



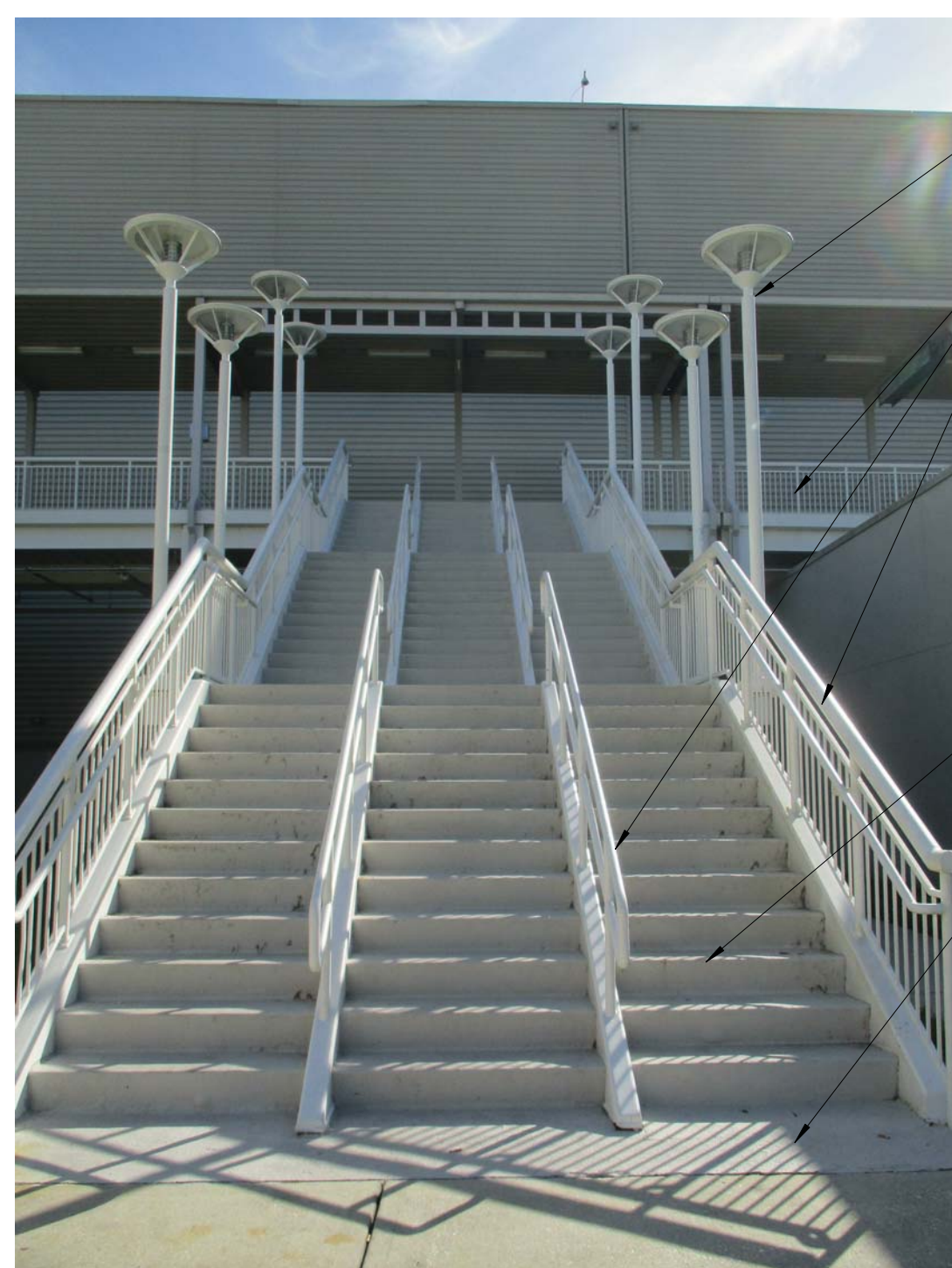
13.



14.



15.



16.



17.



18.



19.



20.

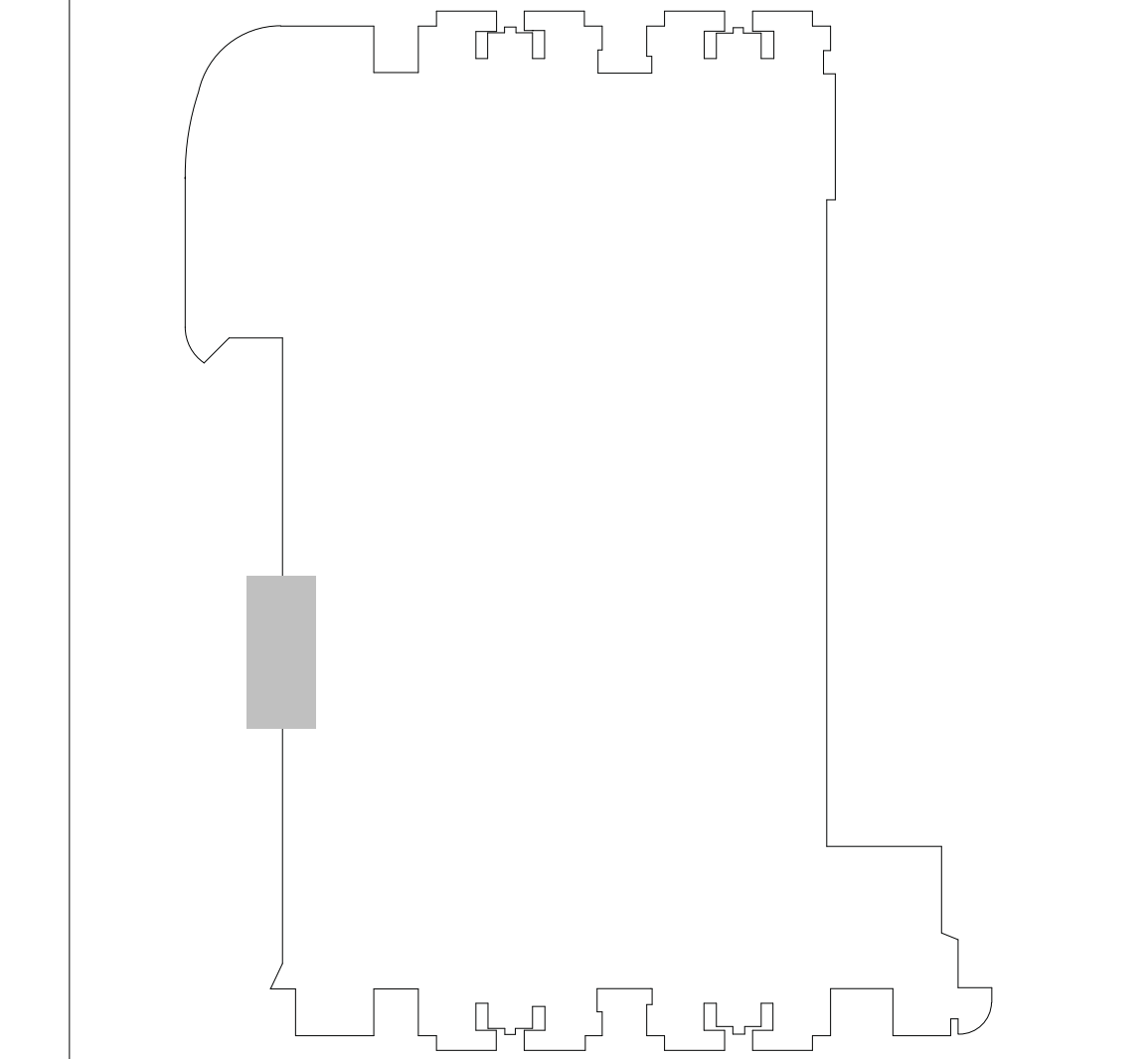
GENERAL NOTES

- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SPEAKERS, LIGHT POSTS, SPRINKLERS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) RAINLEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION. TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS, ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

KEYNOTE LEGEND

- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 05 CONTRACTOR TO PROTECT LIGHT FIXTURES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO CAMERAS, SPEAKERS, SPRINKLERS, SIGNAGE, ETC. AS NEEDED DURING PROJECT, TYP
- 08 LIGHT POLES AND THEIR CONCRETE MOUNTING BASES ARE NOT PART OF THE SCOPE OF WORK; ESCUTCHEONS TO BE REPLACED IF IN BAD CONDITION, TYP.
- 13 STUCCO SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK N.I.C.
- 17 CANOPY TO BE PAINTED IN ITS ENTIRETY - PAINT TO MATCH EXISTING
- 19 REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE. REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING
- 20 CONCRETE LANDING TO REMAIN AS IS, NIC. PROTECT FROM DAMAGE DURING REPAIRS
- 21 CONCRETE STAIRS AND INTERMEDIATE LANDINGS TO REMAIN AS IS UNLESS STEEL PANS AND STEEL STRUCTURE NEED TO BE REPLACED AND REPAIRED FROM RUST, TYP.
- 23 DOORS, FRAMES, GLAZING AND METAL PANELS NIC, TYP
- 26 REPAIR GUARDRAIL POST BASE, REFER TO SHEET A501 FOR DETAILS TYP

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	



KEY PLAN

rhodes + brito
ARCHITECTS
AA0002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648 - 7288
www.rhodesbrito.com

Consultants

ORANGE COUNTY
GOVERNMENT
FLORIDA

Orange County
Convention Center

OCCC Capital Planning
OCCC NORTH/SOUTH
BUILDING ENVELOPE
COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL
PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

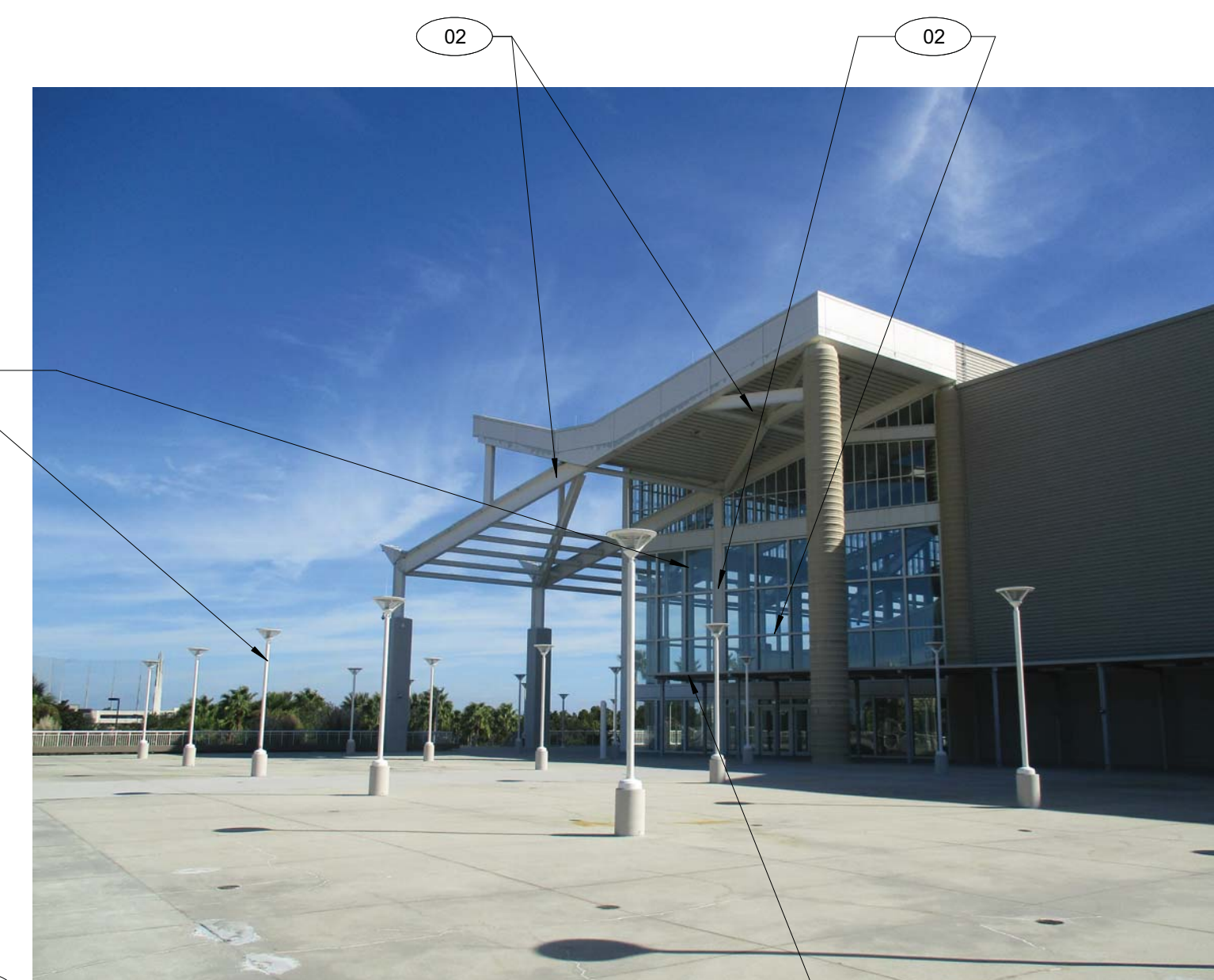
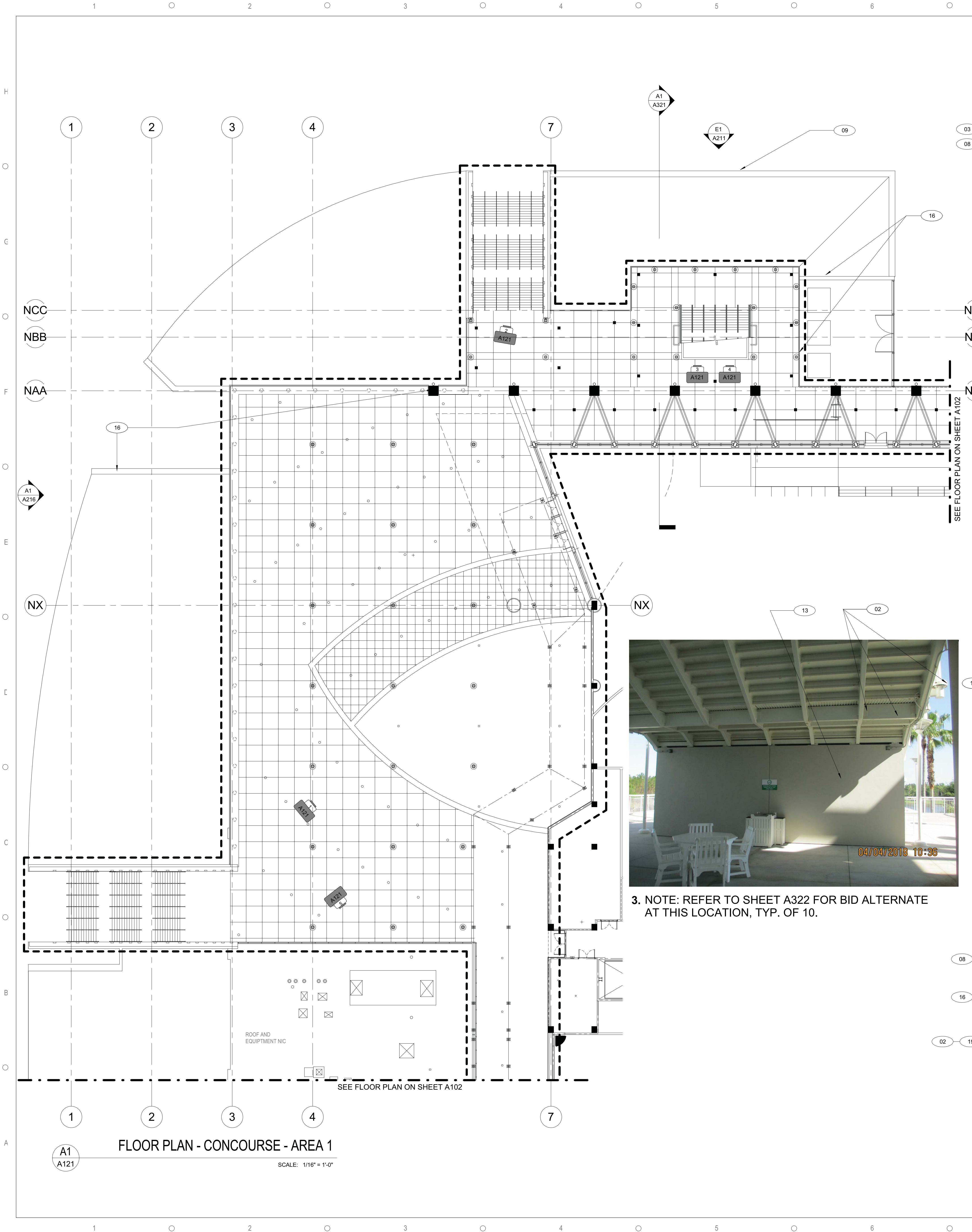
Maximiano Brito, RA AIA
FL Reg. No. AR0015108

BID DOCUMENTS
NOT FOR CONSTRUCTION

WEST ELEVATION
IMAGES - AREA 6

SCALE: 1/8" = 1'-0"
DRAWN BY: DP
CHECK BY: LN
DATE: 12/13/18
PROJECT NUMBER: 15012.0038

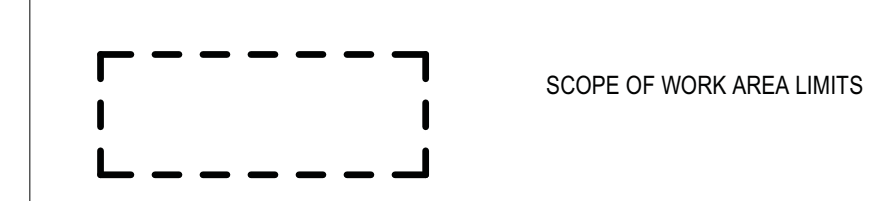
A117



GENERAL NOTES

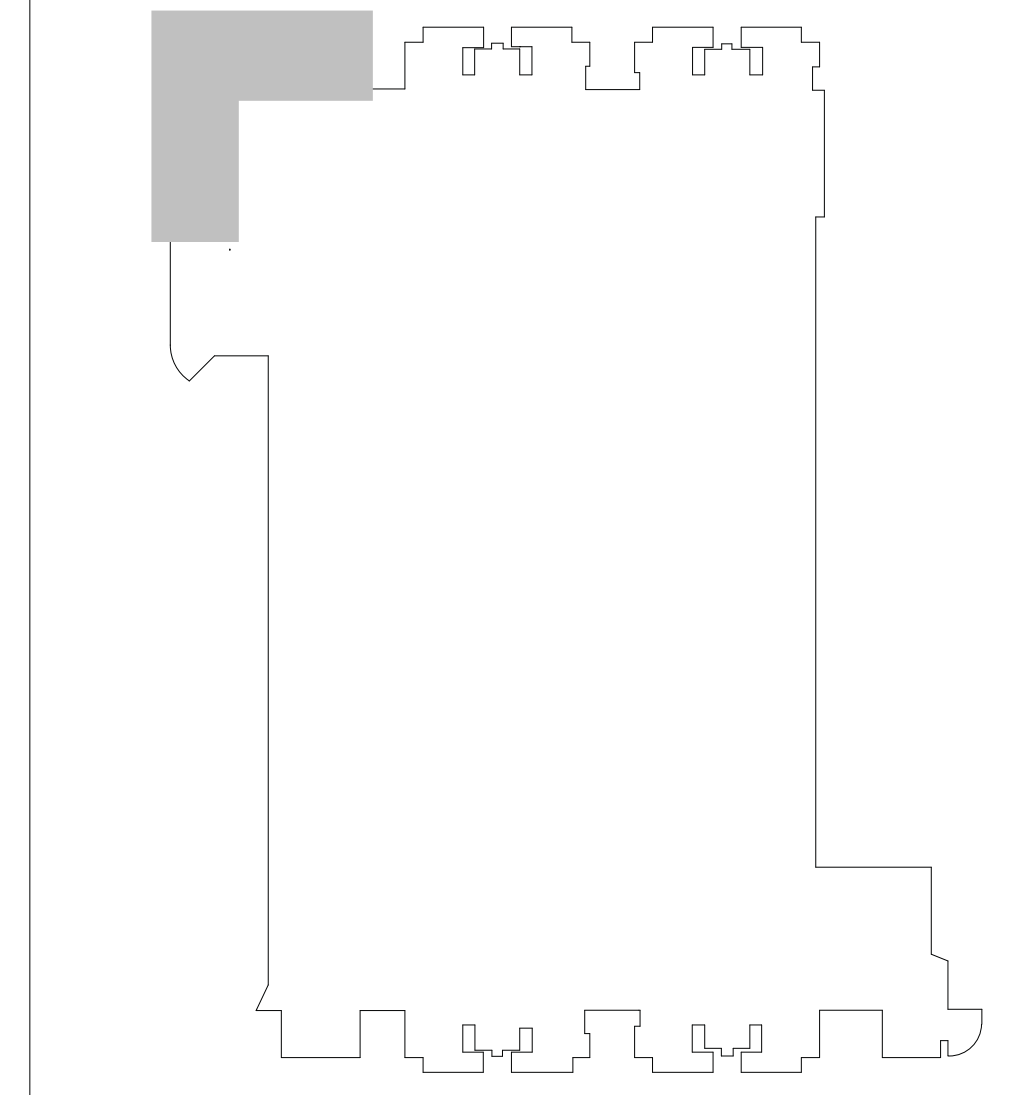
- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS), PAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS. ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION, TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS, ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISCOUSEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 800 LINEAL FEET, VERIFY IN FIELD.

