL PROPERTY
- 1.5 THE CONTRACTOR WILL CONFINE CONSTRUCTION DEBRIS AND DUST TO THE CONSTRUCTION AREA, AWAY FROM COMPLETED OCCUPIED OR TENANT SPACE OR COMMON AREAS. ALL AREAS OF THE BUILDING, ESPECIALLY ACCESS AREAS AND COMMON AREAS, ARE TO BE MAINTAINED IN A CLEAN AND ORDERLY FASHION. THE CONTRACTOR IS TO TURN THE IMPROVED PREMISES OVER THE OWNER IN A CLEAN CONDITION, READY FOR OCCUPANCY.
- 1.6 THE CONTRACTOR WILL REMOVE ALL TRASH AND DEBRIS, INCLUDING EXCESS MATERIALS FROM THE CONSTRUCTION SITE AND THE BUILDING AND NO UNREASONABLE ACCUMULATION BE ALLOWED.
- 1.7 THE CONTRACTOR WILL COORDINATE THE DELIVERY OF AND REMOVAL OF DEBRIS WITH THE PROPERTY MANAGER/OWNER.
- 1.8 THE CONTRACTOR WILL SUBMIT ALL CHANGE ORDERS TO THE OWNER/ARCHITECT FOR APPROVAL AND THE PROJECT DOCUMENTS
- 1.9 UPON COMPLETION, THE CONTRACTOR WILL REMOVE ALL FOREIGN MATERIALS FROM WINDOWS, PANELS, GLASS, ROOF AND GENERAL WORK AREA(S).
- 1.10 THE CONTRACTOR WILL NOT UNDULY DISTURB "THE PEACEFUL ENJOYMENT" OF ANY OCCUPANTS/TENANTS IN THE BUILDING. ALL WORK THAT COULD CAUSE DISRUPTION OR NOISY CONDITIONS SHALL BE COORDINATED WITH THE OWNER/CLIENT PRIOR TO COMMENCEMENT OF SUCH ACTIVITY.
- 1.11 THE GC SHALL PREPARE, REVIEW, STAMP WITH APPROVAL AND SUBMIT, WITH REASONABLE PROMPTNESS AND IN ORDERLY SEQUENCE SO AS TO CAUSE NO DELAY IN THE WORK, SUBMITTALS REQUIRED BY THE CONTRACT DOCUMENTS, TO ARCHITECT FOR REVIEW. SUBMIT PDF COPIES. TYPICAL. REQUIRED SUBMITTALS: SHOP DRAWINGS, PRODUCT AND SAMPLES AS REQUIRED IN INDIVIDUAL SECTIONS. SAMPLES: WHEN REQUIRED SUBMIT TWO (2). CONSTRUCTION SCHEDULE: LINEAR BAR CHART, TIME CONTROLS, SHOP DRAWINGS: PDF COPY AS BUILTS: HARD COPY.
- 1.12 THE GC SHALL VISIT THE JOB SITE AND VERIFY ALL CONDITIONS OF THE WORK PRIOR TO SUBMITTING A BID. GC TO VERIFY AND INCLUDE ANY MEANS & METHODS REQUIRED FOR THE SCOPE OF WORK THAT WILL LEAD TO SUCCESSFUL COMPLETION OF CONSTRUCTION.
- 1.13 EXISTING CONDITIONS INDICATED ON THE DRAWINGS ARE ASSUMED AND SHALL BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS, MATERIALS AND METHODS OF CONSTRUCTION AND COORDINATE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF SIGNIFICANT DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS PRIOR TO COMMENCING WORK.
- 1.14 PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE LAWS, CODES, ORDINANCES, RESTRICTIONS AND REQUIREMENTS. WORK SHALL BE INSPECTED BY APPROPRIATE AGENCIES.
- 1.15 THE TERMS. PROVIDED AND INSTALL AS USED THROUGHOUT THE NOTES AND/OR CONTRACT DOCUMENTS IS DEFINED AS SUPPLY, INSTALL, FINISH AND TEST EACH ITEM AS APPLICABLE, UNLESS OTHERWISE NOTED.
- 1.16 NOT USED
- 1.17 WHERE EXISTING WALLS, CEILINGS OR FIXTURES ARE REMOVED: WALLS CEILINGS AND FLOORS SHALL BE PATCHED; ELECTRIC AND PLUMBING SHALL BE CAPPED.
- 1.18 ANY ITEM OF WORK NECESSARY TO THE PROPER COMPLETION OF CONSTRUCTION WHICH IS NOT SPECIFICALLY COVERED IN THESE DOCUMENTS SHALL BE PERFORMED IN A MATTER DEEMED GOOD
- 1.19 NOT USED

PRACTICE OF THE TRADE.

1.20 NOT USED

GEN. NOTES & CONDITIONS (CONT)

- 1.21 ALL NEW MATERIALS AND FINISHES SHALL MATCH EXISTING UNLESS SPECIFIED OTHERWISE. SEE OWNER AND/OR ARCHITECT FOR APPROVAL OF ALTERNATIVES.
- 1.22 CONTRACTOR TO PROVIDE PROPER BACKING AND BRACING. TYPICAL.
- 1.23 USE AND INTERPRETATION OF THIS DRAWING: A. GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA DOCUMENT A201, ARE A PART OF THE CONTRACT DOCUMENTS AND DESCRIBE USE AND INTENT OF THE DRAWINGS. THE CONTRACT DOCUMENTS INCLUDE NOT ONLY THE DRAWINGS. BUT ALSO THE OWNER-CONTRACTOR AGREEMENT. CONDITIONS OF THE CONTRACT, THE SPECIFICATIONS, ADDENDA, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. THESE CONTRACT DOCUMENTS ARE COMPLEMENTARY. AND WHAT IS REQUIRED BY ANY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. WORK NOT COMPLETELY DELINEATED HEREON SHALL BE CONSTRUCTED OF THE SAME MATERIALS AND DETAILED SIMILARLY AS WORK SHOWN MORE COMPLETELY ELSEWHERE IN THE CONTRACT DOCUMENTS.
- B. BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE. THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- C. THE CONTRACT SUM AND THE CONTRACT TIME MAY BE CHANGED ONLY BY CHANGE ORDER TO THE CONTRACTOR SIGNED BY THE OWNER AND THE ARCHITECT. ANY WORK PERFORMED IN VARIANCE WITH THE CONTRACT DOCUMENTS AND NOT COVERED BY THE ARCHITECT'S WRITTEN ORDER FOR A MINOR CHANGE IN THE WORK OR A CHANGE ORDER, WILL NOT BE ACCEPTED.
- D. AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE HIS SPECIFICATIONS AND PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ARCHITECT. ANY SUBMISSION OR DISTRIBUTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT MAY BE CONSTRUED AS DEROGATION OF THE ARCHITECT COPYRIGHT OR OTHER RESERVED RIGHTS.
- 1.24 ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN, AS PUBLISHED BY THE STATE OF FLORIDA AND THE U.S. DEPARTMENT OF JUSTICE. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE STANDARDS.
- 1.25 THE GENERAL CONTRACTOR WILL OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- A. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN, REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- B. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION, OR INSTALLATION. C. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- 1.29 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.

2.0 CONSTRUCTION PLAN NOTES

- 2.1 PRIOR TO START OF CONSTRUCTION, GC SHALL COORDINATE SCHEDULING OF MEETINGS WITH HIS PROJECT PERSONNEL, THE OWNER'S REP(S). ARCHITECT, PROJECT MANAGER, OTHERS, FOR REVIEW OF PROJECT SCOPE, DESIGN INTENT, CONSTRUCTION QUALITY EXPECTED, MEANS AND METHODS & FINAL DISCUSSION OF DRAWINGS/DETAILS/QUESTIONS.
- 2.2 DIMENSIONS ON ARCHITECTURAL DRAWINGS ARE FINISH FACE TO FINISH FACE OF PARTITIONS, COLUMNS, ETC., OR TO WHERE SHOWN, UNLESS OTHERWISE NOTED (UON)
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION, DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS.
- 2.3 GC SHALL BE RESPONSIBLE FOR FIELD MEASURING OF EXISTING CONDITIONS PRIOR TO START OF WORK AND DURING CONSTRUCTION, AS NECESSARY, TO ASSURE CONSTRUCTION ADHERENCE TO DRAWINGS. BY ENTERING INTO A CONSTRUCTION CONTRACT FOR THIS WORK, GC SHALL INDICATE HIS FAMILIARITY WITH THE SITE/FIELD CONDITIONS.
- A. ALL 'HOLD' DIMENSIONS SHALL BE MONITORED TO ASSURE CORRECTNESS.
- B. ANY DIMENSION REVISIONS/MODIFICATIONS ARE TO BE BROUGHT TO THE ATTENTION OF ARCHITECT, PROJECT MANAGER FOR REVIEW/APPROVAL
- 2.4 ALL VERTICAL DIMENSIONS SHALL BE TAKEN FROM "BENCH MARK" OR OTHER SIMILAR GUIDE ESTABLISHED PRIOR TO START OF CONSTRUCTION. HIGH POINTS, LOW POINTS, IRREGULARITIES IN FLOOR SLAB, PARTICULARLY, WHICH COULD IN ANY WAY AFFECT FABRICATION/INSTALLATION WORK OF OTHER TRADES OR VENDORS (E.G., CABINET CONTRACTORS), SHALL BE BROUGHT TO THE ATTENTION OF THE
- A. VARIATIONS IN FLOOR LEVEL IN EXCESS OF 1/2" FOR EVERY 10'-0" IN EVERY DIRECTION WILL REQUIRE LEVELING OF SLAB BY G.C. AS PREDICATED BY FINAL LEASE AGREEMENT. LEVELING OF SLAB TO BE DONE READY TO RECEIVE ARCHITECT FLOOR FINISHES, I.E. VINYL TILE FLOORS, CARPETING, ETC. GENERAL CONTRACTORS TO VERIFY SLAB CONDITION PRIOR TO BID SUBMISSION.
- 2.5 GC SHALL DEMOLISH EXISTING MATERIALS AND VARIOUS OTHER ELEMENTS AS INDICATED ON PLAN AND COORDINATE THE REMOVAL OF ALL RELATED ELECTRICAL SERVICE, PLUMBING AND ALL OTHER APPURTENANCES INCLUDED THEREIN, REFER TO GENERAL DEMOLITION
- 2.6 GC SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS AND FOR THE RETURN OF ANY BUILDING STANDARD COMPONENTS IF REQUESTED BY THE BUILDING MANAGEMENT UNLESS OTHERWISE NOTED
- 2.7 ALL CONVENTIONAL DRYWALL CONSTRUCTION, FURRING, SHEATHING, THIS CONTRACT, SHALL BE AS DETAILED (REFER TO LEGEND ENTRIES, ON CONSTRUCTION PLAN). DRYWALL JOINTS SHALL BE TAPED/SPACKLED LEVEL. EXTERIOR CORNERS SHALL RECEIVE METAL CORNER REINFORCING BEAD AND BE SPACKLED IN A CONVENTIONAL MANNER. NO HORIZONTAL DRYWALL JOINTS SHALL BE ACCEPTED UNLESS APPROVED BY ARCHITECT. BUTTED, UNTAPED DRYWALL JOINTS ARE NOT ACCEPTABLE. FULL HEIGHT GYPSUM BOARD SHEETS SHALL BE USED THROUGHOUT FOR
- A. ALL NEW DRYWALL CONSTRUCTION SHALL BE PROPERLY PREPARED TO RECEIVE SPECIFIED FINISH MATERIAL(S) IN A MANNER FULLY ACCEPTABLE TO THE ARCHITECT. B. TAPED JOINTS, CORNERS, 'DIMPLES' OR SCREW HEADS SHALL BE SPACKLED SMOOTH AND LEVEL WITH ADJACENT GYPSUM BOARD SURFACE. NO BULGING OR UNEVEN FINISHED DRYWALL WILL BE
- ACCEPTED.

FULL HEIGHT CONSTRUCTION.

2.8 NOT USED 2.9 NOT USED

ON CD'S.

CONSTRUCTION PLAN NOTES (CONT)

- 2.10 GC SHALL PROVIDE GENERAL CARPENTRY AS REQUIRED FOR WORK WHICH MAY NOT FALL INTO JURISDICTION OF A SPECIFIC TRADE, BUT IS REQUIRED FOR PROPER JOB EXECUTION AND COMPLETION OF CONSTRUCTION.
- 2.12 ANY ACCESS PANELS REQUIRED IN ANY CONSTRUCTION THIS CONTRACT SHALL BE APPROVED AS TO SPECIFIC SIZE, LOCATION, FINISH, BY ARCHITECT
- 2.13 GC, SUBCONTRACTORS, AND ALL VENDORS ARE TO VERIFY ALL CLEARANCES (CORRIDORS, STAIRS, ELEVATORS, ETC.) REQUIRED FOR DELIVERIES AND PASSAGE OF ALL JOB MATERIALS/EQUIPMENT PER
- LANDLORD'S RULES & REGULATIONS. A. GC SHALL SCHEDULE FOR AND INCLUDE COSTS/ FEES NECESSARY FOR USE OF BUILDING ELEVATOR OR ANY SPECIAL CARTAGE, RIGGING, HOISTING, DELIVERIES, TRANSPORTATION,
- CONNECTED WITH CONTRACT WORK. B. GC SHALL COORDINATE CLOSELY WITH VARIOUS VENDORS OR CONTRACTORS, REGARDING INFORMATION IN PART
- 2.14 EXISTING FINISHES IN ANY AREA OF THIS PROJECT SHALL BE PATCHED AND REPAIRED AS REQUIRED IF DAMAGED IN ANY MANNER DURING CONSTRUCTION AND BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT & THE BUILDING OWNER.
- 2.15 NOT USED 2.16 ALL SUBSTITUTIONS, L.E., "FQUALS" MUST BE SUBMITTED TO ARCHITECT/OC PROJECT MANAGER FOR WRITTEN APPROVAL PRIOR TO SUBSTITUTION.

3.0 FINISHES

"A" NOTE ABOVE

2.11 NOT USED

- 3.1 ALL FINISH MATERIAL INDICATED ARE TO BE BY GC: UNLESS OTHERWISE NOTED (UON) IN FINISH SCHEDULES, FINISH PLAN AND SPECIFICATIONS.
- 3.2 GC SHALL DETERMINE AVAILABILITY OF ALL FINISH MATERIALS. ANY DELIVERY SCHEDULE THAT POTENTIALLY MAY CAUSE COORDINATION PROBLEMS DURING THE FINAL STAGES OF CONSTRUCTION/INSTALLATION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/CLIENT OR PROJECT MANAGER, EARLY ON, FOR POSSIBLE RE-EVALUATION OF MATERIAL DESIGNATION.
- 3.3 A MINIMUM QUANTITY OF TWO (2) 1'-0" X 1'-0" FINISH SAMPLES OF ALL SPECIFIED FINISHES SHALL BE PROVIDED FOR APPROVAL PRIOR TO ORDERING.
- 3.4 UPON COMPLETION OF CONSTRUCTION, GC SHALL REMOVE ALL PAINT, SEALANT, ETC., FROM WHERE IT HAS SPILLED, SPLASHED, OR
- 3.5 GC SHALL PROVIDE AND MAINTAIN COMPLETE PROTECTION FOR ALL NEW INSTALLED FINISHES AND SURROUNDING CONSTRUCTION. EXISTING OR NEW, UNTIL ALL CONSTRUCTION WORK IS COMPLETE. PROTECTION SHALL BE REMOVED ONLY IMMEDIATELY PRIOR TO JOB COMPLETION.
- 3.6 GC AND ALL VENDORS/SUBCONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS, QUANTITIES ETC., OF THEIR RESPECTIVE WORK.
- 3.7 ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE. LEVEL, AND PLUMB AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- 3.8 MATERIALS SHALL BE AS SPECIFIED AND BE OF THE HIGHEST QUALITY IN ACCORDANCE WITH ACCEPTED COMMERCIAL AND INDUSTRY STANDARDS.
- 3.9 SUITABLE MOISTURE RESISTANT/WATERPROOF SUBSTRATES SHALL BE USED TO PREVENT FAILURE DUE TO MOISTURE CONDITIONS.
- 3.10 DIMENSIONS FOR NEW WORK SHALL BE FIELD VERIFIED BY GC IN ALL INSTANCES OF WORK RELATED TO THE SCOPE OF WORK.
- 3.11 INSTALLATION OF NEW COMPOSITE ALUM. PANELS SHALL BE EXECUTED IN A NEAT, WORKMAN LIKE MANNER WITHOUT DAMAGE TO ADJACENT CONSTRUCTION OR SURFACES. PIECES SHALL BE SCRIBED TO FIT AND ANCHORED TO STRUCTURE PER **ENGINEERING**
- 3.12 COMPOSITE ALUMINUM PANEL SIZES AND CONNECTING DETAILS (INCLUDING JOINT SEALANT) SHALL BE APPROVED BY THE PROJECT ENGINEER, CLIENT/OWNER, AND/OR ARCHITECT.