PLAN LEGEND

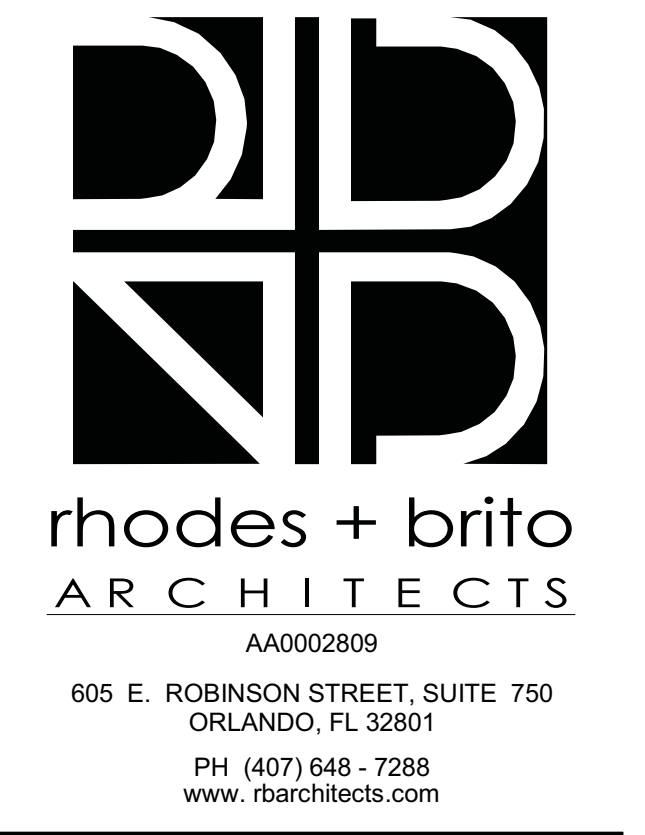


KEYNOTE LEGEND

- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 03 CURTAIN WALL SYSTEM TO REMAIN AS IS AND BE PROTECTED FROM DAMAGE DURING REPAIRS. PAINT ONLY THE STEEL COLUMNS AND BEAMS TO MATCH EXISTING. RE. SPECS
- 08 LIGHT POLES AND THEIR CONCRETE MOUNTING BASES ARE NOT PART OF THE SCOPE OF WORK. ESCUTCHEONS TO BE REPLACED IF IN BAD CONDITION. TYP
- 09 CONCRETE PLANTER WALLS OR BENCHES ARE NOT PART OF THE SCOPE OF WORK.
- 13 STUCCO SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK N.I.C.
- 16 SCREENING WALL AND CONCRETE WALLS TO REMAIN AS IS N.I.C.
- 17 CANOPY TO BE PAINTED IN ITS ENTIRETY - PAINT TO MATCH EXISTING
- 19 REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE. REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING
- 22 LIGHT FIXTURE AND TRIM ARE NOT IN SCOPE, TYP. PROTECT FROM DAMAGE DURING REPAIRS



KEY PLAN



Consultants



OCCC Capital Planning
OCCC NORTH/SOUTH BUILDING ENVELOPE COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

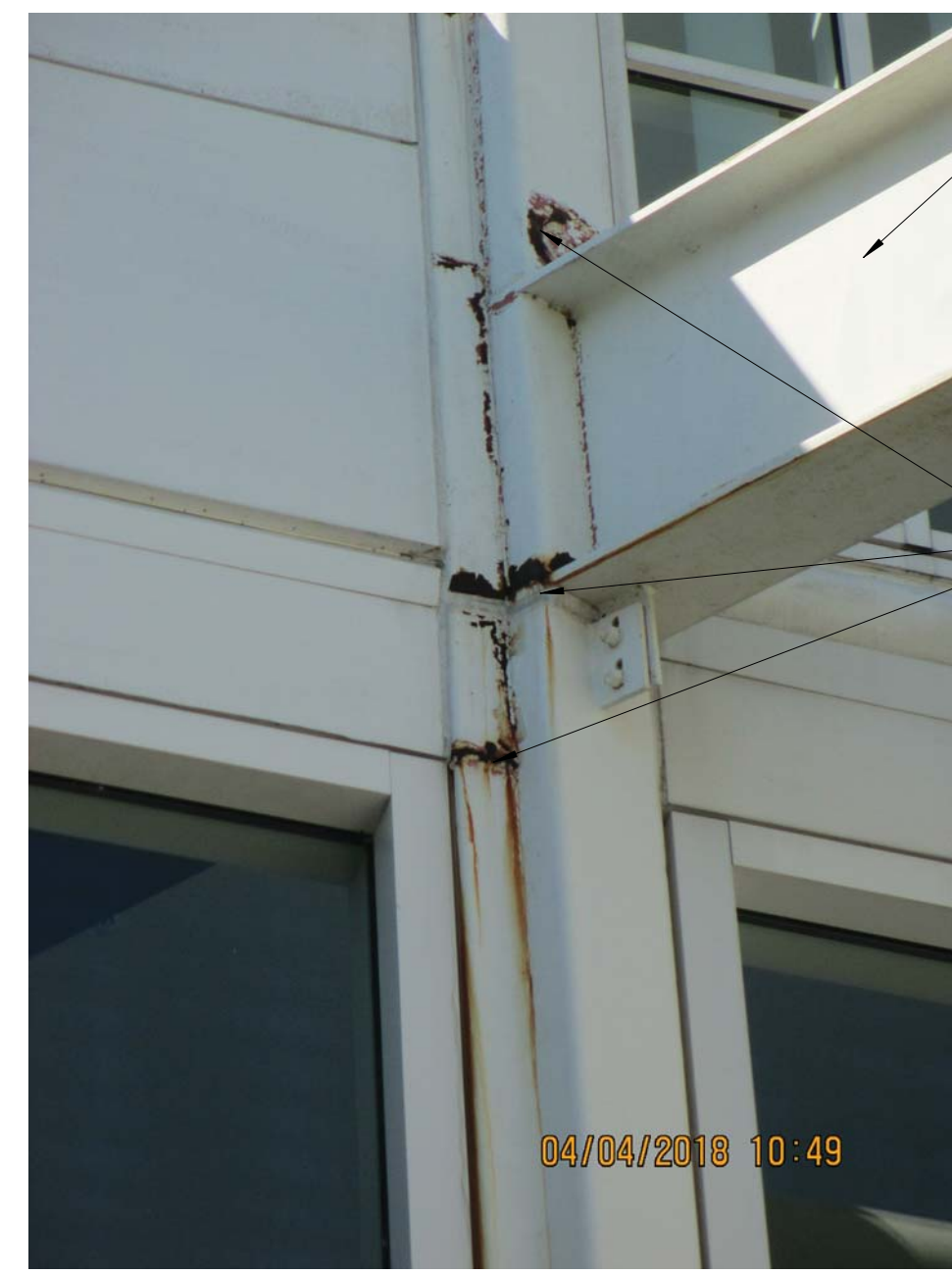
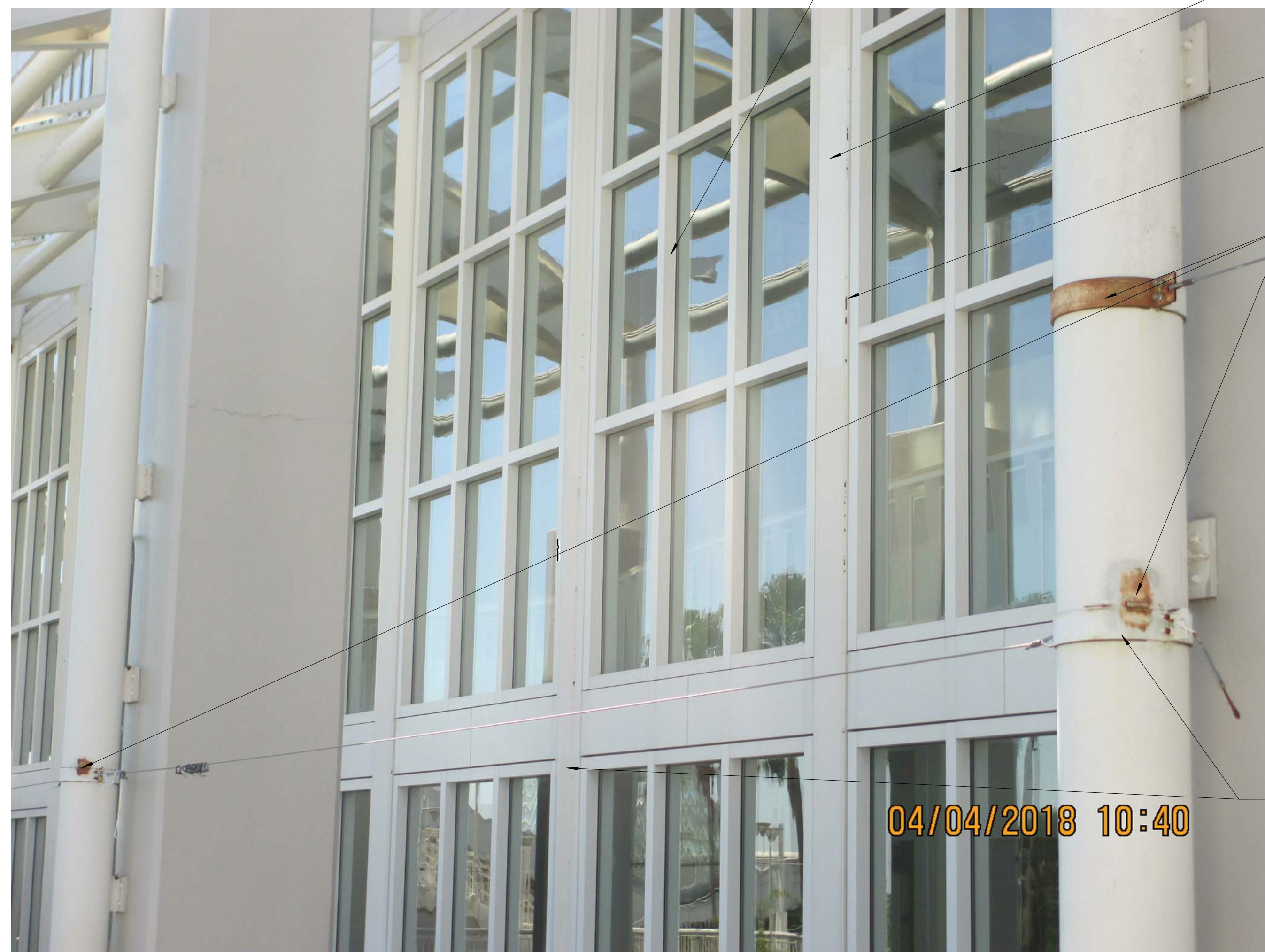
BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

ENLARGED PLANS - CONCOURSE FLOOR - AREA 1

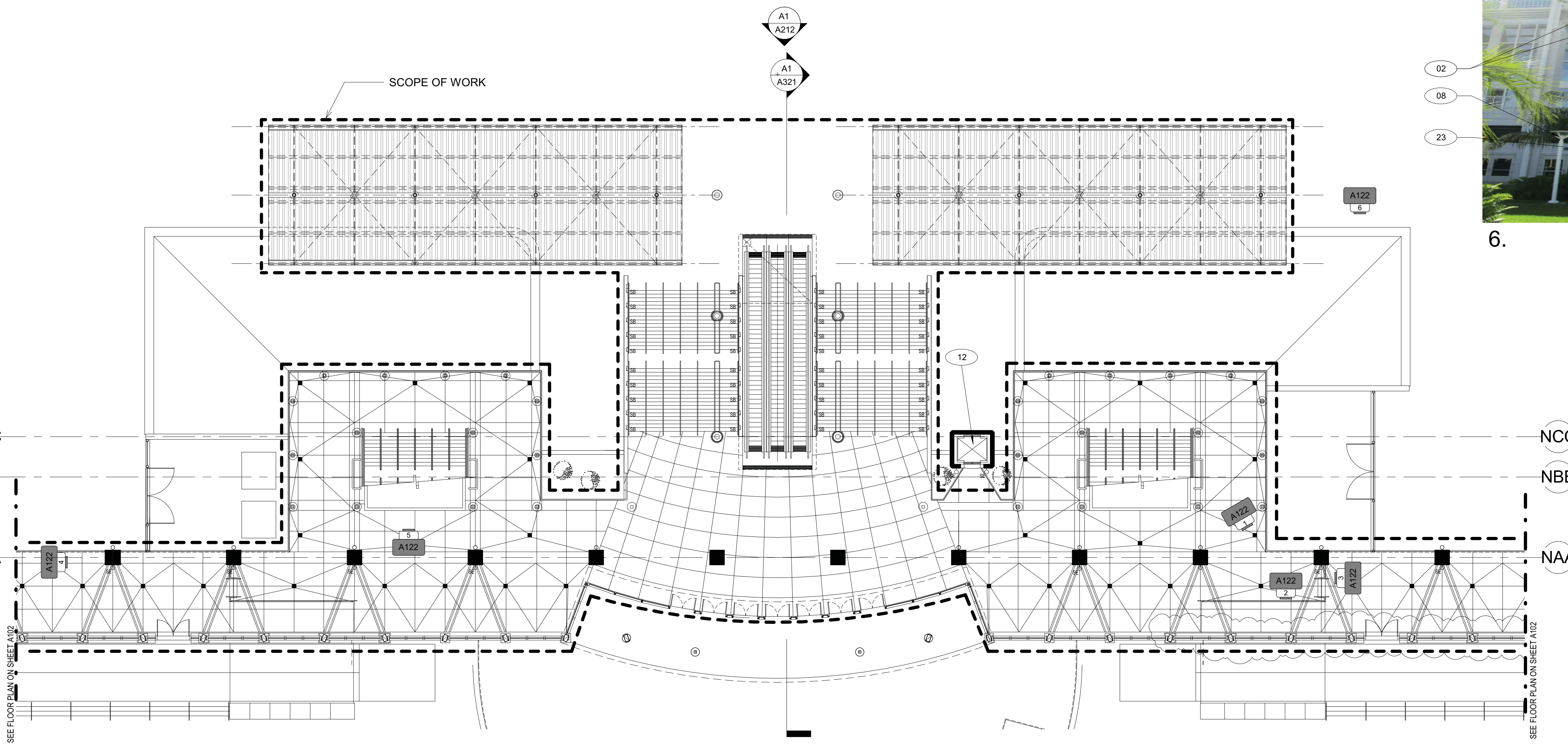
SCALE: As indicated
DRAWN BY: AR
CHECK BY: LN
DATE: 12/13/18
PROJECT NUMBER: 15012.0038

A121

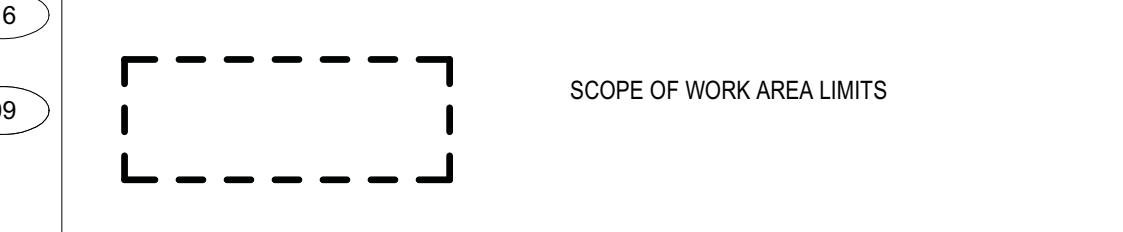


GENERAL NOTES

- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT REPAIRS ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) RAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION. TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR TO INSTALL STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS, ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISUOUSEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