4.0 NOT USED

6.0 NOT USED

7.0 NOT USED

8.0 OWNER/CLIENT/LANDLORD

- 8.1 GC SHALL OBTAIN A COPY OF THE OWNER/CLIENT/LANDLORDS' RULES AND REGULATIONS AND COMPLY WITH THEM IN ALL MATTERS RELATED THE SCOPE OF WORK.
- 8.2 GC SHALL COORDINATE DEMOLITION AND REMOVALS WITH THE OWNER/LANDLORD'S RULES AND REGULATIONS AND SHALL NOT DISRUPT ELECTRICAL, HVAC, PLUMBING, AUDIO/VISUAL, TELEPHONE, FIRE PROTECTION, COMPUTER EQUIPMENT, SIGNAL, OR OTHER NORMAL FUNCTIONS OF BUILDING OCCUPANTS. SHUTDOWNS OR TEMPORARY SERVICE CURTAILMENT SHALL REQUIRE WRITTEN AUTHORIZATION BY OWNER
- 8.3 GC AND SUB-CONTRACTORS TO OBEY AND REGARD ALL BUILDING RULES AND REGULATIONS CONCERNING DEMOLITION AND NOISE RESTRICTIONS. CUTTING, CHASING, DRIVING AND/OR OTHER NOISE PRODUCING ACTIVITIES SUCH AS: DEMOLITION OF WALLS, SLABS, ETC. REQUIRING THE USE OF JACKHAMMERS OR OTHER HEAVY TOOLS SHALL BE SCHEDULED AND EXECUTED IN ACCORDANCE WITH THE REGULATIONS AS SET FORTH BY BUILDING MANAGEMENT, AND/OR OWNER.
- 8.4 USE DESIGNATED FREIGHT ELEVATOR ONLY. PROVIDE PROTECTION OF INTERIOR FINISHES DURING DEMOLITION/CONSTRUCTION. REFER TO OWNER/LANDLORD RULES
- AND REGULATIONS 8.5 GC TO MAINTAIN ACCESS THROUGH LOADING DOCK AT ALL TIMES. VERIFY WITH BUILDING MANAGEMENT, OWNER/LANDLORD THE NUMBER OF VEHICLES AND/OR DUMPSTERS PERMITTED IN THE LOADING DOCK AREA AT ONE TIME.
- 8.6 THE GENERAL CONTRACTOR (GC) SHALL COORDINATE ALL RECYCLING AND ALL DISPOSAL OF ALL DEMOLISHED MATERIAL AND EQUIPMENT WITH THE DEMOLITION WASTE MANAGEMENT PLAN AND COMPANY PRIOR TO REMOVAL AND DEMOLITION OF MATERIALS AND EQUIPMENT. COMPLY WITH LEED REQUIREMENTS IF APPLICABLE.
- 8.7 NOT USED 8.8 NOT USED
- 8.9 MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, WALLS/PARTITIONS, SPRAYED FIRE PROOFING, ETC) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, ASSEMBLIES, BEAMS, AND FLOOR SLAB.
- OWNER PRIOR TO PERFORMING SHUTDOWNS IN UTILITY SERVICE 8.11 PROTECT ALL EXTERIOR WINDOWS (FRAME AND GLAZING). ELEVATORS (CAB AND SHAFT), STAIRS, AND RESTROOMS FROM DAMAGE DURING DEMOLITION, CONSTRUCTION, AND MOVE IN

8.10 COORDINATE ALL SHUTDOWNS IN UTILITY SERVICE WITH

8.12 REFER TO ENGINEERING DISCIPLINE DOCUMENTS FOR SCOPE OF DEMOLITION OF STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, SPECIAL, SYSTEMS, ETC.

9.0 NOT USED

10.0 NOT USED

11.0 NOT USED

12.0 AS-BUILT RECORD DRAWINGS

- 12.1 GC TO PROVIDE ARCHITECT WITH FULL SIZED RED-LINED AND CLOUDED MARKED-UP DRAWINGS AT EVERY SITE VISIT. DRAWINGS SHALL SHOW ANY FIELD MODIFICATIONS THAT DIFFER FROM THE PERMIT CONSTRUCTION DOCUMENTS.
- 12.2 THIS RUNNING SET OF AS-BUILTS WILL BE USED AT COMPLETION OF PROJECT TO PROVIDE THE CLIENT WITH AN ACCURATE SET OF RECORD DRAWINGS.

13.0 NOT USED

5.0 MATERIALS/DELIVERIES

- 5.1 GC TO VERIFY CAPACITIES AND DIMENSIONS OF FREIGHT ELEVATORS AND THE DELIVERY PATH TO THE WORK AREA(S) PER OWNER/LANDLORD'S RULES AND REGULATIONS TO ASSURE ADEQUATE PASSAGE.
- 5.2 COMPLIANCE WITH LOCAL CODES AND ORDINANCES SHALL BE THE RESPONSIBILITY OF THE GC (INCLUDING PAYMENT OF ANY FINES FOR NON-COMPLIANCE).
- 5.3 PROTECTION SHALL BE PROVIDED BY THE GC FOR ALL SURFACES SUSCEPTIBLE TO DAMAGE DURING DELIVERY. GC SHALL BE RESPONSIBLE TO CORRECT ANY DAMAGES CAUSED BY DELIVERY.
- 5.4 CONTRACTOR SHALL COORDINATE ALL DELIVERIES WITH OWNER.

14.0 SHOP DRAWINGS

- 14.1 THE CONTRACTOR SHALL REVIEW FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPROVE AND SUBMIT TO THE ARCHITECT SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS REQUIRED BY THE CONTRACT DOCUMENTS IN ACCORDANCE WITH THE SUBMITTAL SCHEDULE APPROVED BY THE ARCHITECT OR, IN THE ABSENCE OF AN APPROVED SUBMITTAL SCHEDULE, WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK OR IN THE ACTIVITIES OF THE OWNER OR OF SEPARATE CONTRACTORS.
- BY SUBMITTING SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS, THE CONTRACTOR REPRESENTS TO THE OWNER AND ARCHITECT THAT THE CONTRACTOR HAS (1) REVIEWED AND APPROVED THEM, (2) DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA RELATED THERETO. OR WILL DO SO AND (3) CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS.

ARCHITECTURAL DESIGN COLL

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Architect • Seal/Signature

AA-C001315 STATE OF FLORIDA ALBERT JOSEPH COOPER III. R.A.