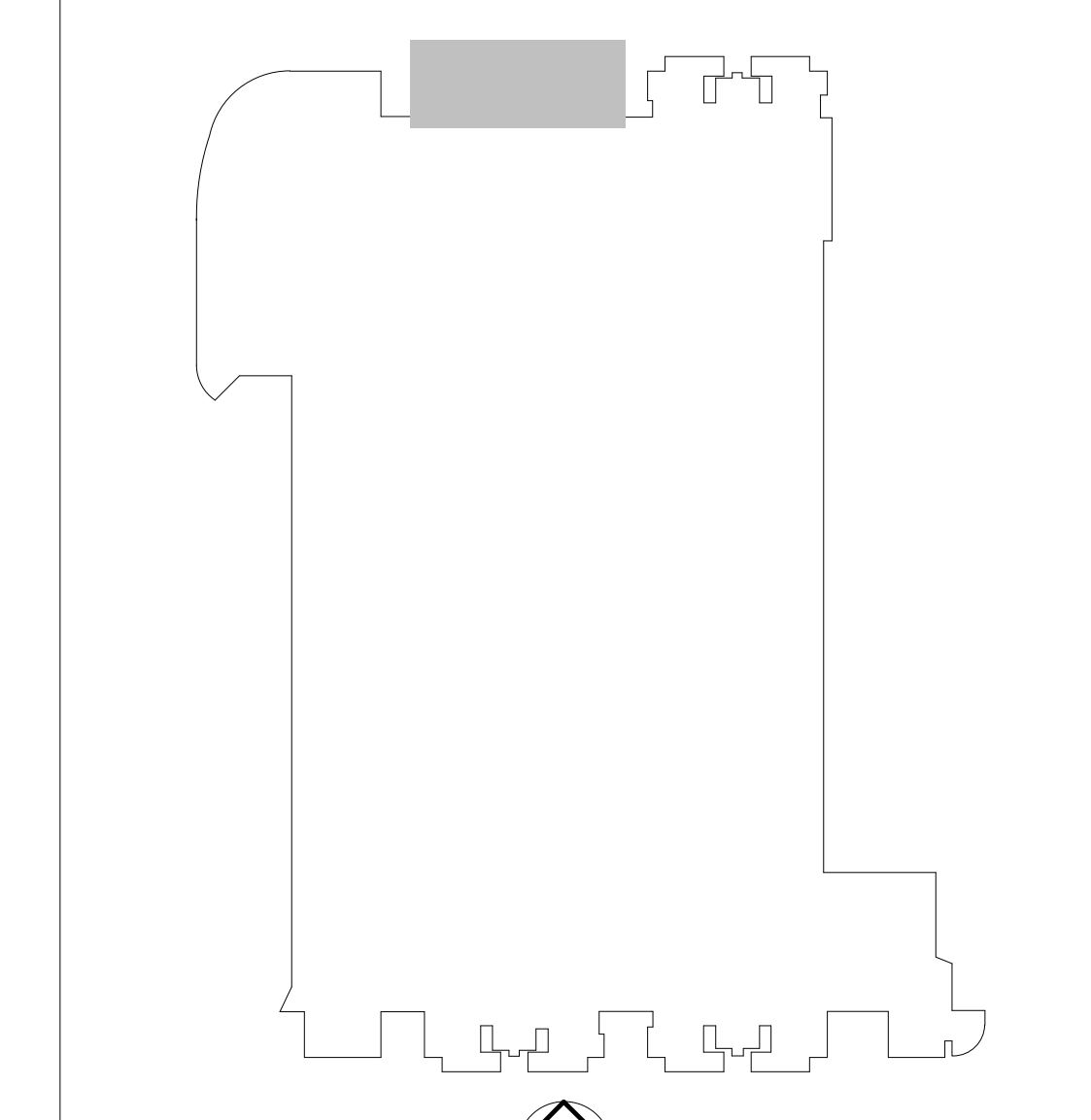


PLAN LEGEND



KEYNOTE LEGEND

- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 03 CURTAIN WALL SYSTEM TO REMAIN AS IS AND BE PROTECTED FROM DAMAGE DURING REPAIRS. PAINT ONLY THE STEEL COLUMNS AND BEAMS TO MATCH EXISTING. RE: SPECS
- 04 ALUMINUM SOFFIT NOT TO BE PAINTED. PANELS SHOULD BE REMOVED AS REQUIRED AND PROTECTED FROM DAMAGE DURING THE REPAIRS-TYP. CONTRACTOR TO REINSTALL PANELS AT COMPLETION OF THE PROJECT. ONLY EXPOSED STEEL STRUCTURAL ELEMENTS TO BE PAINTED TO MATCH EXISTING DURING REPAIRS
- 07 SKYLIGHTS AND METAL PANELS TO REMAIN AS IS. PROTECT FROM DAMAGE DURING REPAIRS
- 08 LIGHT POLES AND THEIR CONCRETE MOUNTING BASES ARE NOT PART OF THE SCOPE OF WORK. ESCUTCHEONS TO BE REPLACED IF IN BAD CONDITION, TYP
- 09 CONCRETE PLANTER WALLS OR BENCHES ARE NOT PART OF THE SCOPE OF WORK
- 11 ALUMINUM ROOFING AND FASCIA TO REMAIN AS IS. CONTRACTOR TO PROTECT IT FROM DAMAGE DURING REPAIRS
- 12 ELEVATOR TOWER TO REMAIN AS IS N.I.C.
- 16 SCREENING WALL AND CONCRETE WALLS TO REMAIN AS IS N.I.C.
- 19 REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE. REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING
- 23 DOORS FRAMES GLAZING AND METAL PANELS INC. TYP
- 26 REPAIR GUARDRAIL POST BASE. REFER TO SHEET A501 FOR DETAILS TYP



KEY PLAN

rhodes + brito
ARCHITECTS
AA002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648-7288
www.rhodesbrito.com

Consultants

ORANGE COUNTY
GOVERNMENT
FLORIDA

Orange County
Convention Center

OCCC Capital Planning
OCCC NORTH/SOUTH
BUILDING ENVELOPE
COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL
PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

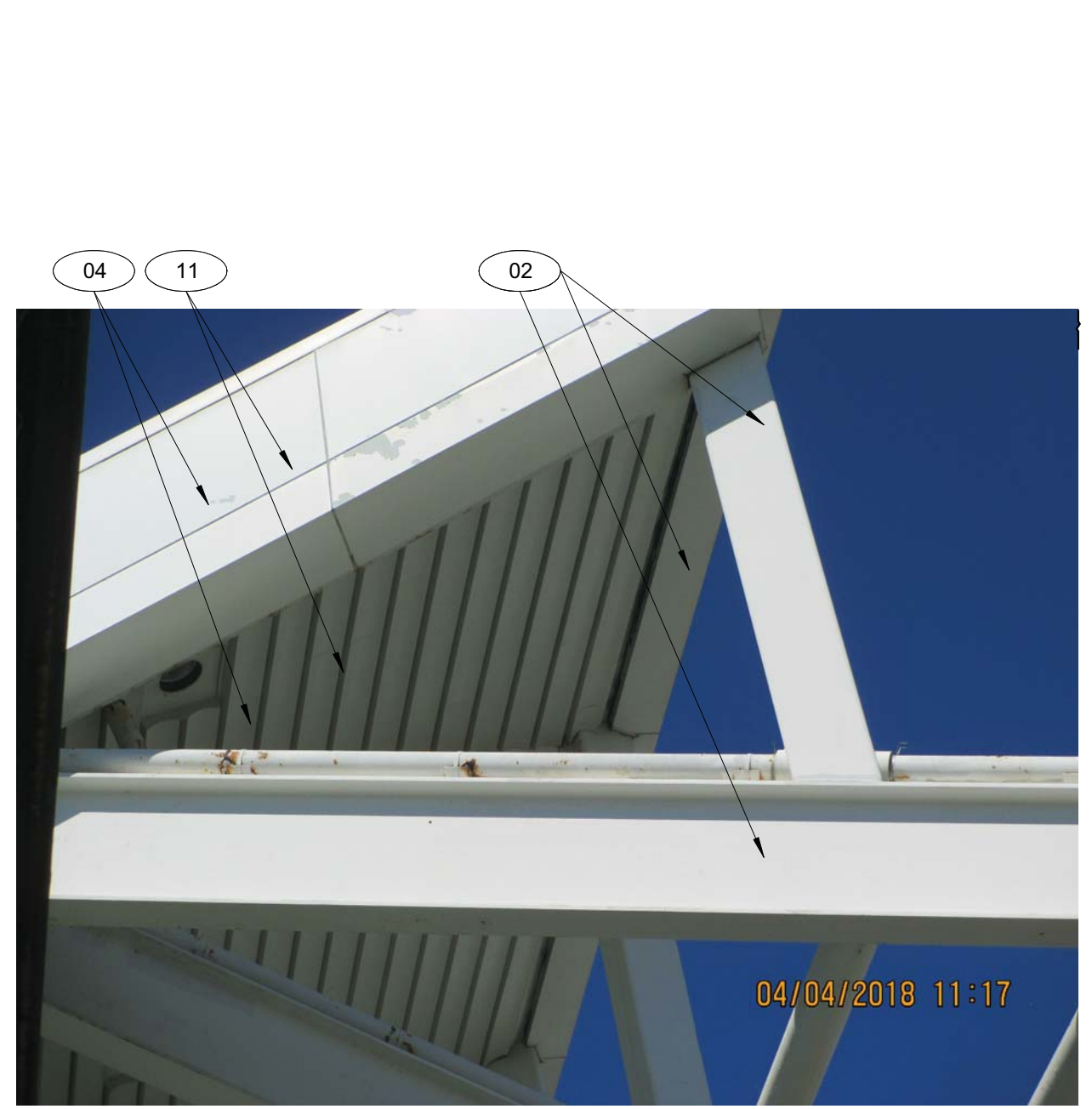
BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

ENLARGED PLANS -
CONCOURSE FLOOR -
AREA 2

SCALE: As indicated
DRAWN BY: AR
CHECK BY: LN
DATE: 12/13/18
PROJECT NUMBER: 15012.0038

A122



1.



2.



3.



4.



5.



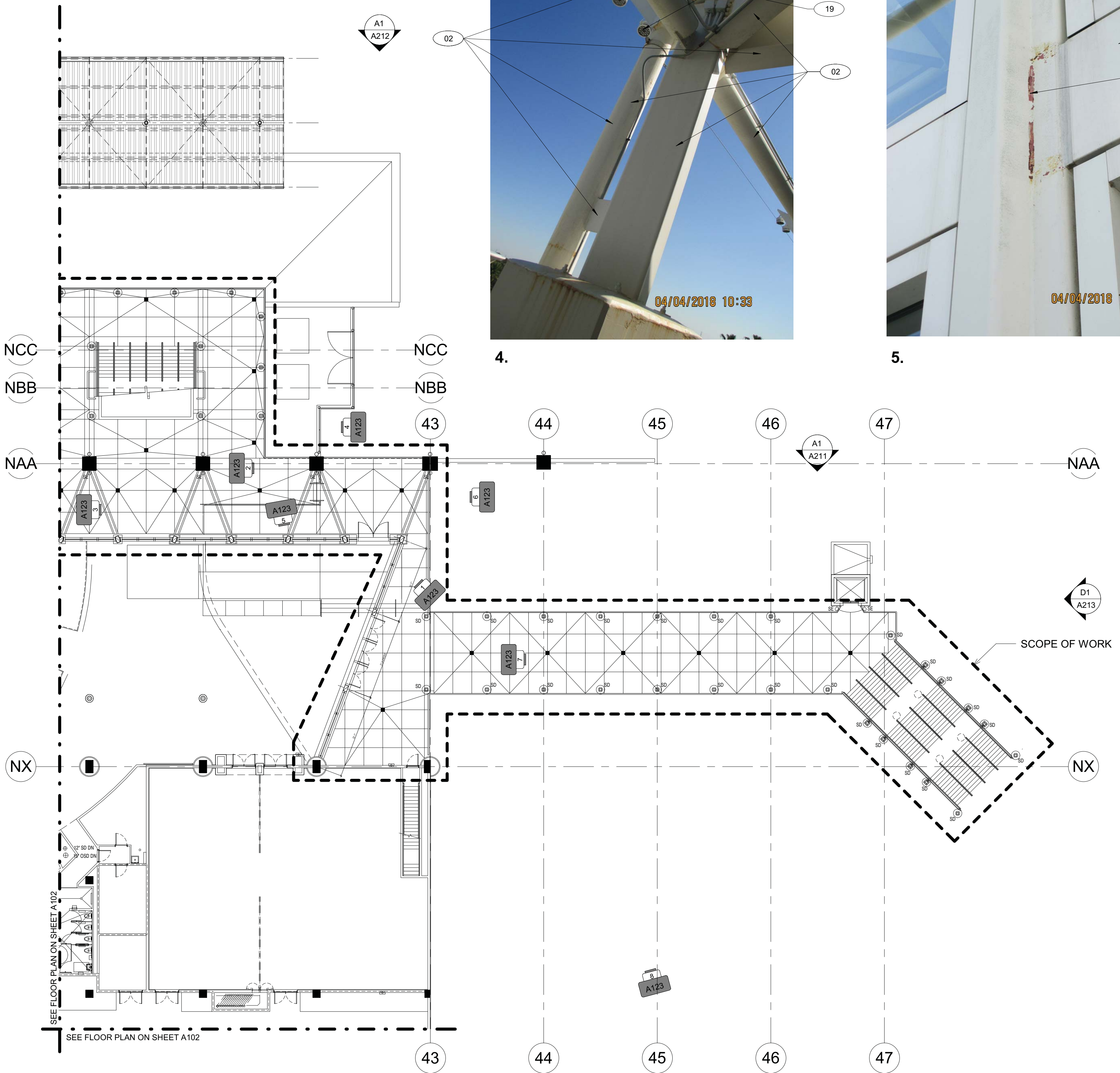
6.



7.



8.



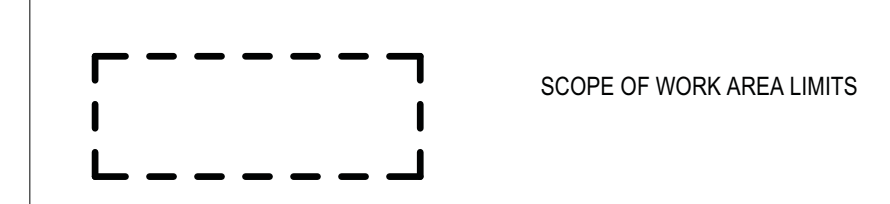
FLOOR PLAN - CONCOURSE - AREA 3

SCALE: 1/16" = 1'-0"

GENERAL NOTES

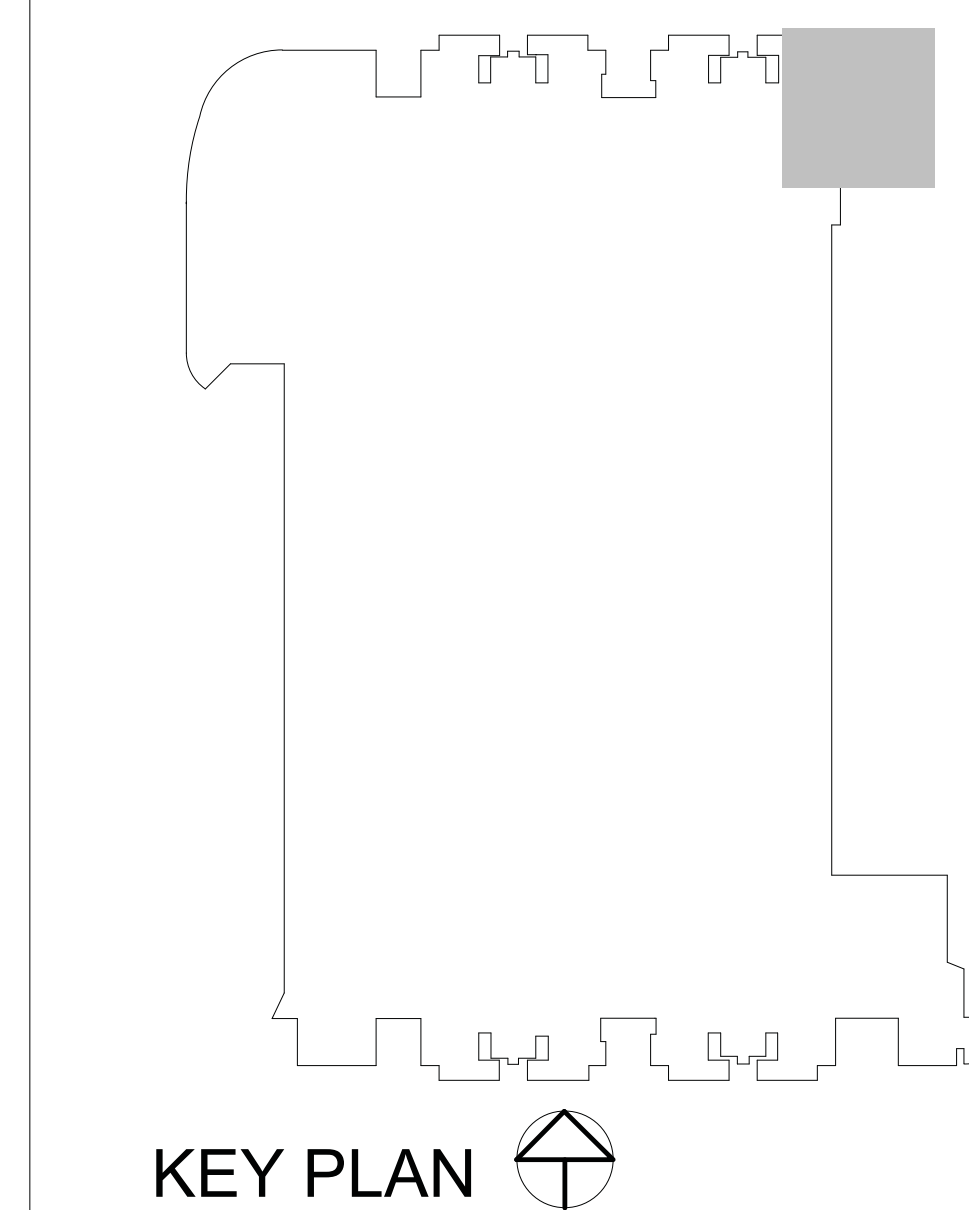
- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) AND STEEL BASES FOR LIGHT POSTS. ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION. TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. TYP.
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS. ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEUR OVER DOOR OPENINGS, AND BLOWER FANS TO DISPSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

PLAN LEGEND



KEYNOTE LEGEND

- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 03 CURTAIN WALL SYSTEM TO REMAIN AS IS AND BE PROTECTED FROM DAMAGE DURING REPAIRS. PAINT ONLY THE STEEL COLUMNS AND BEAMS TO MATCH EXISTING. RE: SPECS
- 04 ALUMINUM SOFFIT NOT TO BE PAINTED. PANELS SHOULD BE REMOVED AS REQUIRED AND PROTECTED FROM DAMAGE DURING THE REPAIRS. TYP. CONTRACTOR TO REINSTALL PANELS AT COMPLETION OF THE PROJECT. ONLY EXPOSED STEEL STRUCTURAL ELEMENTS TO BE PAINTED TO MATCH EXISTING
- 05 CONTRACTOR TO PROTECT LIGHT FIXTURES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO CAMERAS, SPEAKERS, SPRINKLERS, SIGNAGE ETC, AS NEEDED DURING PROJECT. TYP
- 08 LIGHT POLES AND THEIR CONCRETE MOUNTING BASES ARE NOT PART OF THE SCOPE OF WORK. ESCUTCHEONS TO BE REPLACED IF IN BAD CONDITION. TYP.
- 11 ALUMINUM ROOFING AND FASCIA TO REMAIN AS IS. CONTRACTOR TO PROTECT IT FROM DAMAGE DURING REPAIRS
- 19 REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE. REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING



KEY PLAN



rhodes + brito
ARCHITECTS
AA0002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648-7288
www.rhodesbrito.com

Consultants



OCCC Capital Planning
OCCC NORTH/SOUTH
BUILDING ENVELOPE
COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL
PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