AR-0010460

Drawn By Checked By



OCCC North/South Building Vaulted Roofs Cap Replacemen

ssue Date & Issue Description

ORANGE COUNTY CONVENTION CENTER 9400 UNIVERSAL BLVD. ORLANDO, FL 32819

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Client Information CAPITAL PLANNING

Project Number **Issue Date** 03/22/2018 Drawn By **Project Status** CONSTRUCTION DOCUMENTS Checked By Scale

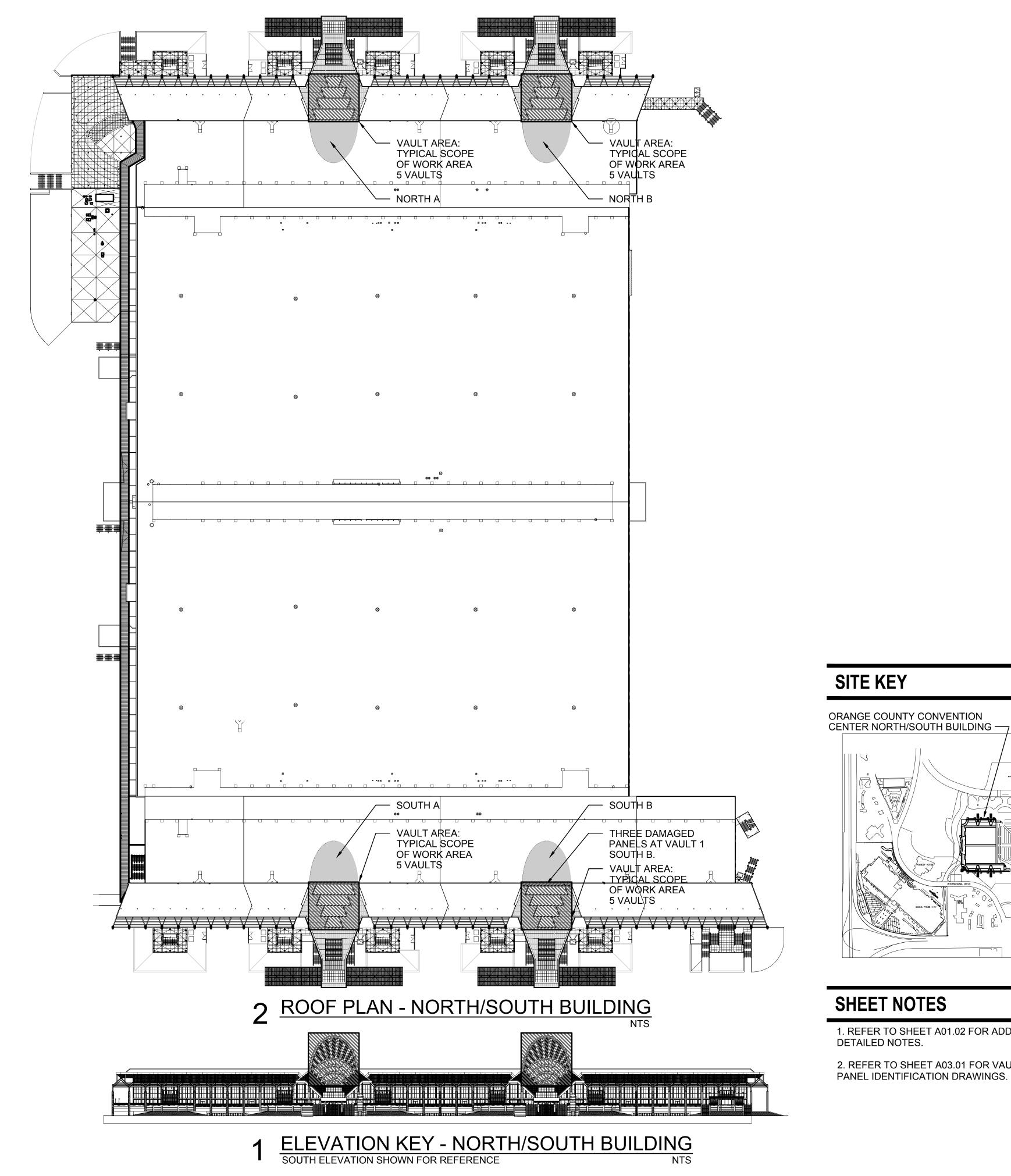
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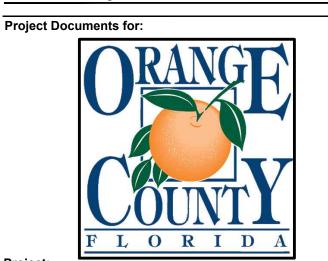
GENERAL NOTES



ARCHITECTURAL DESIGN COLLABORATIVE 945 N. PENNSYLVANIA AVENUE WINTER PARK, FLORIDA 32789 OFFICE: (407) 629-1188 FAX: (407) 388-1220 WWW. ADCINTERNATIONAL.NET

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AA-C001315 AR-0010460



OCCC North/South Building Vaulted Roofs Cap Replacement ORANGE COUNTY CONVENTION CENTER 9400 UNIVERSAL BLVD. ORLANDO, FL 32819

Issue Date & Issue Description Drawn By Checked By

Client Information CAPITAL PLANNING

Project Number

17290 **Drawn By** 03/22/2018 Project Status CONSTRUCTION DOCUMENTS
Scale Checked By NTS

Issue Date

File Name

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SHEET NOTES

SITE KEY

1. REFER TO SHEET A01.02 FOR ADDITIONAL DETAILED NOTES.

2. REFER TO SHEET A03.01 FOR VAULT AND PANEL IDENTIFICATION DRAWINGS.

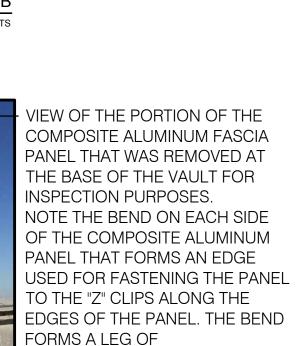
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OVERALL KEY PLANS

A01.01



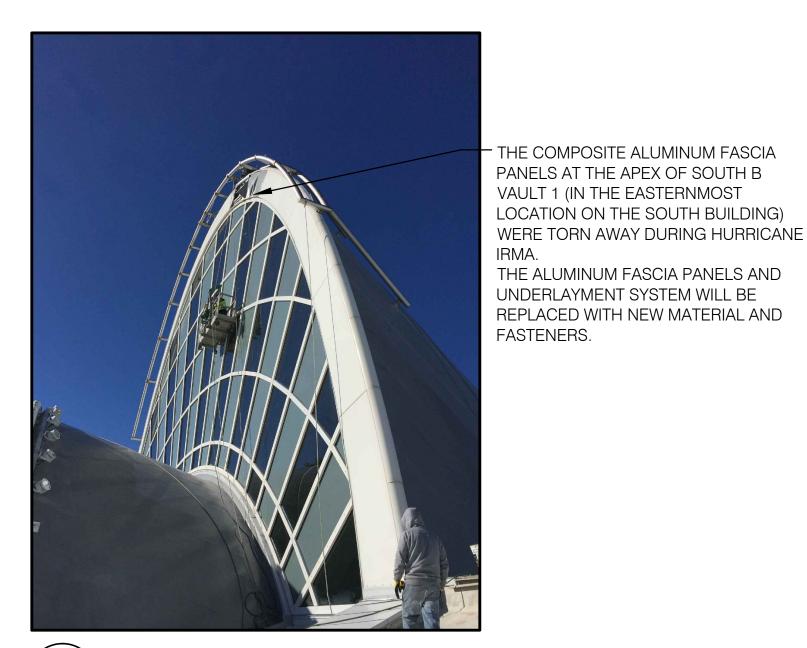




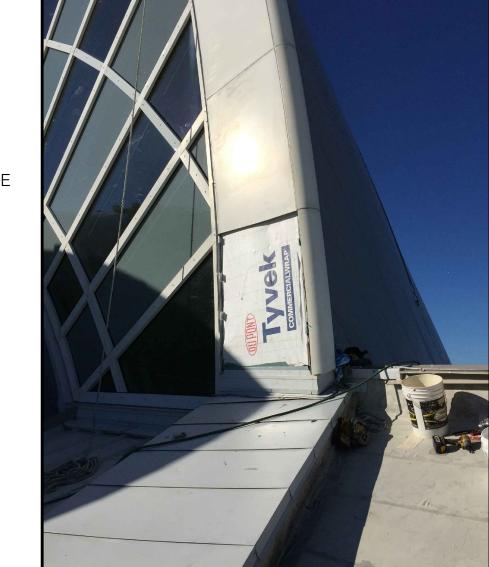
VIEW OF THE PORTION OF THE COMPOSITE ALUMINUM FASCIA PANEL THAT WAS REMOVED AT THE BASE OF THE VAULT FOR INSPECTION PURPOSES. NOTE THE APPLICATION OF METAL STIFFENER RIBS ADHERED TO THE BACK OF THE COMPOSITE PANEL AND THE "Z" CLIP ALONG THE EDGE OF THE PANEL THAT REMAINED ATTACHED TO THE PANEL EDGE AFTER REMOVAL. "Z" CLIPS ARE POP RIVETED TO THE PANEL LEGS WITH TWO RIVETS PER

APPROXIMATELY 1". —





SOUTH BUILDING - EAST VAULT OR SOUTH B A01.01 VIEW LOOKING WEST



SOUTH BUILDING - EAST VAULT OR SOUTH B



4 \SOUTH BUILDING - EAST VAULT OR SOUTH B (A01.01) VAULT STARTING PANEL VIEW LOOKING NORTH



WAS REMOVED TO INVESTIGATE THE ORIGINAL FASTENING/CONNECTION METHOD. THE COMPOSITE ALUMINUM FASCIA PANELS ARE ATTACHED TO ALUMINUM "Z" CLIPS WITH POP RIVETS. THE "Z" CLIPS ARE SCREWED TO METAL

TRACK THAT IN TURN ARE FASTENED TO HEAVIER STEEL STRUCTURE. EDGE CONDITIONS ARE CAULKED CONTINUOUSLY. THE FASCIA PANELS ARE INSTALLED OVER AN UNDERLAYMENT SYSTEM OF TYVEK BUILDING WRAP OVER DENSGLASS.