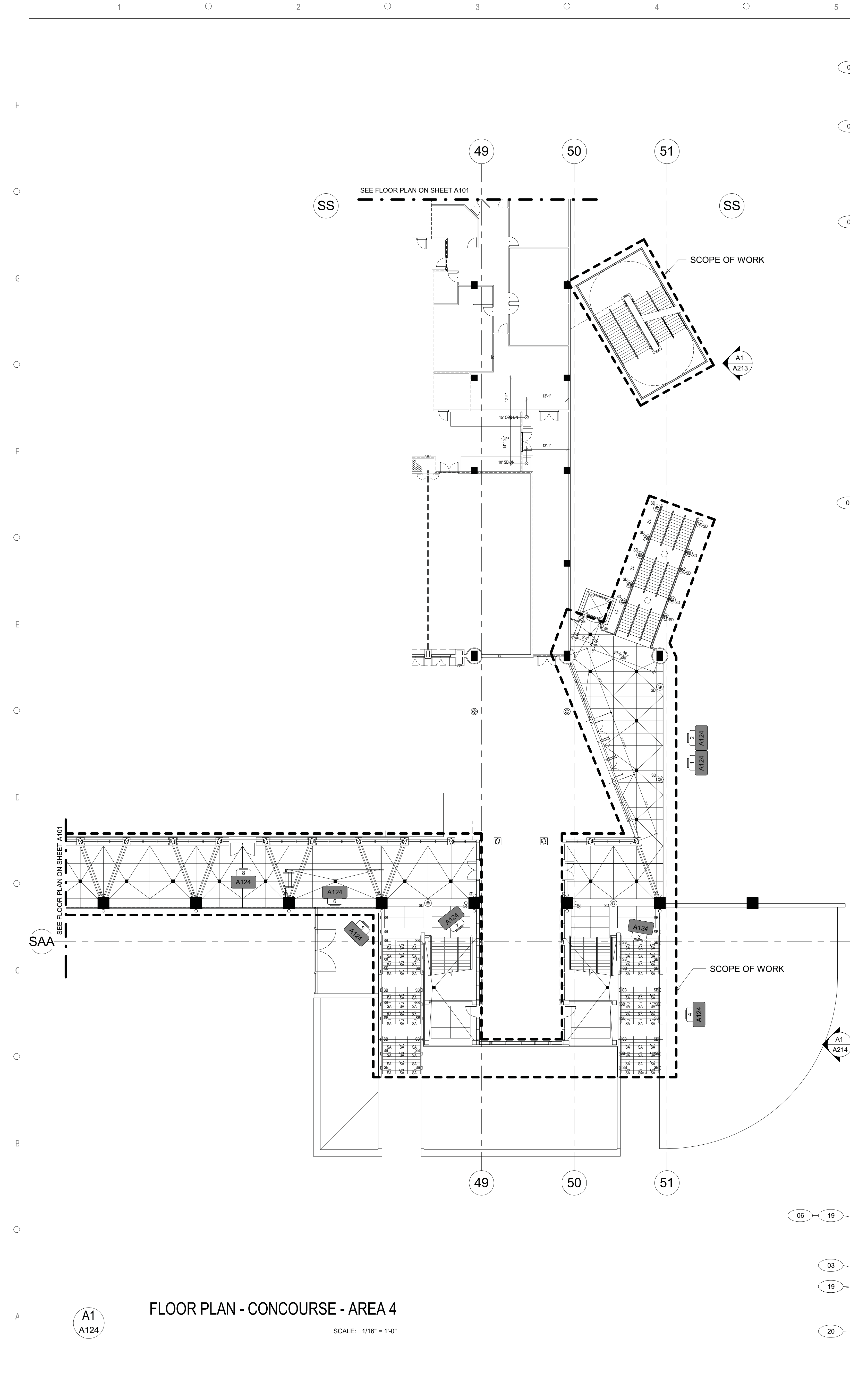
BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

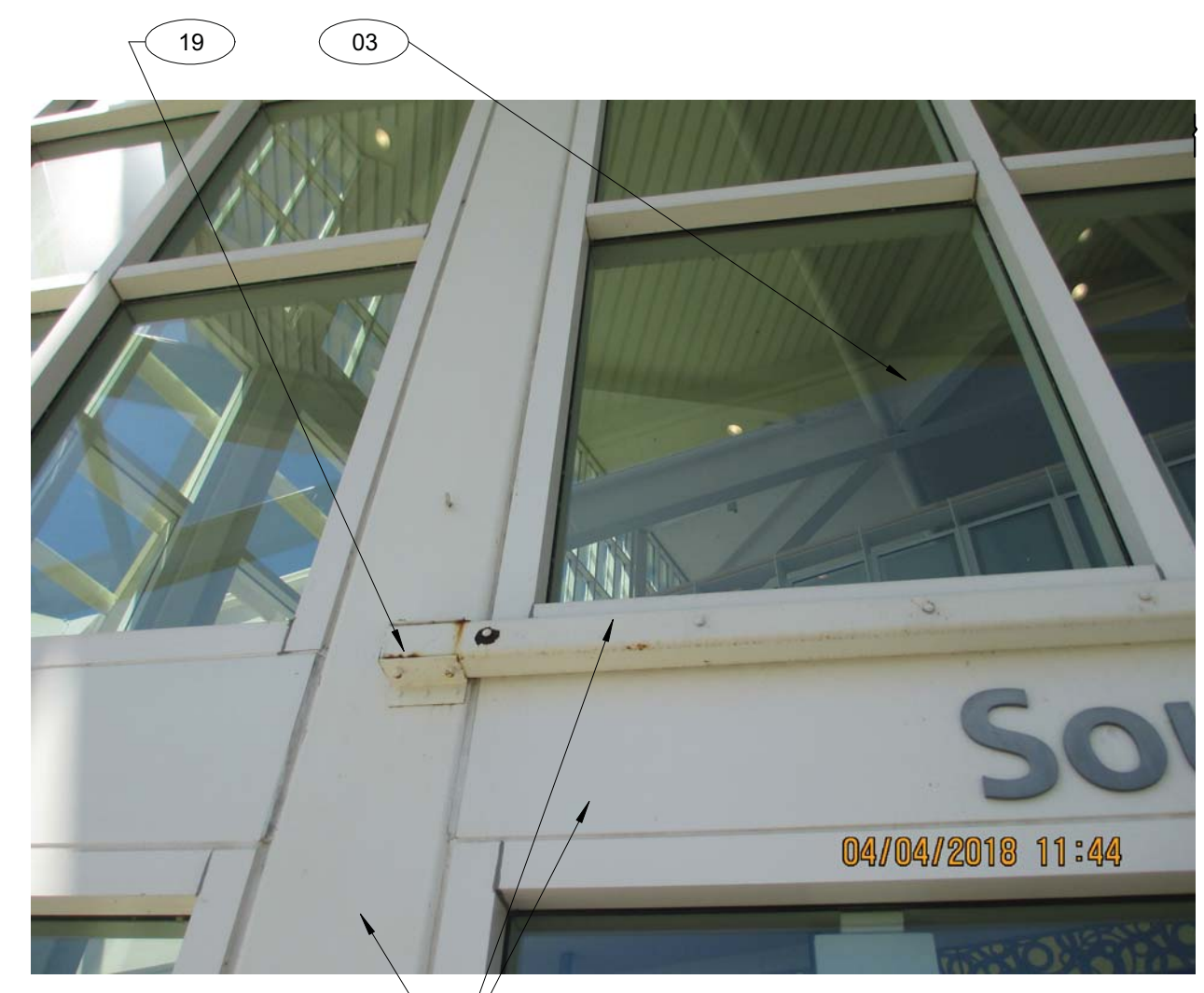
ENLARGED PLANS -
CONCOURSE FLOOR -
AREA 3

SCALE: As indicated
DRAWN BY: AR
CHECK BY: LN
DATE: 12/13/18
PROJECT NUMBER: 15012.0038

A123



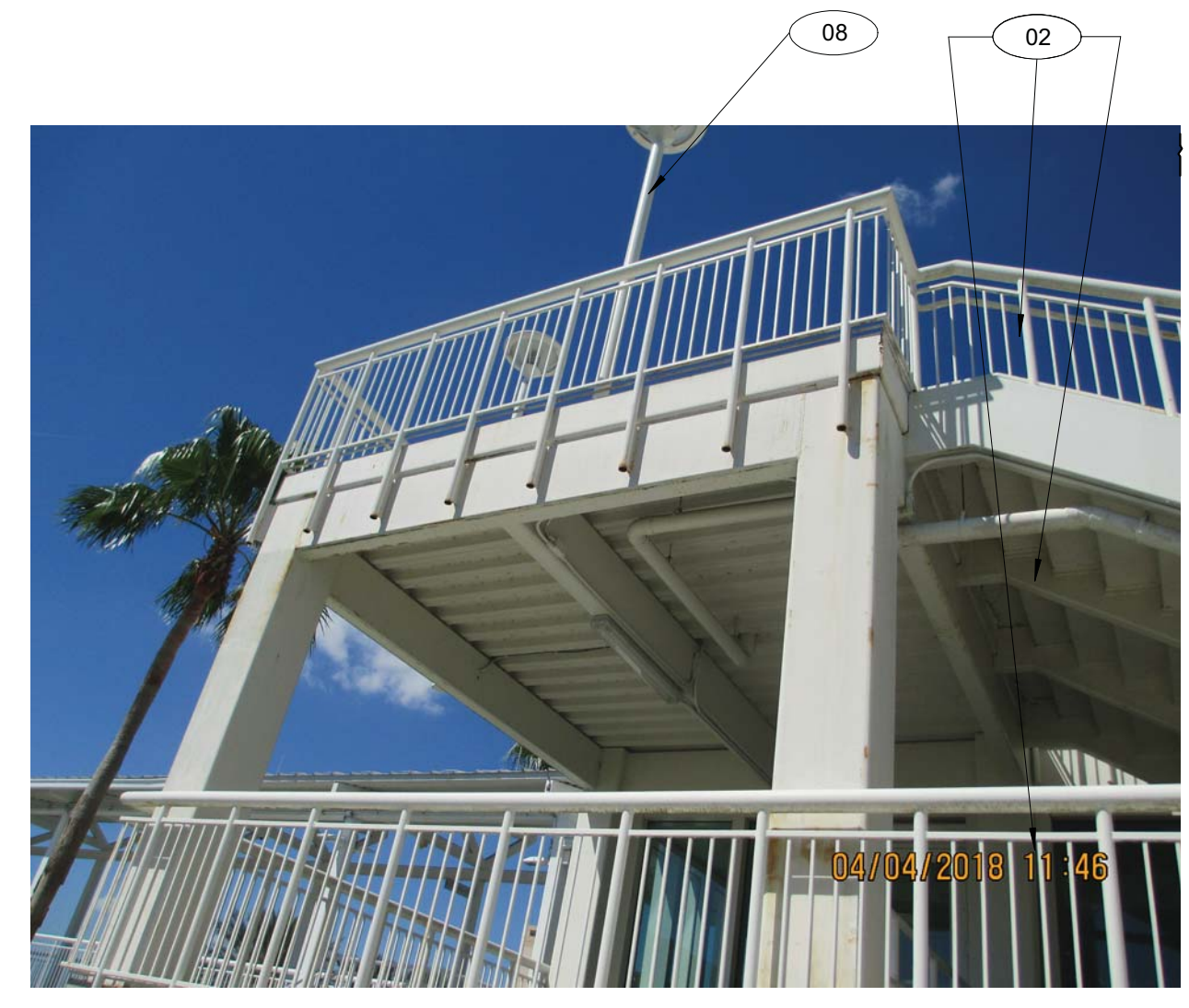
1.



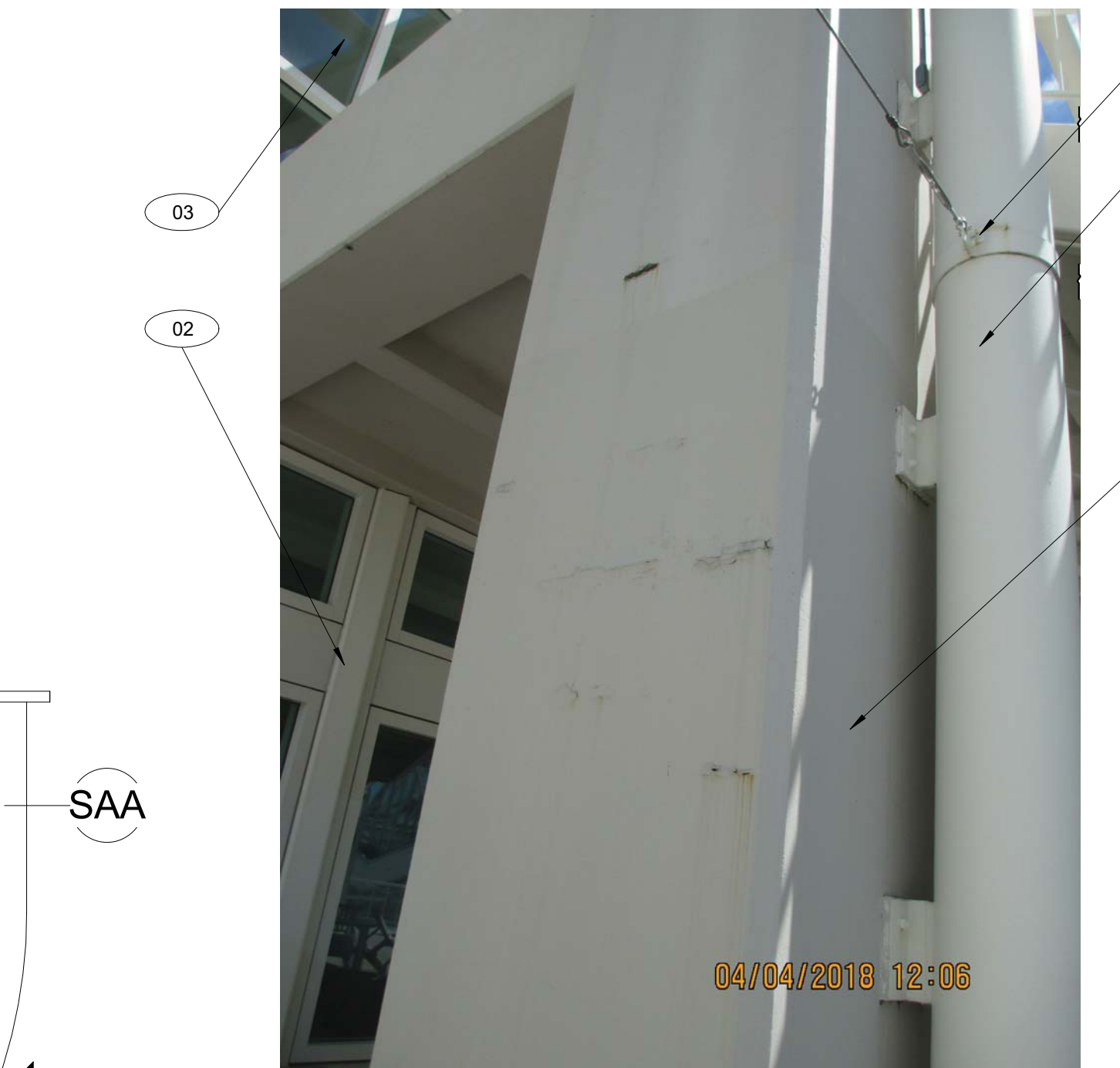
2.



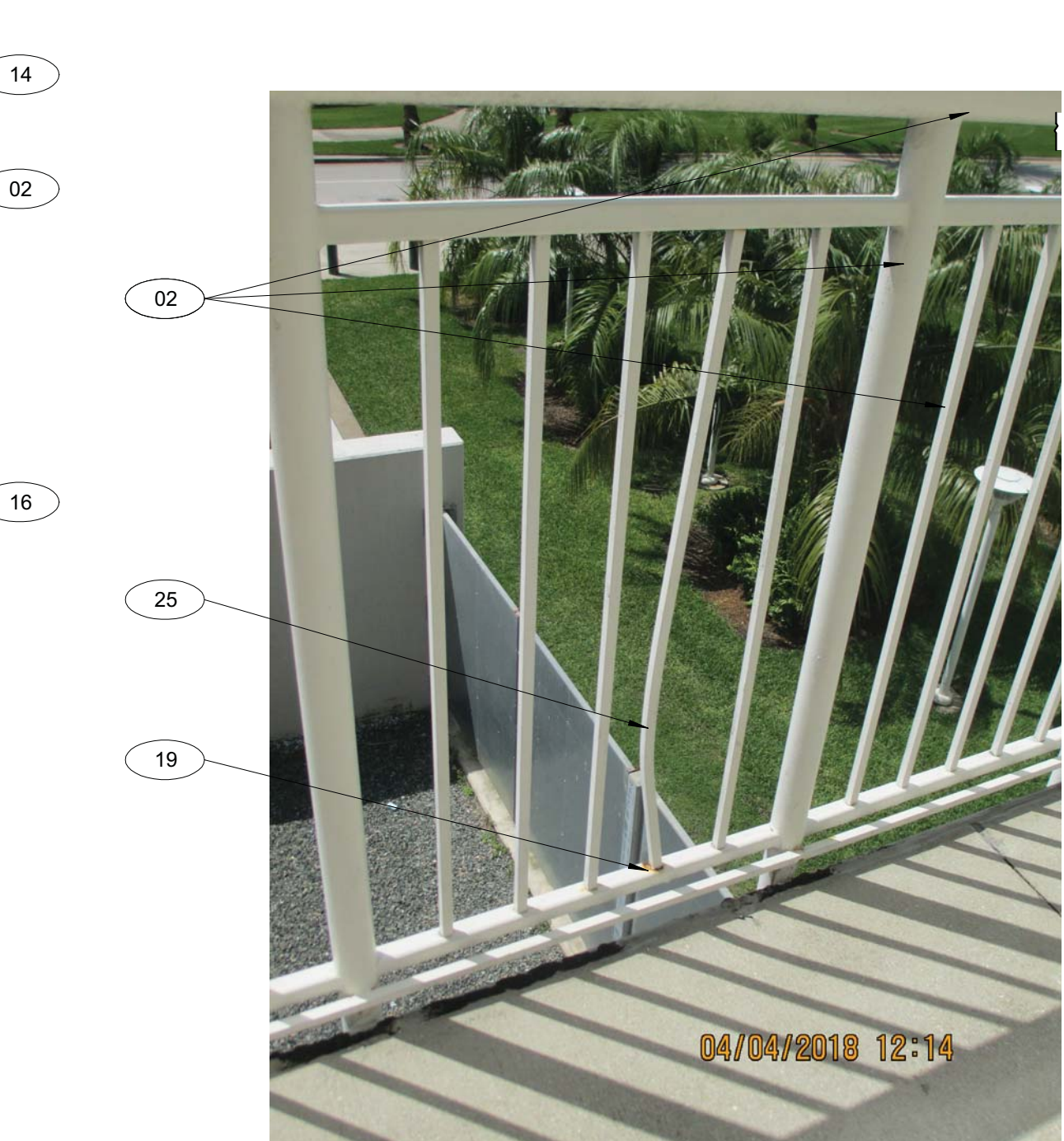
3.



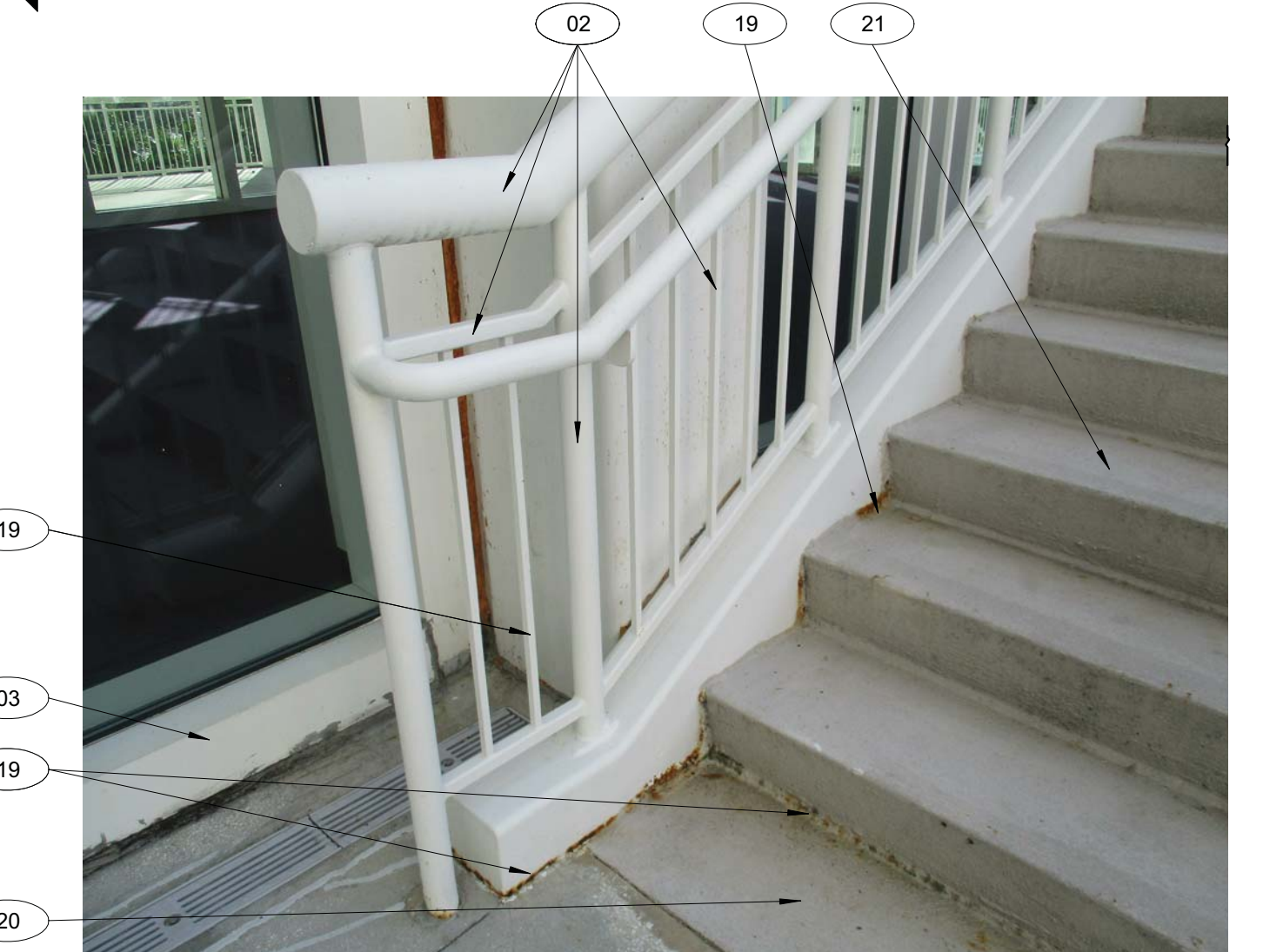
4.



5.



6.



7.



8.

GENERAL NOTES

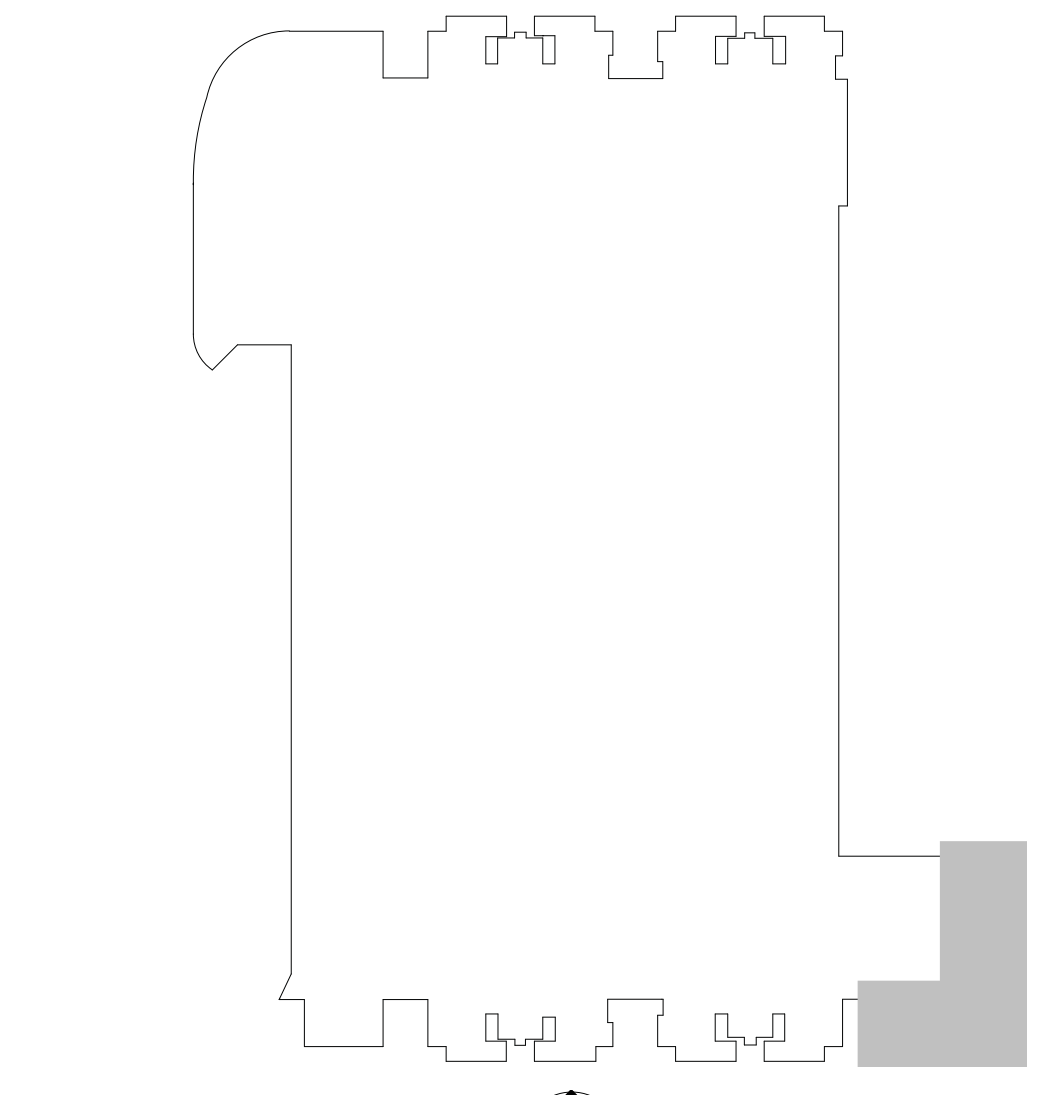
- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOORS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) PANEL LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION, TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE - TYP.
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS. ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISCOUSEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

PLAN LEGEND



KEYNOTE LEGEND

- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 03 CURTAIN WALL SYSTEM TO REMAIN AS IS AND BE PROTECTED FROM DAMAGE DURING REPAIRS. PAINT ONLY THE STEEL COLUMNS AND BEAMS TO MATCH EXISTING. RE. SPECS
- 04 ALUMINUM SOFFIT NOT TO BE PAINTED. PANELS SHOULD BE REMOVED AS REQUIRED AND PROTECTED FROM DAMAGE DURING THE REPAIRS-TYP. CONTRACTOR TO REINSTALL PANELS AT COMPLETION OF THE PROJECT. ONLY EXPOSED STEEL STRUCTURAL ELEMENTS TO BE PAINTED TO MATCH EXISTING
- 06 APPLY SEALANT AND PAINT AS REQUIRED. SEALANT COLOR TO MATCH EXISTING. ALL EXISTING SEALANT AND ASSOCIATED BOND BREAKERS TO BE PROPERLY REMOVED PRIOR TO NEW SEALANT APPLICATION. CONTRACTOR TO PROTECT ADJACENT METAL THRESHOLD (AT APPLICABLE AREAS) FROM DAMAGE DURING CONSTRUCTION. TYP
- 08 LIGHT POLES AND THEIR CONCRETE MOUNTING BASES ARE NOT PART OF THE SCOPE OF WORK. ESCUTCHEONS TO BE REPLACED IF IN BAD CONDITION. TYP
- 11 ALUMINUM ROOFING AND FASCIA TO REMAIN AS IS. CONTRACTOR TO PROTECT IT FROM DAMAGE DURING REPAIRS
- 14 REPLACE RUSTED STEEL PIPES AND/OR ROOF LEADERS, RECAULK JOINT AND PAINT TO MATCH EXISTING
- 16 SCREENING WALL AND CONCRETE WALLS TO REMAIN AS IS. N.I.C.
- 19 REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE. REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING
- 20 CONCRETE LANDING TO REMAIN AS IS, NIC. PROTECT FROM DAMAGE DURING REPAIRS
- 21 CONCRETE STAIRS AND INTERMEDIATE LANDINGS TO REMAIN AS IS UNLESS STEEL PANS AND STEEL STRUCTURE NEED TO BE REPLACED AND REPAIRED FROM RUST. TYP.
- 25 BEND EXISTING RAILING TO ORIGINAL POSITION AND REPAINT



KEY PLAN

rhodes + brito
ARCHITECTS
AA0002809
605 E. ROBINSON STREET, SUITE 570
ORLANDO, FL 32801
PH (407) 648-7288
www.rbarchitects.com

Consultants

ORANGE COUNTY
GOVERNMENT
FLORIDA

Orange County
Convention Center

OCCC Capital Planning
OCCC NORTH/SOUTH
BUILDING ENVELOPE
COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL
PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

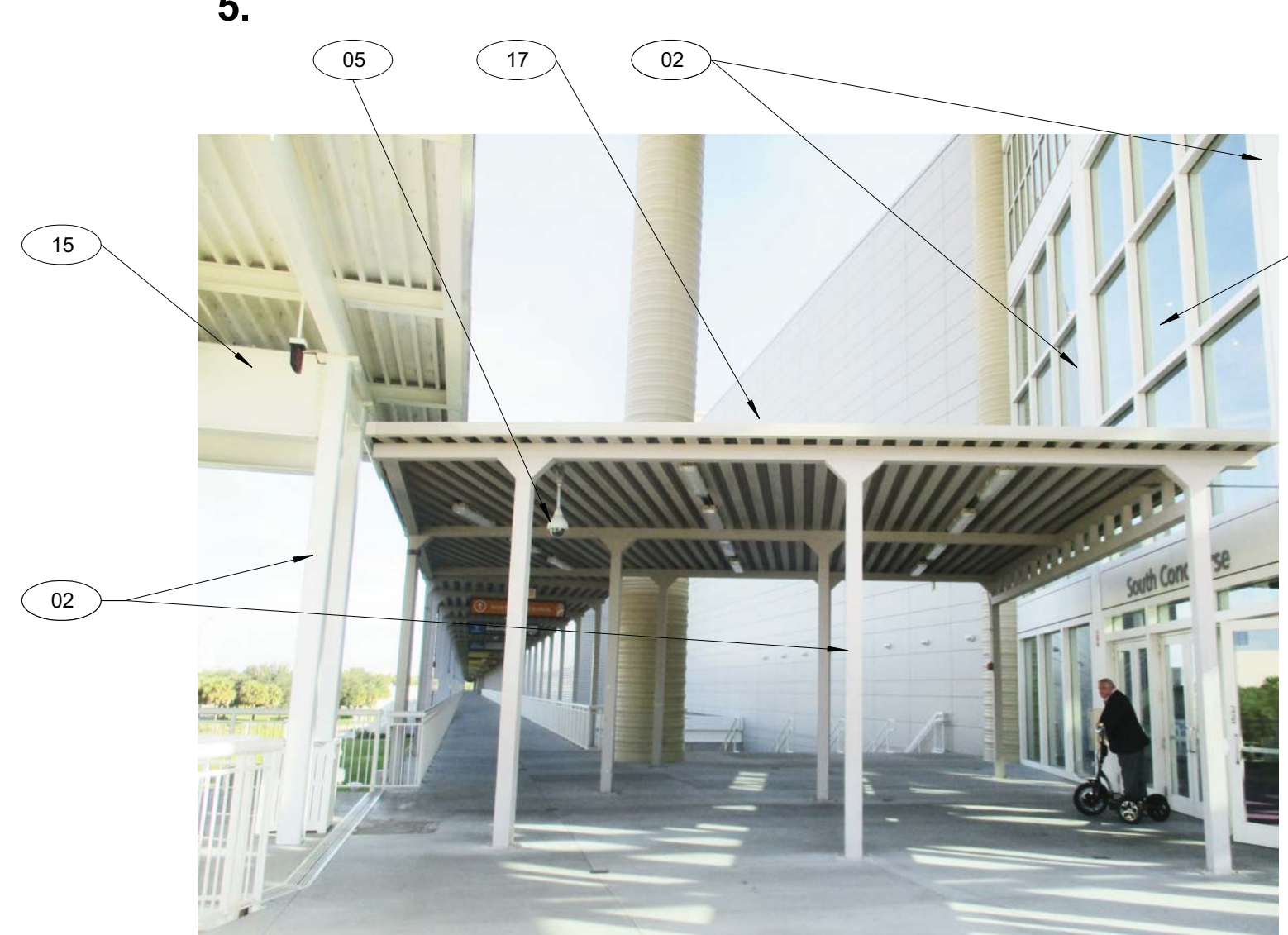
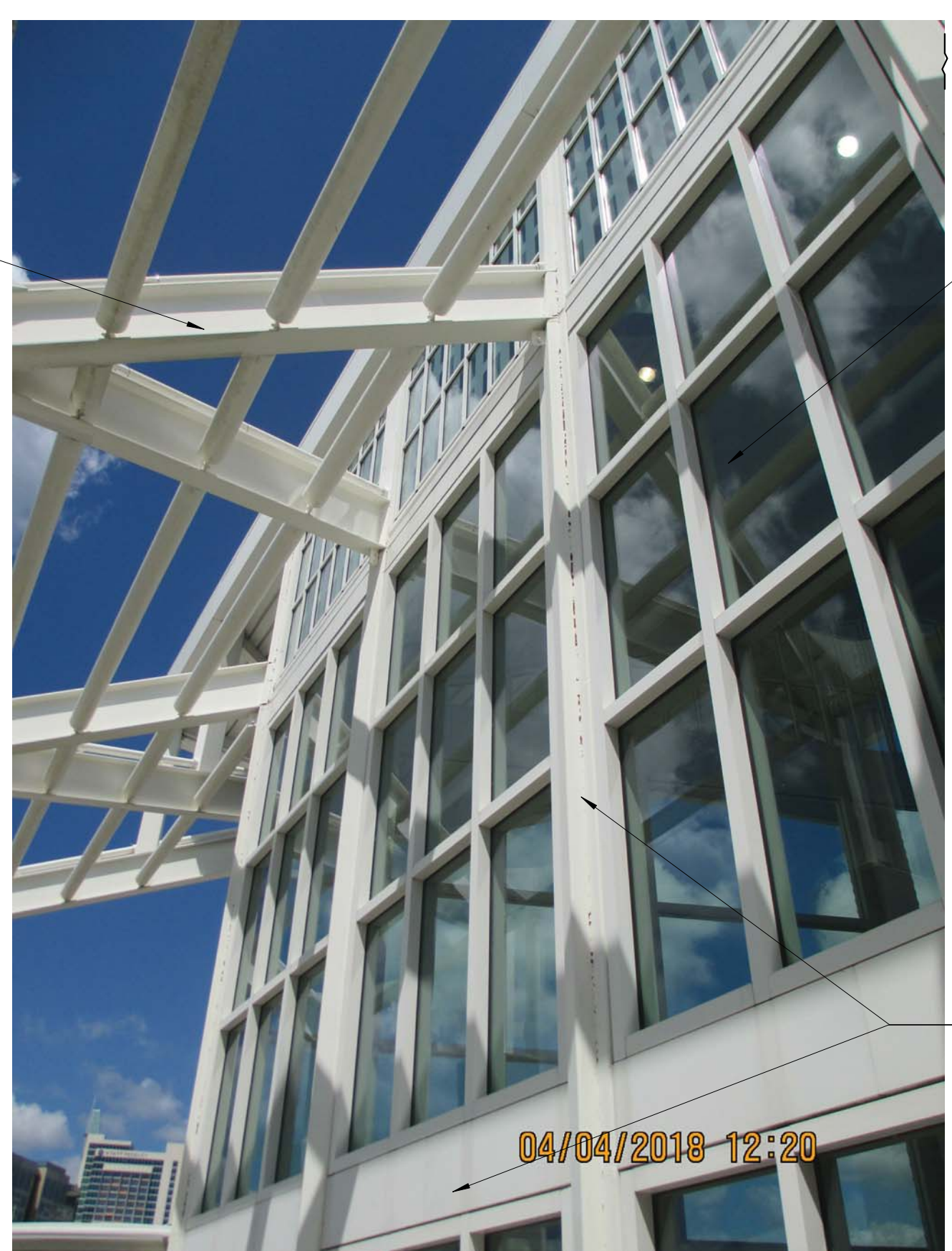
BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