DETAIL VIEW OF THE UNDERLYING CONDITION BEHIND THE COMPOSITE ALUMINUM FASCIA

PANEL AT THE BASE OF SOUTH B VAULT 1 (IN

NOTE THE ALUMINUM "Z" CLIPS. THE "Z" CLIPS

ARE SCREWED TO METAL TRACK THAT IN TURN

ARE FASTENED TO HEAVIER STEEL STRUCTURE.

CONTINUOUSLY. THE UNDERLAYMENT SYSTEM

OF TYVEK BUILDING WRAP OVER DENSGLASS IS

THE ORIGINAL FASTENING/CONNECTION

EDGE CONDITIONS ARE CAULKED

METHOD.

VISIBLE.

THE EASTERNMOST LOCATION ON THE SOUTH

BUILDING) THAT WAS REMOVED TO INVESTIGATE

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OCCC North/South Building Vaulted Roofs Cap Replacement ORANGE COUNTY CONVENTION CENTER 9400 UNIVERSAL BLVD. ORLANDO, FL 32819

Issue Date & Issue Description

Client Information E CAPITAL PLANNING

> **Project Number** Issue Date 03/22/2018 Drawn By Project Status CONSTRUCTION DOCUMENTS Checked By NTS

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PICTURES OF EXISTING CONDITIONS

(A01.01) VAULT STARTING PANEL BACKSIDE - STIFFENERS

SOUTH BUILDING - EAST VAULT OR SOUTH B

SHEET NOTES

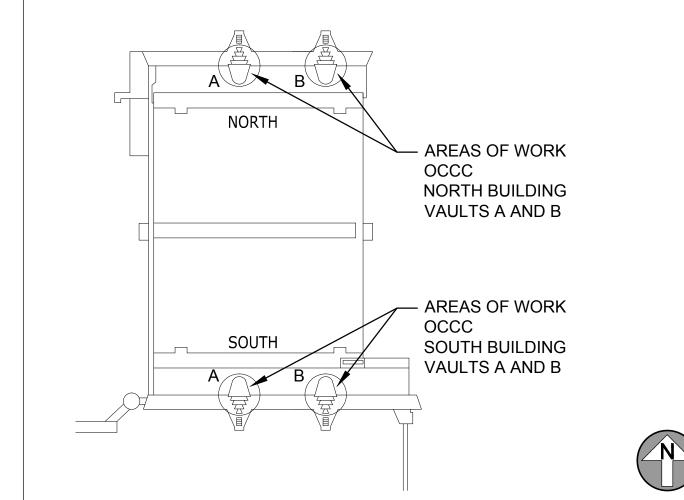
PROJECT MANAGER.

- MANUFACTURE AND INSTALL NEW COMPOSITE ALUMINUM PANELS AND REPLACE MISSING/DAMAGED COMPOSITE ALUMINUM PANELS. NUMBER OR OTHERWISE IDENTIFY REPLACEMENT PANELS WITH METHOD INDICATED ON SHEET A03.01 OR ALTERNATE METHOD ACCEPTABLE TO THE OCCC PROJECT MANAGER. PROTECT EXISTING ROOF AND ROOF ACCESSORIES, LIGHTING, GLAZING, AND
- B. OTHER BUILDING SYSTEMS DURING CONSTRUCTION INCLUDING EXISTING COMPOSITE ALUMINUM PANELS.
- CONTRACTOR TO RESTORE TO LIKE NEW CONDITION ANY ROOFING, BUILDING C. SYSTEM, GLAZING SYSTEM, PANEL, ETC. DAMAGED DURING CONSTRUCTION OR AFFECTED BY NEW CONSTRUCTION.
- USE FALL ARREST METHODS, TOOL TIE OFF METHODS, AND/OR TECHNIQUES AND COMPLY WITH OSHA STANDARDS THROUGHOUT THE CONSTRUCTION PERIOD. CONSIDER AND EMPLOY NOISE REDUCTION TECHNIQUES WHEN APPROPRIATE AS E. THE BUILDING COULD BE IN USE DURING CONSTRUCTION. COORDINATE WITH OCCC
- GC TO COORDINATE ALL DISCIPLINES TO MEET CONSTRUCTION DEADLINES.
- COORDINATE ACCESS TO BUILDING AS NEEDED WITH OCCC PROJECT MANAGER. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR COMPOSITE ALUMINUM

PANEL ATTACHMENT DETAILS AND STRUCTURAL NOTES.

H. REFER TO PROJECT MANUAL/SPECIFICATIONS FOR MORE INFORMATION.

KEY PLAN



Sheet Title:

EXISTING CONDITIONS AND KEY PLAN

A01.02



VAULT AREAS, PANEL REPLACEMENT, AND TESTING:

THE PROJECT IS LOCATED AT THE ORANGE COUNTY CONVENTION CENTER, NORTH/SOUTH BUILDING, EXTERIOR, ROOF LEVEL. THE PROJECT SCOPE IS TO REPLACE COMPOSITE ALUMINUM PANELS THAT WERE TORN FROM THE FACE OF THE EXISTING SOUTH B, ROOF VAULT DURING HURRICANE IRMA AND AS DISCOVERED THROUGH TESTING TO BE IN NEED OF REPLACEMENT. THE REPLACEMENT PROCESS WILL IMPACT AT A MINIMUM, THREE PANELS ON ONE OF THE FOUR EXISTING ROOF VAULTS; THE EASTERNMOST VAULT ON THE SOUTH BUILDING OR SOUTH B, VAULT 1.

THERE ARE FOUR VAULT AREAS; TWO ON THE NORTH BUILDING AND TWO ON THE SOUTH BUILDING. THE NORTH BUILDING EAST VAULT IS "NORTH B" AND THE WEST VAULT IS "NORTH A". CONVERSELY THE SOUTH BUILDING EAST VAULT IS "SOUTH B" AND THE WEST VAULT IS "SOUTH A".

THERE IS A TOTAL OF TWENTY VALUETS OR FIVE VALUETS PER VALUET.

THERE IS A TOTAL OF TWENTY VAULTS OR FIVE VAULTS PER VAULT AREA.

THE VAULTS AND PANELS ARE NUMBERED AND LETTERED IN THE DRAWINGS ON SHEET A03.01. THE SMALLEST VAULT HAS 4 PANELS, THE TWO NEXT LARGEST VAULTS HAVE SIX PANELS EACH. THE NEXT LARGEST VAULT HAS 8 PANELS AND THE LARGEST VAULT HAS TWELVE PANELS. THERE ARE 36 PANELS PER VAULT AREA FOR A TOTAL OF 144 PANELS.

THE PROJECT PROCESS: OCCURS ONLY AT SOUTH B

- 1. CONTRACTOR REMOVES THREE DAMAGED PANELS AT SOUTH B, ARCH 1 (HIGHEST ARCH).
- 2. CONTRACTOR PROVIDES AND INSTALLS NEW PANELS TO
- REPLACE THE DAMAGED PANELS ON THOSE THREE LOCATIONS.

 3. CONTRACTOR PROVIDES AND INSTALLS THE NEW BENT PLATES
- 3. CONTRACTOR PROVIDES AND INSTALLS THE NEW BENT PLATES (DETAIL 3/S-101), IN ALL OF THE PANELS AT ALL THE VAULTS OF SOUTH B.
- 4. CONTRACTOR RE-INSTALLS THE ROUNDED CAP AT ALL THE VAULTS OF SOUTH B.