ENLARGED PLANS -
CONCOURSE FLOOR -
AREA 4

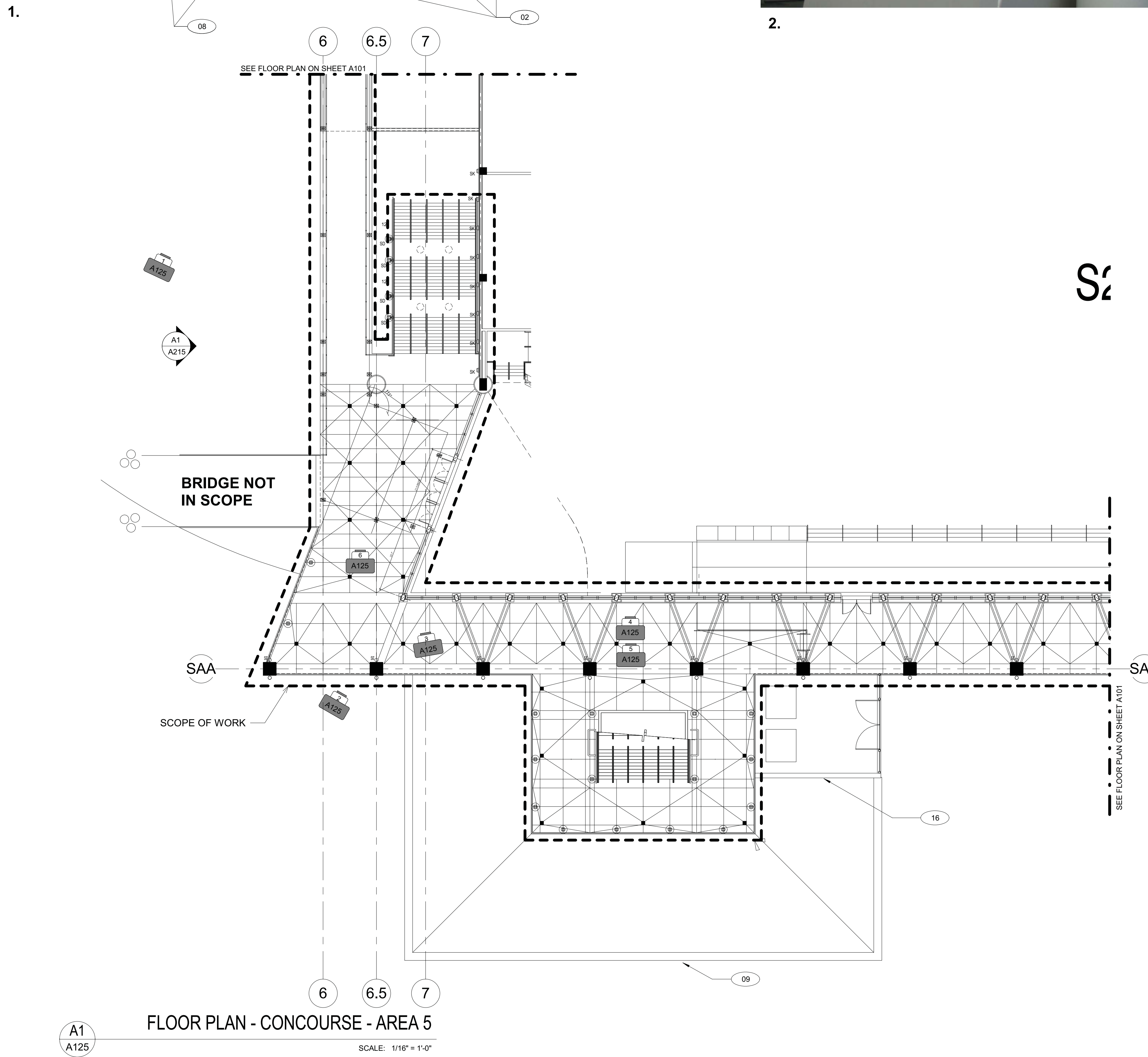
SCALE:	As indicated
DRAWN BY:	AR
CHECK BY:	LN
DATE:	12/13/18
PROJECT NUMBER:	15012.0038

A124

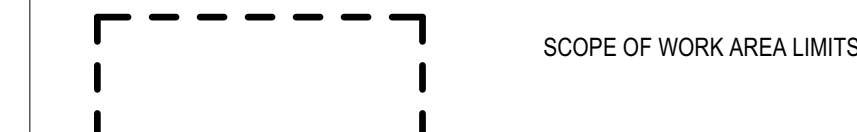


GENERAL NOTES

- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, LIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS), PAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS. ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION. TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS. ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISIOUSEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

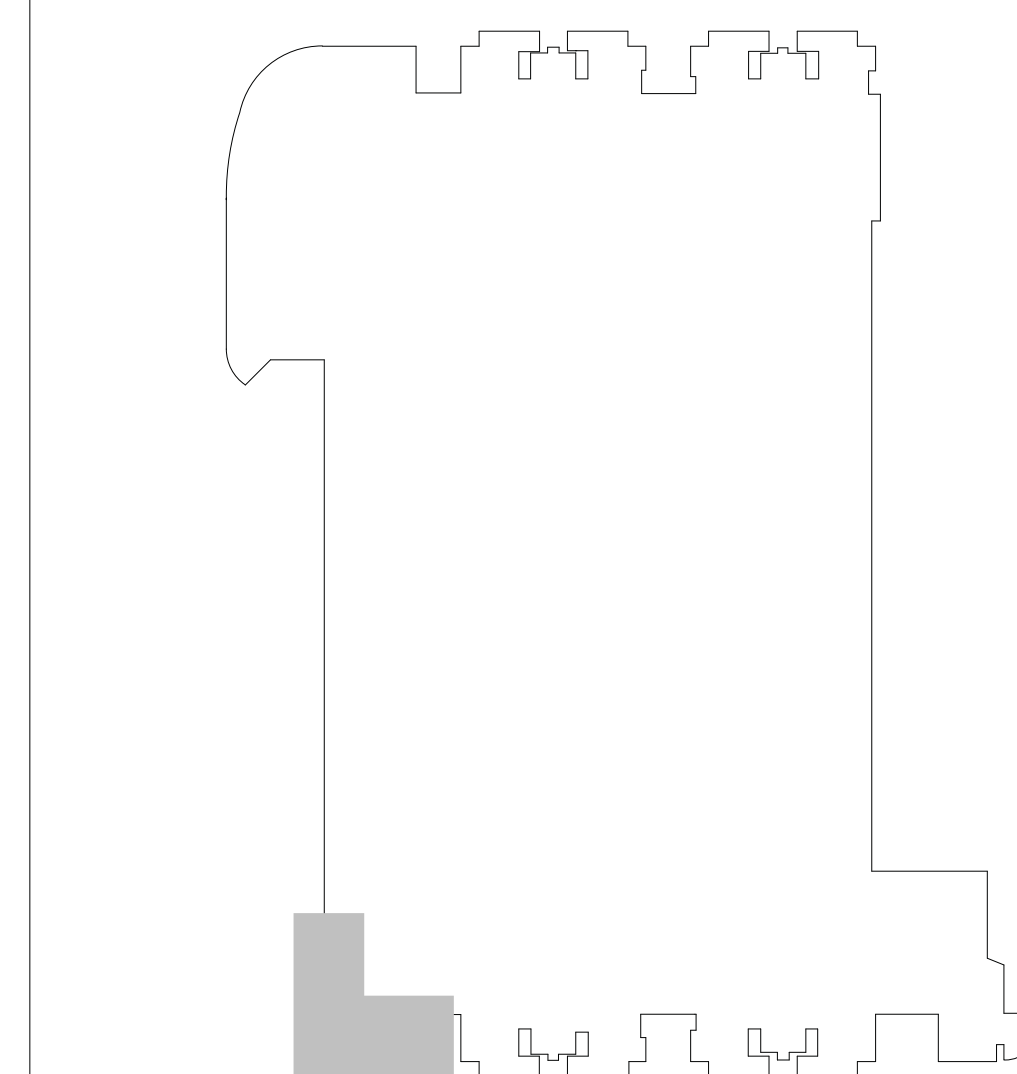


PLAN LEGEND



KEYNOTE LEGEND

- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 03 CURTAIN WALL SYSTEM TO REMAIN AS IS AND BE PROTECTED FROM DAMAGE DURING REPAIRS. PAINT ONLY THE STEEL COLUMNS AND BEAMS TO MATCH EXISTING. RE: SPECS
- 05 CONTRACTOR TO PROTECT LIGHT FIXTURES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO CAMERAS, SPEAKERS, SPRINKLERS, SIGNAGE ETC, AS NEEDED DURING PROJECT. TYP
- 06 APPLY SEALANT AND PAINT AS REQUIRED. SEALANT COLOR TO MATCH EXISTING. ALL EXISTING SEALANT AND ASSOCIATED BOND BREAKERS TO BE PROPERLY REMOVED PRIOR TO NEW SEALANT APPLICATION. CONTRACTOR TO PROTECT ADJACENT METAL THRESHOLD (AT APPLICABLE AREAS) FROM DAMAGE DURING CONSTRUCTION. TYP
- 08 LIGHT POLES AND THEIR CONCRETE MOUNTING BASES ARE NOT PART OF THE SCOPE OF WORK. ESCUTCHEONS TO BE REPLACED IF IN BAD CONDITION. TYP
- 09 CONCRETE PLANTER WALLS OR BENCHES ARE NOT PART OF THE SCOPE OF WORK.
- 15 BRIDGE STRUCTURE N/C. PROTECT FROM DAMAGE DURING REPAIRS
- 16 SCREENING WALL AND CONCRETE WALLS TO REMAIN AS IS. I.C.
- 17 CANOPY TO BE PAINTED IN ITS ENTIRETY - PAINT TO MATCH EXISTING
- 19 REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE. REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING



KEY PLAN

rhodes + brito
ARCHITECTS
AA0002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648 - 7288
www.rhodesbrito.com

Consultants

ORANGE COUNTY
GOVERNMENT
FLORIDA

Orange County
Convention Center

OCCC Capital Planning
OCCC NORTH/SOUTH
BUILDING ENVELOPE
COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL
PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

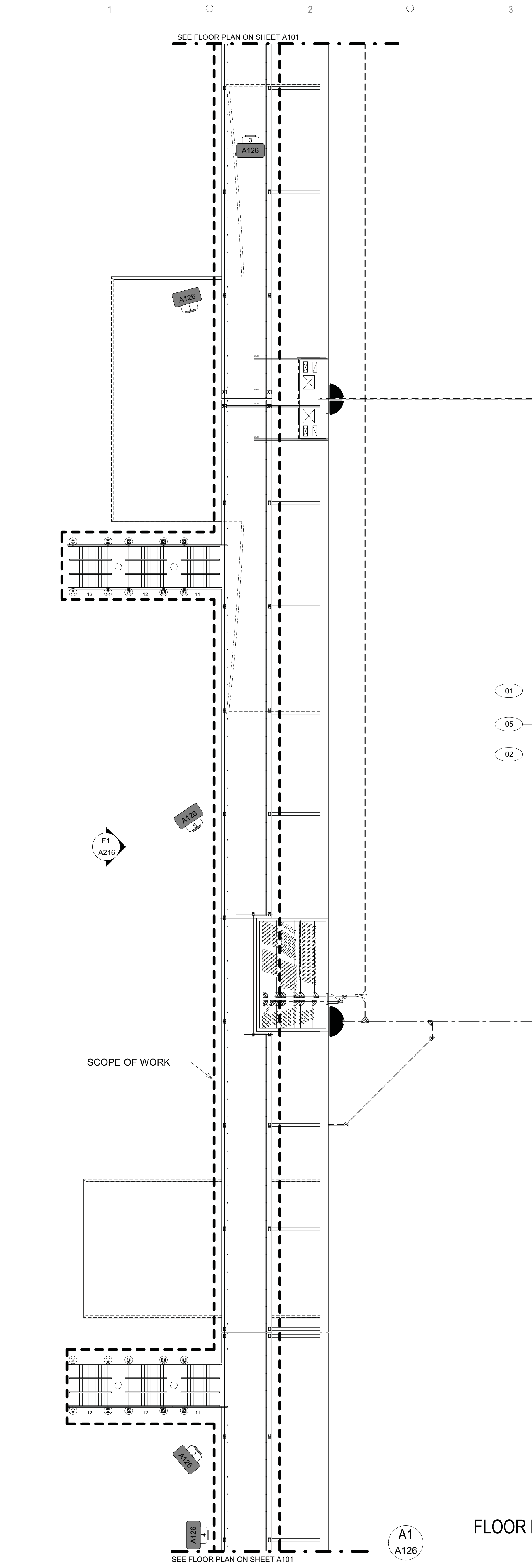
BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

ENLARGED PLANS -
CONCOURSE FLOOR -
AREA 5

SCALE: As indicated
DRAWN BY: AR
CHECK BY: LN
DATE: 12/13/18
PROJECT NUMBER: 15012.0038

A125



1.



2.



3.



5.

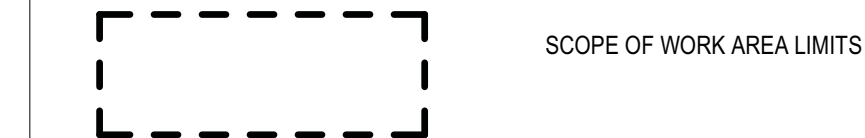


4.

GENERAL NOTES

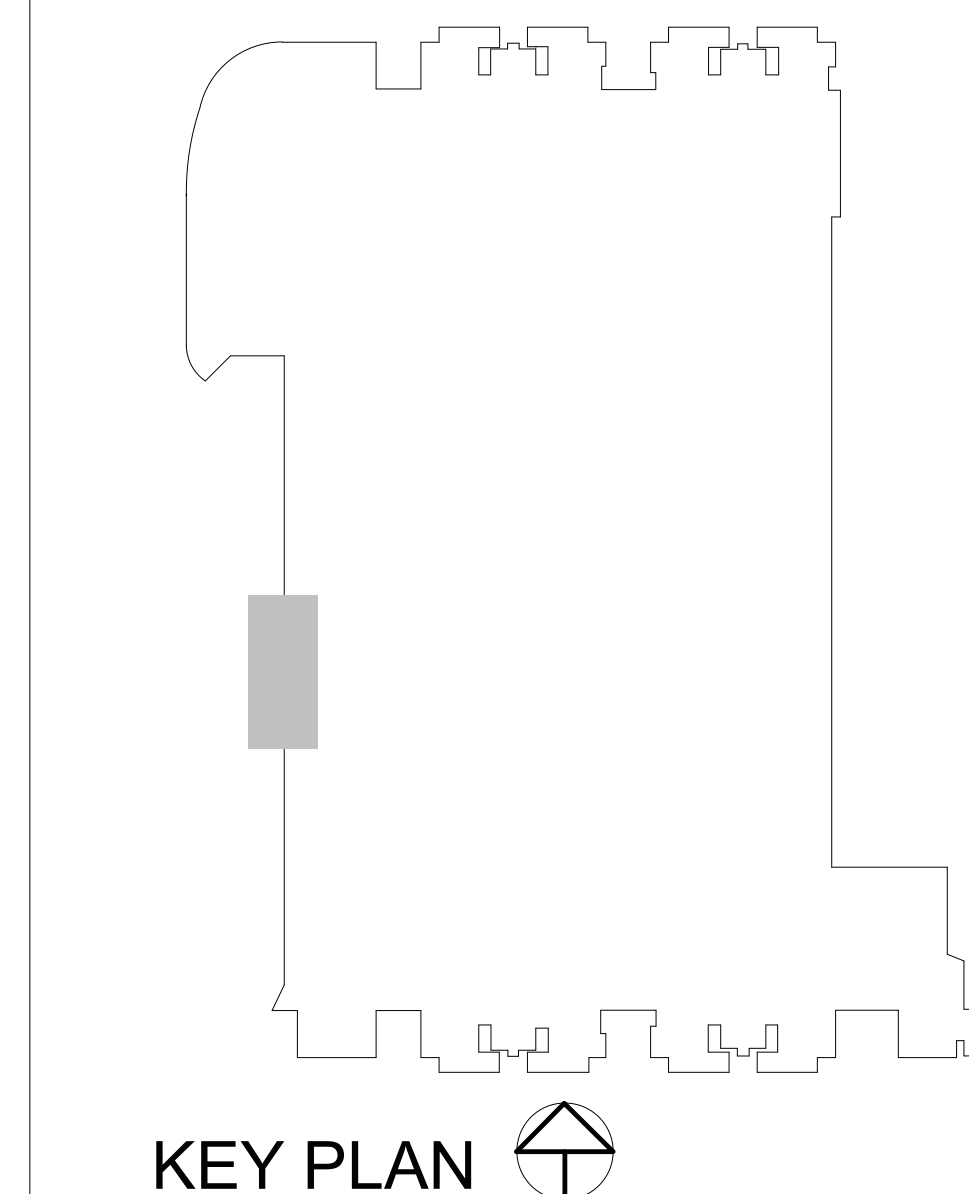
- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS), RAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION. TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS, ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

PLAN LEGEND



KEYNOTE LEGEND

- 01 CANOPY STEEL STRUCTURE TO BE PAINTED IN ITS ENTIRETY - PAINT TO MATCH EXISTING. CABLES, ROOF AND SOFFIT TO REMAIN AS IS
- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 05 CONTRACTOR TO PROTECT LIGHT FIXTURES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO CAMERAS, SPEAKERS, SPRINKLERS, SIGNAGE ETC. AS NEEDED DURING PROJECT. TYP
- 17 CANOPY TO BE PAINTED IN ITS ENTIRETY - PAINT TO MATCH EXISTING
- 19 REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE, REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING



KEY PLAN

rhodes + brito
ARCHITECTS
AA002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648 - 7288
www.rhodesbrito.com

Consultants

OCCC Capital Planning
OCCC NORTH/SOUTH BUILDING ENVELOPE COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