ALL VAULTS AT SOUTH A, NORTH A, AND NORTH B:

- 1. CONTRACTOR REMOVES ROUNDED CAPS AT ALL OF THE FIVE VAULTS AT SOUTH A, NORTH A, AND NORTH B.
- 2. CONTRACTOR INSTALLS THE NEW BENT PLATES (DETAIL 3/S-101) IN ALL THE PANELS AT ALL THE VAULTS OF SOUTH A, NORTH A, AND NORTH B.
- 3. CONTRACTOR RE-INSTALLS ALL THE ROUNDED CAPS AT ALL THE VAULTS OF SOUTH A, NORTH A, AND NORTH B.
- 4. UNIVERSAL ENGINEERING PERFORMS THE "PULL TEST" ON ALL PANELS AT ALL THE VAULTS OF ALL THE SIDES; NORTH A, NORTH B, SOUTH A, AND SOUTH B.

NEW COMPOSITE ALUMINUM FASCIA PANELS WILL BE FABRICATED TO REPLACE MISSING PANELS AND A NEW ATTACHMENT METHOD HAS BEEN DESIGNED. SEE SHEET S-101.

PANELS SUSTAINED HURRICANE DAMAGE:

VAULT 1 NEAR THE APEX. REPLACE WITH NEW.

TWO COMPOSITE ALUMINUM PANELS WERE TORN FROM

NEW PANELS WILL BE INSTALLED OVER A NEW UNDERLAYMENT SYSTEM OF DENSGLASS AND BUILDING WRAP IN KEEPING WITH THE EXISTING SYSTEM. THE SCOPE IS A REPAIR/REPLACEMENT PROCESS. THE EXISTING ROOF VAULTS ARE NOT BEING EXPANDED OR ALTERED EXCEPT TO AFFECT REPAIRS. THIS IS PRIMARILY AN EXTERIOR REPAIR PROJECT WITH BOTH WEATHERPROOFING AND AESTHETIC IMPLICATIONS.

2 ELEVATION - SOUTH B - VAULT 1

PANEL REPAIR/REPLACEMENT AT SOUTH B - VAULT 1 SCALE: 3/32" = 1'-0"

SOUTH B

OUTLINE OF PROPOSED SEQUENCING, POST CONTRACTOR SELECTION:

1. THE SELECTED CONTRACTOR PROVIDES AND SETS UP RIG/ SCAFFOLDING/BRACING AS NEEDED FOR UNIVERSAL ENGINEERING SCIENCES TO PERFORM TESTING AT EACH VAULT AND ON EACH PANEL.

2. UNIVERSAL ENGINEERING SCIENCES PERFORMS TESTING AND SUBMITS RESULTS TO CIP AND A&E TEAM FOR REVIEW.

3. CIP AND A&E TEAM EVALUATE TEST RESULTS AND DIRECT SELECTED CONTRACTOR TO PERFORM WORK TO REPLACE SPECIFIC PANELS.

4. SELECTED CONTRACTOR USES A&E DETAILS/DESIGN SOLUTIONS TO MAKE THE REPLACEMENT/REPAIRS.

NOTE:
SEE SHEET A03.01 FOR ENLARGED ELEVATIONS OF THE FOUR VAULT AREAS AND THE VAULT NUMBERING AND PARE LIDENTIFICATION DRAWINGS.

TYPICAL LARGE VAULT.
EACH LARGE VAULT HAS 12
SECTIONS OF COMPOSITE
ALUMINUM PANELS.

SOUTH B

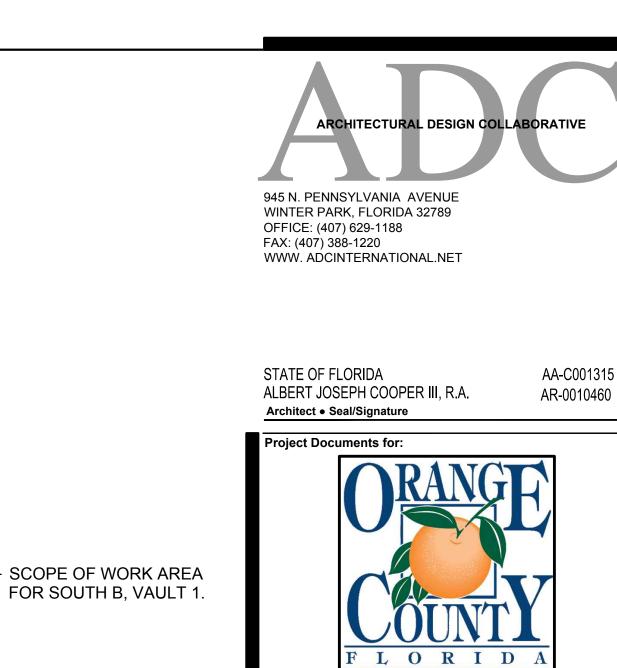
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ELEVATION KEY - NORTH/SOUTH BUILDING

VIEW OF SOUTH ELEVATION OF THE SOUTH BUILDING

SCALE: 1/64" = 1'-0"

NOTE:
DRAWINGS ARE PRESENTED FOR GRAPHIC PURPOSES ONLY AND AS A KEY PLAN/ELEVATION FOR REFERENCE OF LOCATION AND GENERAL AESTHETIC.



9400 UNIVERSAL BLVD. ORLANDO, FL 32819

SCOPE OF WORK AREA

FOR SOUTH B, VAULT 1.

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OCCC North/South Building Vaulted Roofs Cap Replacement ORANGE COUNTY CONVENTION CENTER

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17290 03/22/2018

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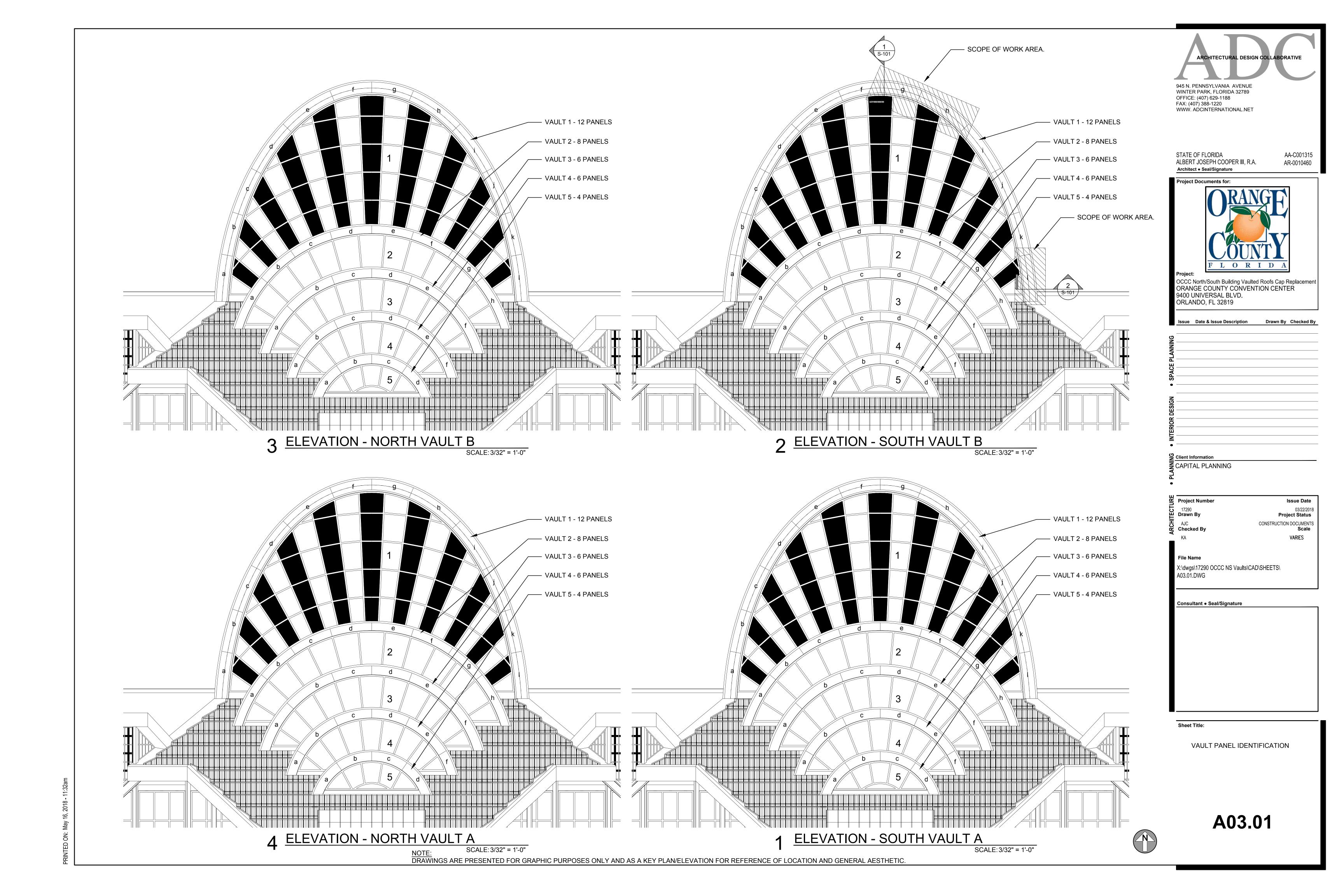
CAPITAL PLANNING

Sheet Title:

EXTERIOR ELEVATIONS

A02.01





- A. CODES: FLORIDA BUILDING CODE 2017 AND ALL APPLICABLE LOCAL CODES. B. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, SHOP DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE ALL ELEVATIONS AND DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL COMPARE ALL CONTRACT DRAWINGS AND REPORT ANY DISCREPANCY BETWEEN DISCIPLINES AND WITHIN A GIVEN DISCIPLINE TO THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE AFFECTED
- C. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONTRACT DOCUMENTS AND LATEST ADDENDA AND TO SUBMIT TO ALL SUBCONTRACTORS AND SUPPLIERS PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.
- D. IF A CONFLICT EXISTS AMONG THE STRUCTURAL DRAWINGS, GENERAL NOTES, OR THE SPECIFICATIONS, THE STRICTEST REQUIREMENTS, AS INDICATED BY THE ENGINEER, SHALL
- E. UNLESS OTHERWISE NOTED, DETAILS SHOWN ON ANY DRAWING ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS. THE APPLICABILITY OF THE DETAIL TO ITS LOCATION CAN BE DETERMINED BY THE TITLE OF THE DETAIL. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE REFERENCED AT EACH LOCATION.
- F. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND FOR SAFETY PRECAUTIONS AND PROGRAMS. DURING THE CONSTRUCTION PROCESS, IT SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE AND TO PROTECT FROM DAMAGE ANY PORTIONS THAT ARE TO
- G. CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND THE PUBLIC DURING DEMOLITION AND ERECTION OF THE NEW CONSTRUCTION.
- H. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING OF STRUCTURE AS REQUIRED, AS WELL AS TEMPORARY SHORING OR SUPPORTS TO ALLOW THE OWNER'S MATERIAL TESTING COMPANY TO PERFORM ALL REQUIRED TESTING ON THE METAL PANELS. THE DETAILS AND ENGINEERING OF SHORING, BRACING AND OTHER CONSTRUCTION REQUIRED FOR SUCH WORK AND THE PHASING, STAGING, AND SEQUENCE OF SUCH OPERATION SHALL BE PREPARED IN THE FORM OF SHOP OR DETAIL DRAWINGS BY A PROFESSIONAL ENGINEER, RETAINED BY THE CONTRACTOR OR SUB-CONTRACTOR. SEE SECTION "O. SUBMITTALS" FOR ADDITIONAL
- I. BASE CONSULTANTS, INC., SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSION OF THE CONTRACTOR OR FOR THEIR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- J. DESIGN WIND LOADS FOR STRENGTH DESIGN WITH A LOAD FACTOR OF 1.0: BASIC WIND SPEED 149 MPH
- **EXPOSURE** STRUCTURAL CATEGORY

WIND PRESSURES TAKEN FROM SHEET S0.001 OF ORANGE COUNTY CONVENTION CENTER PHASE V

COMPOSITE STRUCTURAL SET DATED DECEMBER 4, 2000.

COMPONENTS AND CLADDING WIND PRESSURES NOMINAL WIND PRESSURE

STRUCTURAL NOTES

NEW METAL PANELS

SEE ARCH.

EXISTING LIGHT GAGE

EXISTING WINDOW

BENT PLATE

WHERE BENT PLATE IS MISSING.

(NOTE 1)

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K. DESIGN ROOF LOADS:

1. LIVE LOAD: 20 PSF L. LIGHT GAUGE STEEL

- 1. STEEL STUDS SHALL BE C-STUDS WITH A MINIMUM YIELD OF 33,000 PSI FOR 18 AND 20 GAUGE, AND 50,000 PSI FOR 14 AND 16 GAUGE. STUDS SHALL BE OF THE SIZE, GAUGE, AND SPACING SHOWN ON THE DRAWINGS. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS ADEQUATE FOR DEVELOPMENT OF THE FULL MOMENT CAPACITY OF THE STUDS. FOR LOAD-BEARING STUDS, TRACK SHALL BE OVERSIZE TO PROVIDE FULL STUD BEARING. SCREWS SHALL BE ELCO DRIL-FLEX, HILTI KWIK-FLEX, OR APPROVED.
- 2. DESIGN AND MANUFACTURE LIGHT GAUGE METAL FRAMING, INCLUDING ALL CONNECTIONS, ANCHORAGE HARDWARE, AND FASTENERS IN ACCORDANCE WITH REQUIREMENTS OF AISI SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS (LATEST EDITION) OR THE AISI LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATION FOR COLD-FORMED STEEL STRUCTURAL MEMBERS (LATEST EDITION) AND THE RECOMMENDATIONS OF THE LIGHT GAUGE METAL WALL FRAMING MANUFACTURER.
- 3. STEEL STUDS AND RUNNER TRACK MEMBERS SHALL CONFORM TO ASTM A446 GRADE C (MINIMUM YIELD POINT 40,000 PSI) WITH HOT DIPPED GALVANIZED COATING CONFORMING TO
- 4. ALL FRAMING MEMBERS SHALL BE CUT SQUARELY. MEMBERS SHALL BE HELD FIRMLY IN PLACE UNTIL PROPERLY JOINED. JOINING OF MEMBERS SHALL BE MADE WITH SELF-DRILLING SCREWS. WIRE TYING OF FRAMING MEMBERS SHALL NOT BE PERMITTED. ATTACHMENT OF MATERIALS TO FRAMING MEMBERS SHALL BE MADE WITH SELF DRILLING SCREWS.
- 5. STUDS SHALL SIT SQUARELY IN THE TOP AND BOTTOM RUNNER TRACKS WITH FIRM ABUTMENT AGAINST TRACK WELDS. STUDS SHALL BE PLUMB AND SECURELY FASTENED TO THE FLANGES OF BOTH TOP AND BOTTOM RUNNER TRACKS. M. SPECIALITY ENGINEERING REQUIREMENTS
- 1. THE FLORIDA STATE OF PROFESSIONAL ENGINEERS HAS ISSUED STATEMENTS ON RESPONSIBILITIES OF PROFESSIONAL ENGINEERS, IN ACCORDANCE WITH RULE21H-19.00(3 CERTAIN COMPONENTS OF THE STRUCTURE - SHORING OR SUPPORTS FOR PANEL TESTING REQUIRE THE WORK OF SPECIALTY ENGINEER FOR THE DESIGN OF THOSE COMPONENTS.
- N. EXISTING STRUCTURE 1. INFORMATION SHOWN ON THE DRAWINGS WAS TAKEN FROM THE DRAWINGS "ORANGE COUNTY CONVENTION CENTER PHASE V COMPOSITE STRUCTURAL SET" DATED DECEMBER 4, 2000, AND
- "ORANGE COUNTY CONVENTION CENTER PHASE V" DATED JANUARY 21, 2002. 2. WORK SHOWN ON THE DRAWINGS ASSUMES THAT THE ORIGINAL CONSTRUCTION WAS