ENLARGED PLANS - CONCOURSE FLOOR - AREA 6

SCALE: As indicated

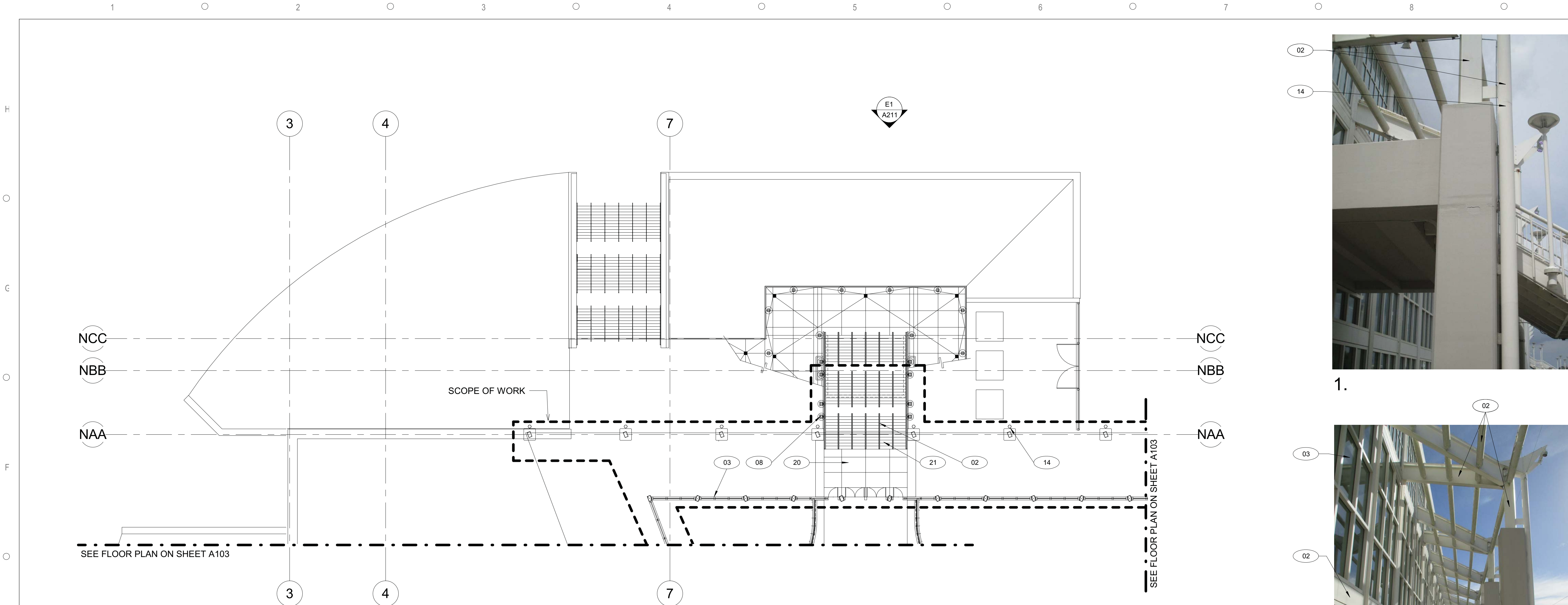
DRAWN BY: AR

CHECK BY: LN

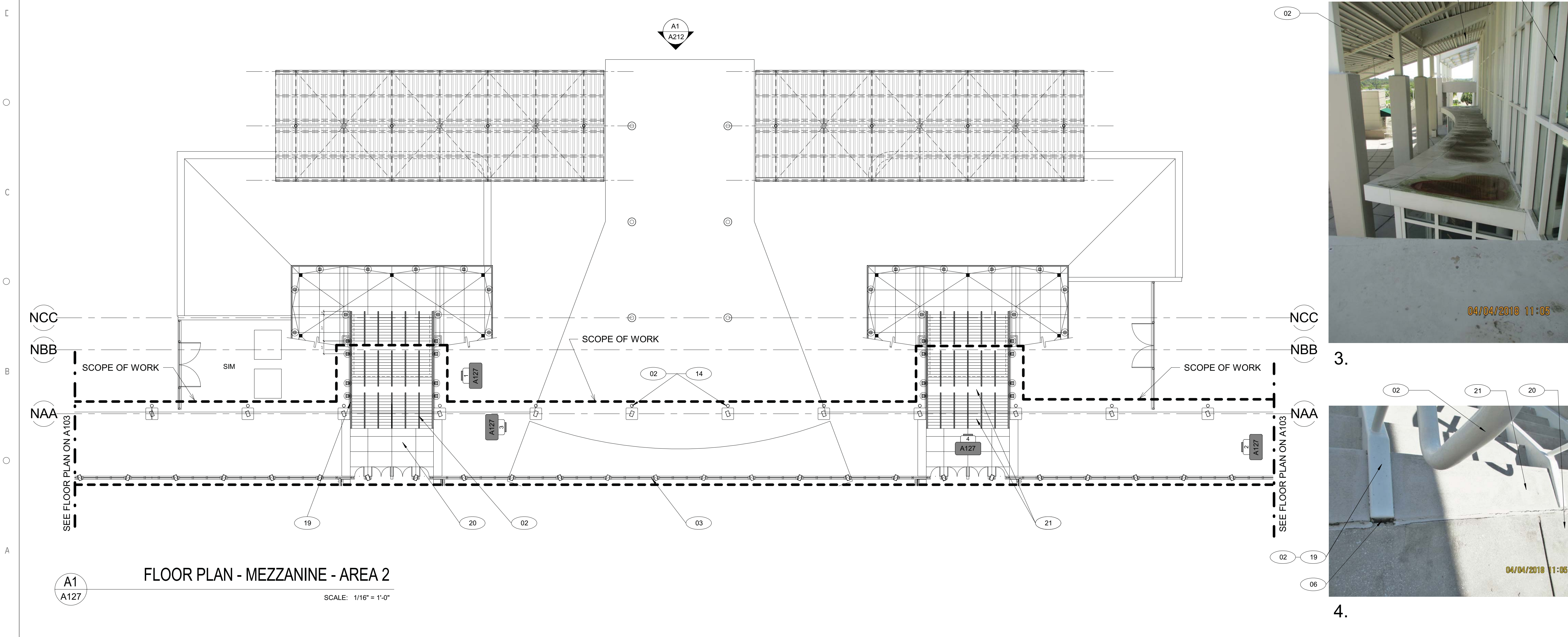
DATE: 12/13/18

PROJECT NUMBER: 15012.0038

A126



FLOOR PLAN - MEZZANINE - AREA 1
SCALE: 1/16" = 1'-0"



FLOOR PLAN - MEZZANINE - AREA 2
SCALE: 1/16" = 1'-0"



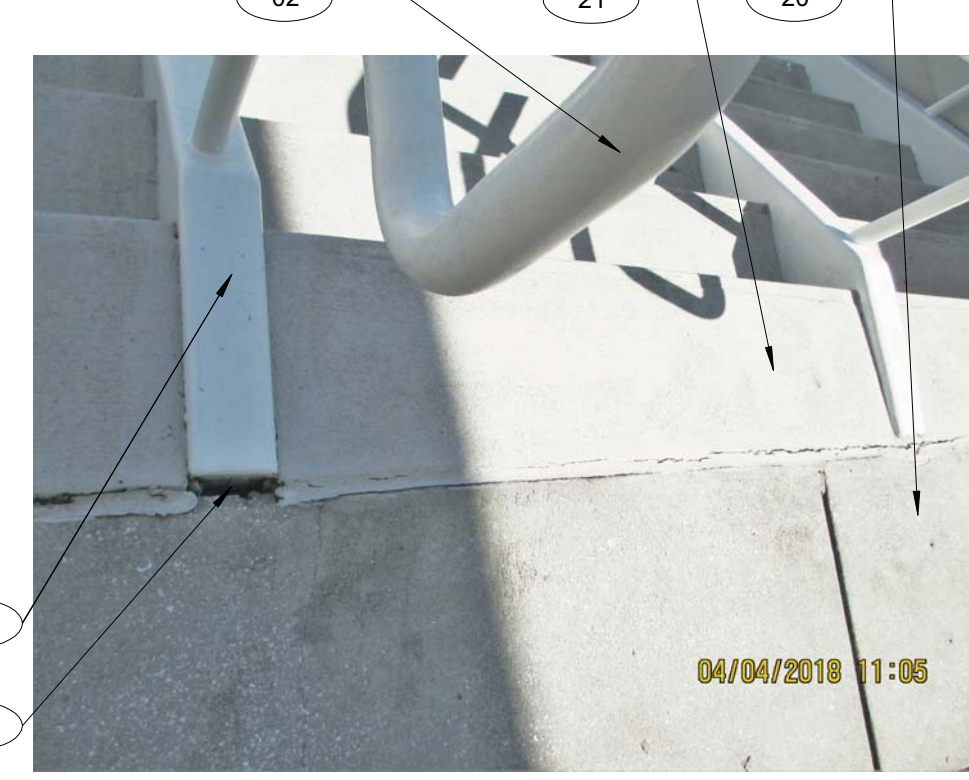
1.



2.



3.

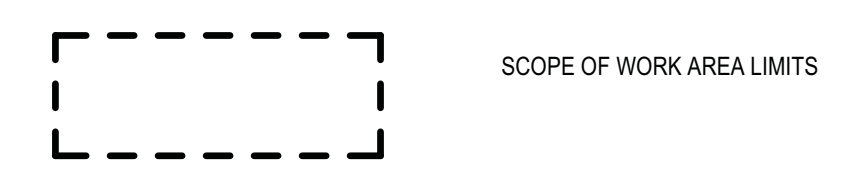


4.

GENERAL NOTES

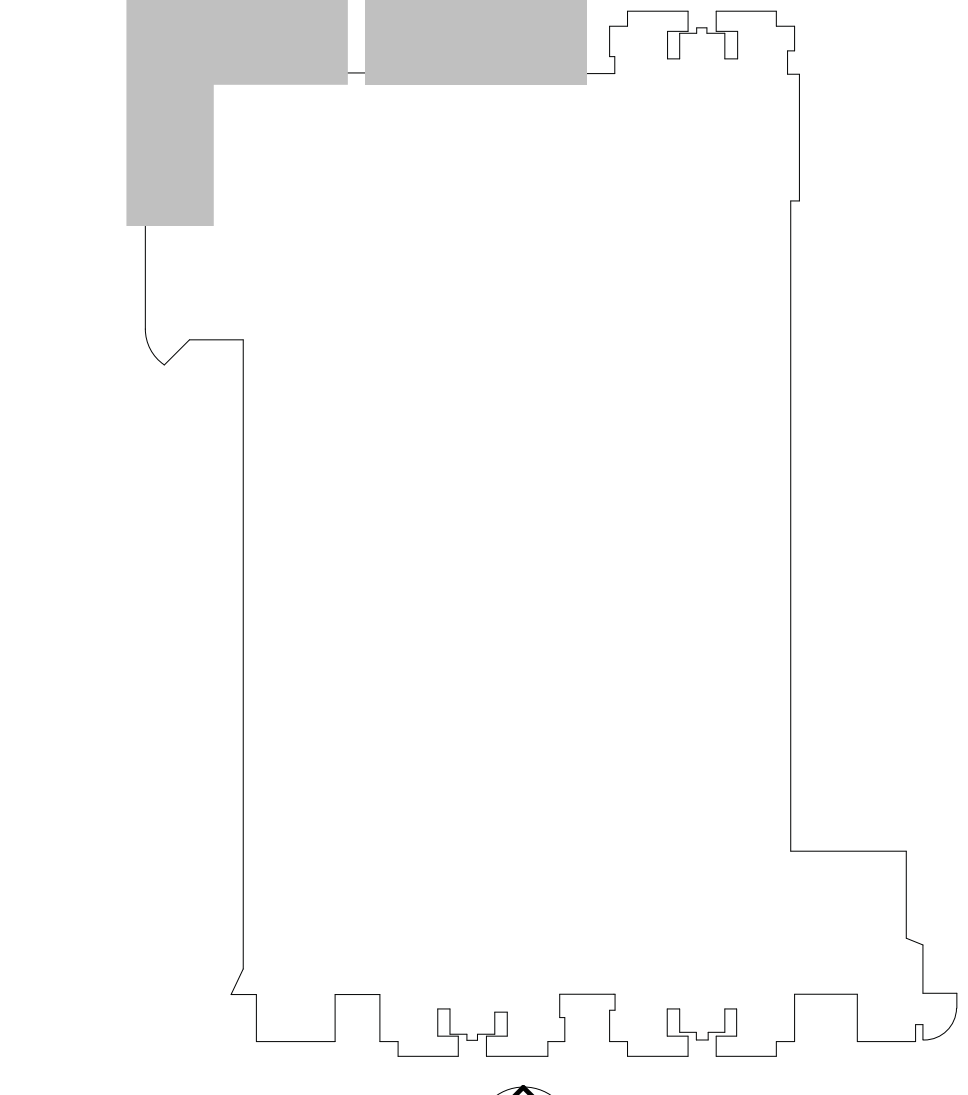
- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS), RAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION. TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS, ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

PLAN LEGEND



KEYNOTE LEGEND

- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 03 CURTAIN WALL SYSTEM TO REMAIN AS IS AND BE PROTECTED FROM DAMAGE DURING REPAIRS. PAINT ONLY THE STEEL COLUMNS AND BEAMS TO MATCH EXISTING. RE. SPECS
- 04 ALUMINUM SOFFIT NOT TO BE PAINTED. PANELS SHOULD BE REMOVED AS REQUIRED AND PROTECTED FROM DAMAGE DURING THE REPAIRS-TYP. CONTRACTOR TO REINSTALL PANELS AT COMPLETION OF THE PROJECT. ONLY EXPOSED STEEL STRUCTURAL ELEMENTS TO BE PAINTED TO MATCH EXISTING
- 06 APPLY SEALANT AND PAINT AS REQUIRED. SEALANT COLOR TO MATCH EXISTING. ALL EXISTING SEALANT AND ASSOCIATED BOND BREAKERS TO BE PROPERLY REMOVED PRIOR TO NEW SEALANT APPLICATION. CONTRACTOR TO PROTECT ADJACENT METAL THRESHOLD (AT APPLICABLE AREAS) FROM DAMAGE DURING CONSTRUCTION. TYP
- 08 LIGHT POLES AND THEIR CONCRETE MOUNTING BASES ARE NOT PART OF THE SCOPE OF WORK. ESCUTCHEONS TO BE REPAIRED IF IN BAD CONDITION. TYP
- 14 REPLACE RUSTED STEEL PIPES AND/OR ROOF LEADERS. RECAULK JOINT AND PAINT TO MATCH EXISTING
- 19 REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE. REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING
- 20 CONCRETE LANDINGS TO REMAIN AS IS, NIC. PROTECT FROM DAMAGE DURING REPAIRS
- 21 CONCRETE STAIRS AND INTERMEDIATE LANDINGS TO REMAIN AS IS UNLESS STEEL PANS AND STEEL STRUCTURE NEED TO BE REPLACED AND REPAIRED FROM RUST. TYP.
- 26 REPAIR GUARDRAIL POST BASE, REFER TO SHEET A501 FOR DETAILS TYP



KEY PLAN

rhodes + brito
ARCHITECTS
AA0002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648 - 7288
www.rbarchitects.com

Consultants

**OCCC Capital Planning
OCCC NORTH/SOUTH
BUILDING ENVELOPE
COATING**

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL
PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

**BID DOCUMENTS
NOT FOR CONSTRUCTION**

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

**ENLARGED PLANS -
MEZZANINE FLOOR -
AREA 1 & 2**

SCALE: As indicated

DRAWN BY: DP

CHECK BY: LN

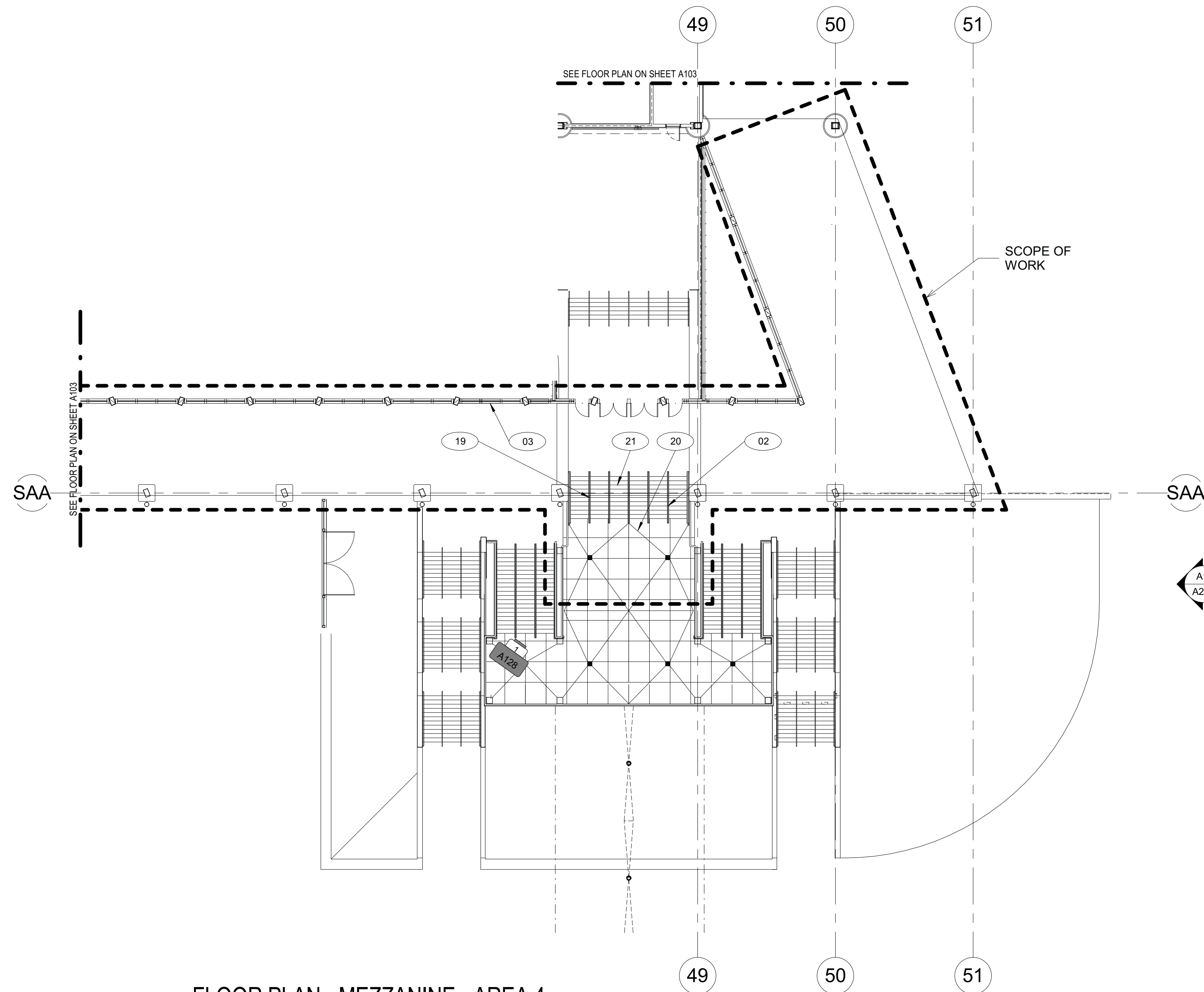
DATE: 12/13/18

PROJECT NUMBER: 15012.0038

A127

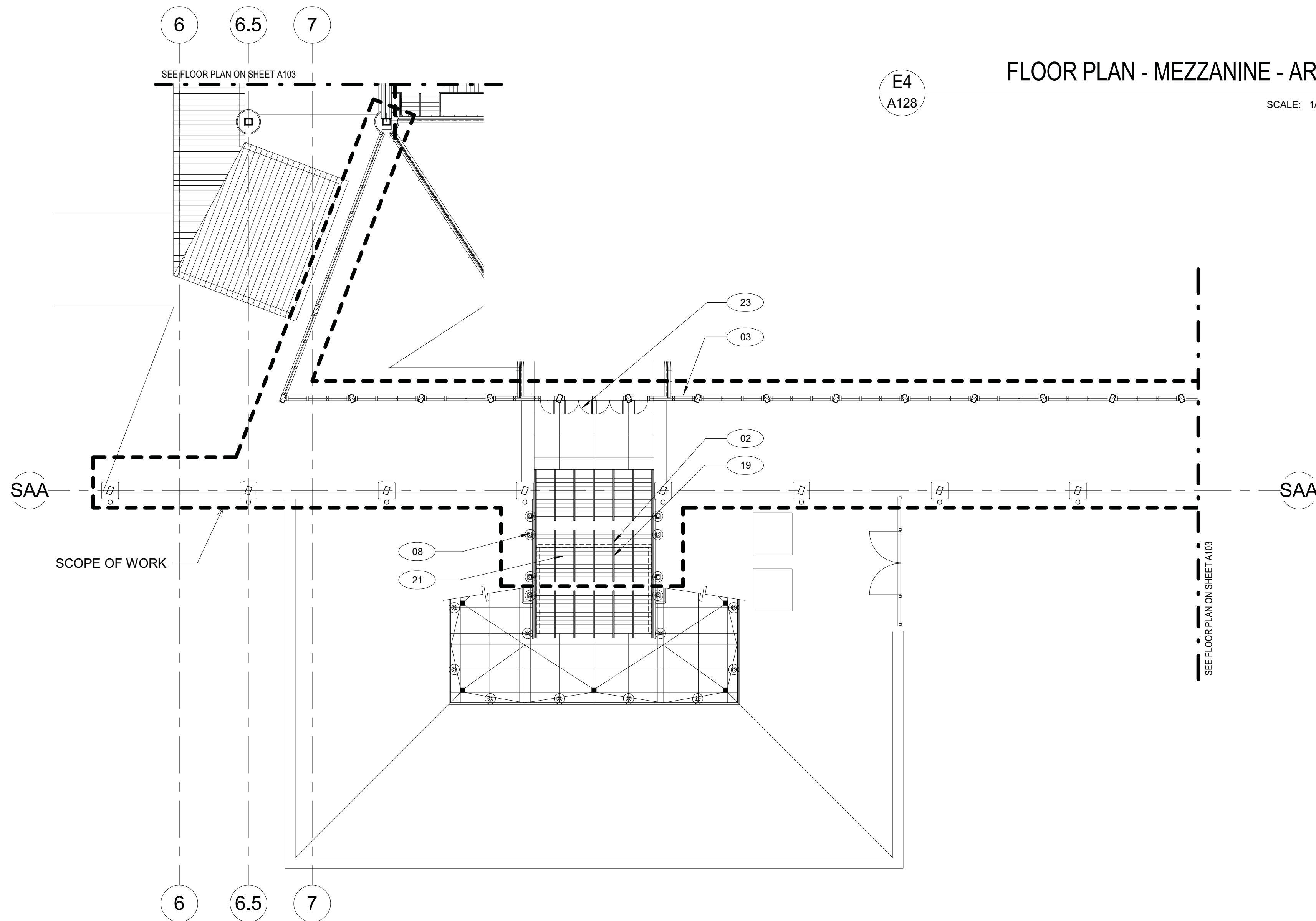


1.