- PERFORMED IN ACCORDANCE WITH THE ABOVE INDICATED ORIGINAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE CONDITIONS RELATING TO THE EXISTING STRUCTURE. INCLUDING DIMENSIONS, ELEVATIONS, MEMBER SIZES MATERIALS. DETAILS ETC., AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.
- O. SUBMITTALS 1. THE GENERAL CONTRACTOR SHALL PREPARE A DETAILED LIST AND SCHEDULE OF ALL SUBMITTAL ITEMS TO BE SENT TO THE STRUCTURAL ENGINEER PRIOR TO THE START OF
- CONSTRUCTION. 2. GENERAL CONTRACTORS SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING
- FOR REVIEW. 3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR ENGINEER AND HAVE THE ENGINEER'S SHOP DRAWING APPROVAL STAMP AFFIXED PRIOR TO FABRICATION.
- FABRICATION AND ERECTION SHALL BE FROM REVIEWED SHOP DRAWINGS. 4. A RECORD SET OF APPROVED SHOP DRAWINGS SHALL BE KEPT IN THE FIELD BY THE GENERAL CONTRACTOR.
- 5. ANY DEVIATION FROM, ADDITION TO, SUBSTITUTION FOR, OR MODIFICATION TO THE STRUCTURE OR ANY PART OF THE STRUCTURE DETAILED ON THE CONTRACT DOCUMENTS SHALL BE SUBMITTED IN WRITING TO THE ENGINEER FOR REVIEW. SHOP DRAWINGS SUBMITTED FOR REVIEW DO NOT CONSTITUTE "IN-WRITING" UNLESS IT IS CLEARLY NOTED THAT SPECIFIC
- CHANGES ARE BEING SUGGESTED. 6. THE CONTRACTOR SHALL PREPARE A LIST AND SCHEDULE OF ALL STRUCTURAL SUBMITTALS
- PRIOR TO CONSTRUCTION. 7. THE FOLLOWING SHOP DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR FOR THE

ENGINEER'S REVIEW: a. LIGHT GAUGE METAL

b. SHORING OR SUPPORTS FOR PANEL TESTING (*) ITEMS MARKED (*) SHALL HAVE SHOP DRAWINGS AND DESIGN CALCULATIONS SIGNED AND

- SEALED BY A REGISTERED ENGINEER IN THE STATE OF FLORIDA. 8. THE OMISSION FROM THE SHOP DRAWINGS OF ANY MATERIALS REQUIRED BY THE CONTRACT DOCUMENTS TO BE FURNISHED SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF FURNISHING AND INSTALLING SUCH MATERIALS, REGARDLESS OF WHETHER THE SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED.
- 9. THE USE OF ELECTRONIC FILES OR REPRODUCTIONS OF THESE CONTRACT DOCUMENTS BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES THEIR ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT, AND OBLIGATES THEMSELVES TO ANY JOB EXPENSE, REAL OR IMPLIED. ARISING DUE TO ANY ERRORS THAT MAY OCCUR HEREON.
- 10.REQUEST FOR INFORMATION (RFI) SHALL BE ORIGINATED BY THE CONTRACTOR AND SHALL BE SUBMITTED TO THE ENGINEER VIA ARCHITECT OR DIRECTLY TO ENGINEER WHEN APPROVED BY ARCHITECT. RFI SHALL BE SUBMITTED IN A PROMPT MANNER TO AVOID DELAYS IN THE CONTRACTORS WORK. RFI RESPONSES ARE NOT INTENDED TO AUTHORIZE ANY INCREASE IN CONSTRUCTION COST, SCHEDULE OR CONFLICT WITH APPLICABLE STANDARDS OR CODES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGN TEAM IMMEDIATELY OF ANY PERCEIVED COST, SCHEDULE OR SCOPE IMPACTS.

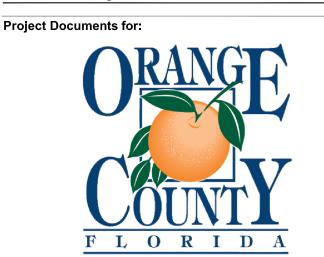


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CERTIFICATE OF AUTHORIZATION No. 27343 LAURA BARBERO-BUFFA, P.E. No. 74027

> 1214 EAST CONCORD STREET ORLANDO, FLORIDA 32803 P: 407.377.7227

STATE OF FLORIDA AA-C001315 ALBERT JOSEPH COOPER III, R.A. AR-0010460 Architect • Seal/Signature



OCCC North/South Building Vaulted Roofs Cap Replacement ORANGE COUNTY CONVENTION CENTER 9400 UNIVERSAL BLVD. ORLANDO, FL 32819

Issue Date & Issue Description Drawn By Checked By

Client Information CAPITAL PLANNING

Project Number Drawn By Checked By

FIle Name

Consultant ● Seal/Signature

LAURA ISABEL BARBERO BUFFA

Issue Date

Project Status

Construction Documents

Sheet Title:

GENERAL NOTES AND DETAILS

FLORIDA PE 74027

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~4" (NOTE 1) EXISTING HORIZONTAL STUDS FIELD VERIFY (NOTE 3) #10 SCREW EA. SIDE TOTAL 2 PER PLATE (NOTE 1) NEW METAL -- NEW 2" WIDE 16 GAUGE COLD ROLLED BENT PLATE PANELS AND SEE SECTION A-A GYPSUM SHEATHING SEE ARCH. (NOTE 4) EXISTING VERTICAL STUDS @ 16" O.C. FIELD VERIFY (NOTE 2) FIELD ADJUST DIMENSIONS AS REQUIRED. PROVIDE MIN. ½" EDGE DISTANCE FROM FASTENER TO EDGE OF STUD OR PLATE. 2. PROVIDE NEW 550S162-54 VERTICAL @ 16" O.C. IF VERTICAL STUD IS MISSING. ATTACH TO EXISTING STRUCTURAL STEEL W/ 0.157"Ø PDF @ 3" O.C. (MIN. EDGE DISTANCE $\frac{1}{2}$ ") 3. PROVIDE NEW (2)-550S162-54 BETWEEN EXISTING VERTICAL STUDS IF HORIZONTAL STUD IS 4. ATTACHMENT OF METAL PANEL TO LIGHT GAGE PLATE BY MANUFACTURER. PROVIDE MIN. $\frac{1}{2}$ " EDGE DISTANCE FROM FASTENER TO EDGE OF STUD OR PLATE. 5. REMOVE EXISTING CAP PRIOR TO INSTALLATION OF NEW GYPSUM SHEATHING AND NEW PANEL. PROTECT EXISTING CAP AND RE-INSTALL AFTER NEW SHEATHING AND PANEL HAVE BEEN INSTALLED. ATTACHMENT OF EXISTING CAP SHALL FOLLOW THE CURRENT CAP **EXISTING W18** FIELD VERIFY

EXISTING CAP (NOTE 5)

SCALE: N.T.S.

EXISTING ANGLE FIELD VERIFY **EXISTING LIGHT GAGE BENT** PLATE FIELD VERIFY NEW LIGHT GAGE PLATE (16 GAUGE) ATTACHED TO EXISTING ANGLE W/(2) 0.157"Ø PDF

(MIN. EDGE DISTANCE ½") 1. PROVIDE ½" MIN. DISTANCE FROM METAL PANEL FASTENER TO EDGE OF LIGHT GAGE PLATE.

BENT PLATE EXTENSION AT PANEL

NEW LIGHT GAGE BENT PLATE DETAIL

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NEW METAL PANEL - SECTION AT PARAPET

1. SEE DETAIL 2/S-101 FOR EXISTING BENT PLATE EXTENSION AT LOCATIONS

2. ATTACHMENT OF METAL PANEL TO LIGHT GAGE PLATE BY MANUFACTURER.

PROVIDE MIN. 1/2" EDGE DISTANCE FROM FASTENER TO EDGE OF STUD OR

SCALE: N.T.S.

SEE 3/S101

EXISTING W18

FIELD VERIFY

EXISTING

ROOFING

MEMBRANE SEE ARCH.

SCALE: N.T.S

SCALE: N.T.S.

(NOTE 1)

SECTION A-A

6. PROVIDE BENT PLATE AT EACH METAL PANEL ATTACHMENT POINT (MAX SPACING BETWEEN