FLOOR PLAN - MEZZANINE - AREA 4

SCALE: 1/16" = 1'-0"



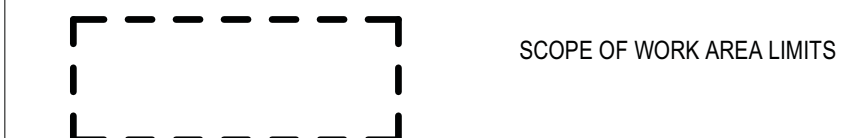
FLOOR PLAN - MEZZANINE - AREA 5

SCALE: 1/16" = 1'-0"

GENERAL NOTES

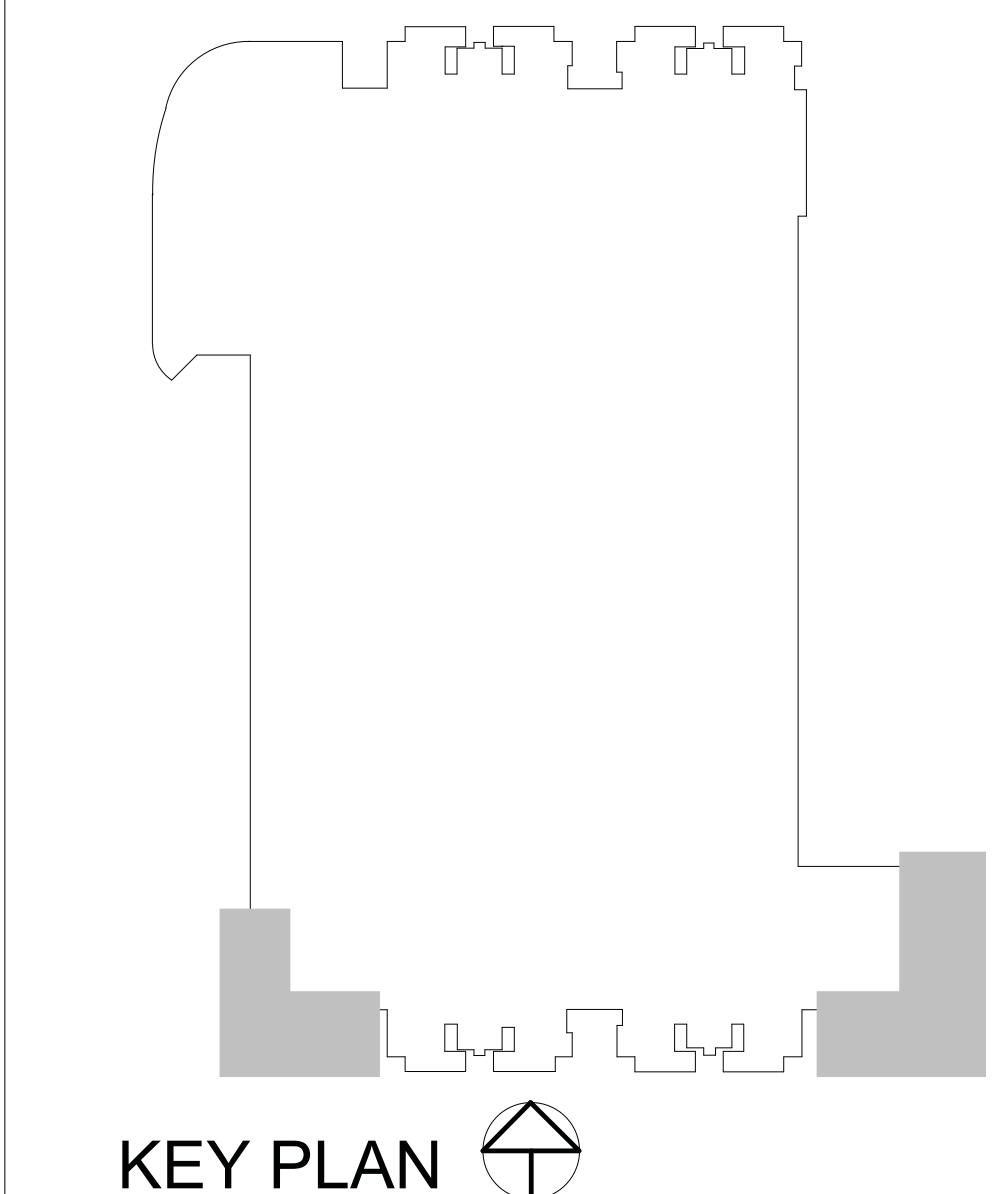
- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES, WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) RAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION. TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS. ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISUOUSEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

PLAN LEGEND

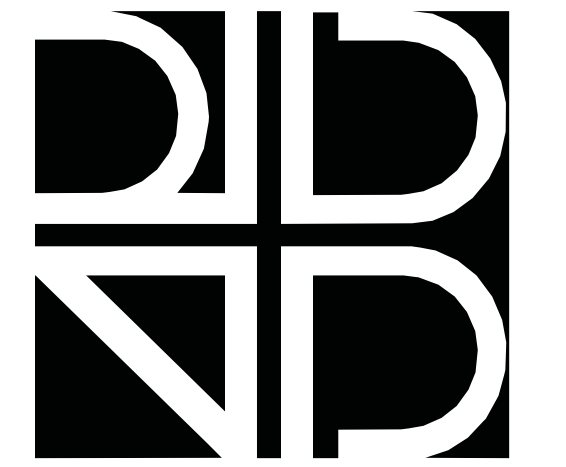


KEYNOTE LEGEND

- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 03 CURTAIN WALL SYSTEM TO REMAIN AS IS AND BE PROTECTED FROM DAMAGE DURING REPAIRS. PAINT ONLY THE STEEL COLUMNS AND BEAMS TO MATCH EXISTING. RE. SPECS
- 08 LIGHT POLES AND THEIR CONCRETE MOUNTING BASES ARE NOT PART OF THE SCOPE OF WORK. ESCUTCHEONS TO BE REPLACED IF IN BAD CONDITION. TYP
- 19 REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE. REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING.
- 20 CONCRETE LANDING TO REMAIN AS IS, NIC. PROTECT FROM DAMAGE DURING REPAIRS
- 21 CONCRETE STAIRS AND INTERMEDIATE LANDINGS TO REMAIN AS IS UNLESS STEEL PANS AND STEEL STRUCTURE NEED TO BE REPLACED AND REPAIRED FROM RUST. TYP.
- 23 DOORS, FRAMES, GLAZING AND METAL PANELS NIC. TYP.



KEY PLAN



rhodes + brito
ARCHITECTS

AA002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648 - 7288
www.rbrchitects.com

Consultants



OCCC Capital Planning

OCCC NORTH/SOUTH
BUILDING ENVELOPE
COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL
PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

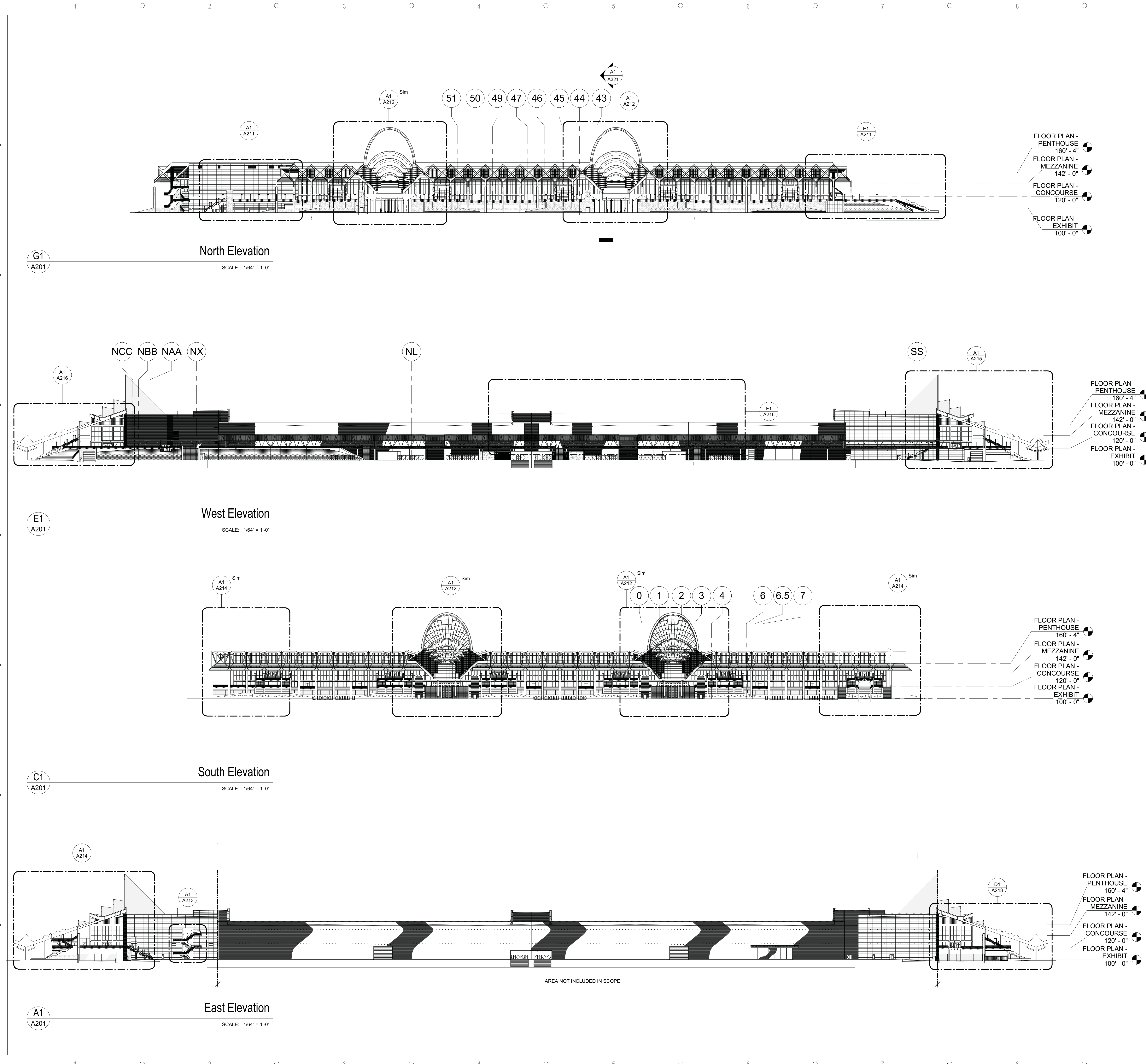
BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

ENLARGED PLANS -
MEZZANINE FLOOR -
AREA 4 & 5

SCALE: As indicated
DRAWN BY: DP
CHECK BY: LN
DATE: 12/13/18
PROJECT NUMBER: 15012.0038

A128



North Elevation

SCALE: 1/8" = 1'-0"

West Elevation

SCALE: 1/8" = 1'-0"

South Elevation

SCALE: 1/8" = 1'-0"

East Elevation

SCALE: 1/8" = 1'-0"

- FLOOR PLAN - PENTHOUSE 160' - 4"
- FLOOR PLAN - MEZZANINE 142' - 0"
- FLOOR PLAN - CONCOURSE 120' - 0"
- FLOOR PLAN - EXHIBIT 100' - 0"

- FLOOR PLAN - PENTHOUSE 160' - 4"
- FLOOR PLAN - MEZZANINE 142' - 0"
- FLOOR PLAN - CONCOURSE 120' - 0"
- FLOOR PLAN - EXHIBIT 100' - 0"

- FLOOR PLAN - PENTHOUSE 160' - 4"
- FLOOR PLAN - MEZZANINE 142' - 0"
- FLOOR PLAN - CONCOURSE 120' - 0"
- FLOOR PLAN - EXHIBIT 100' - 0"

- FLOOR PLAN - PENTHOUSE 160' - 4"
- FLOOR PLAN - MEZZANINE 142' - 0"
- FLOOR PLAN - CONCOURSE 120' - 0"
- FLOOR PLAN - EXHIBIT 100' - 0"

GENERAL NOTES

- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) RAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION, TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS. ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.



Consultants



OCCC Capital Planning
OCCC NORTH/SOUTH BUILDING ENVELOPE COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

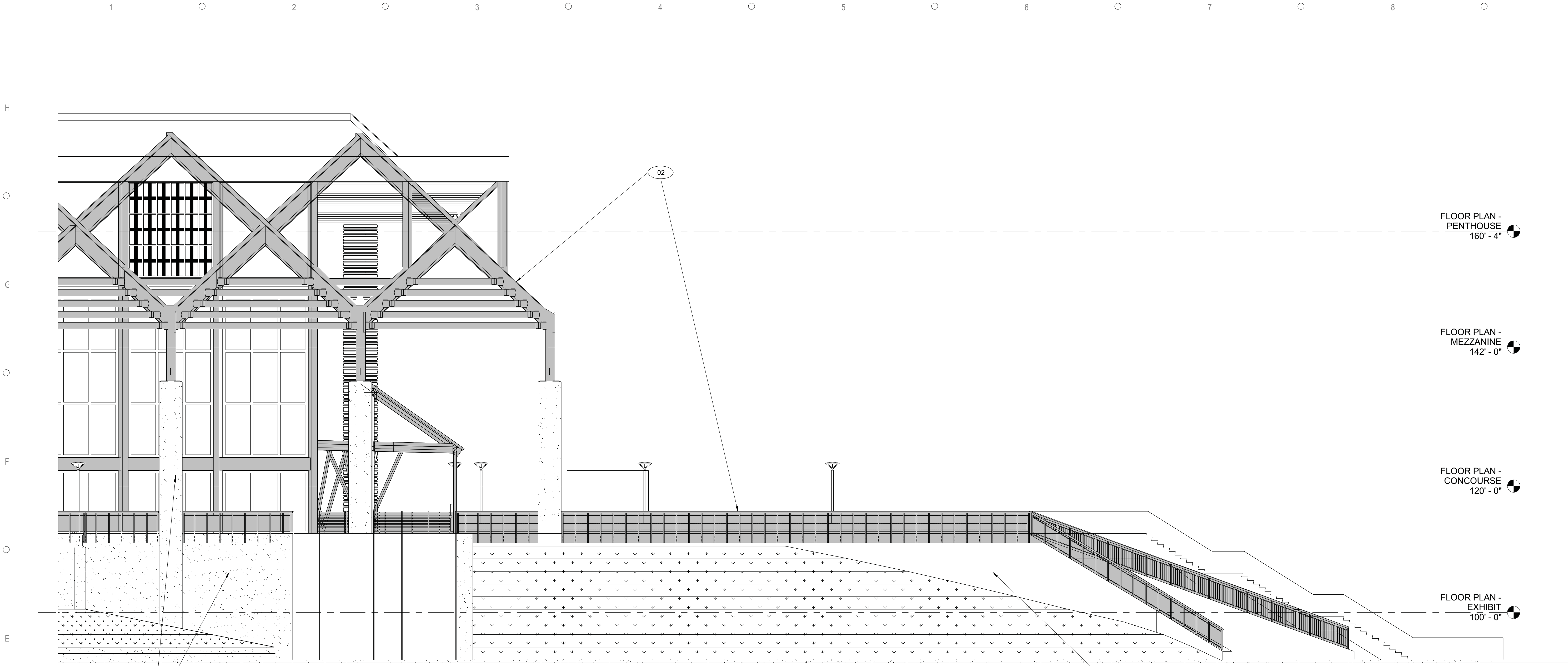
BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

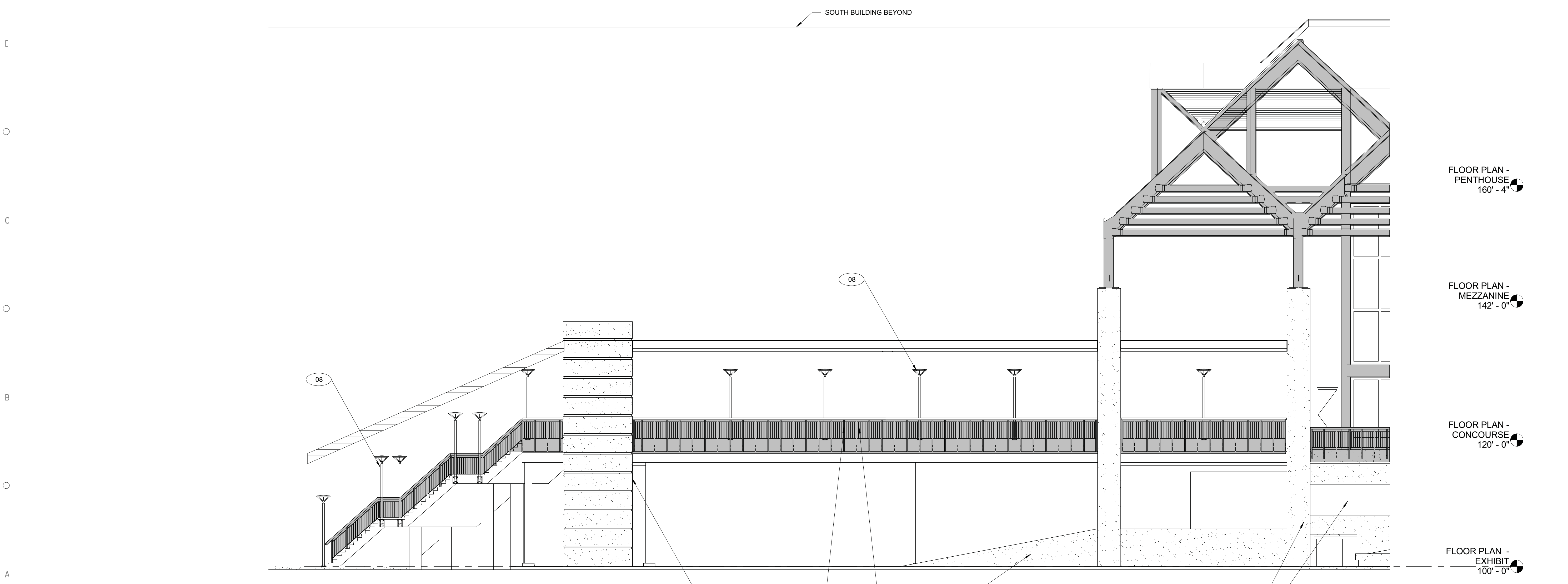
BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"
DRAWN BY: LN
CHECK BY: LN
DATE: 12/13/18
PROJECT NUMBER: 15012.0038

A201



E1
A211
North Elevation - Area 1
SCALE: 1/8" = 1'-0"



A1
A211
North Elevation - Area 3
SCALE: 1/8" = 1'-0"

GENERAL NOTES

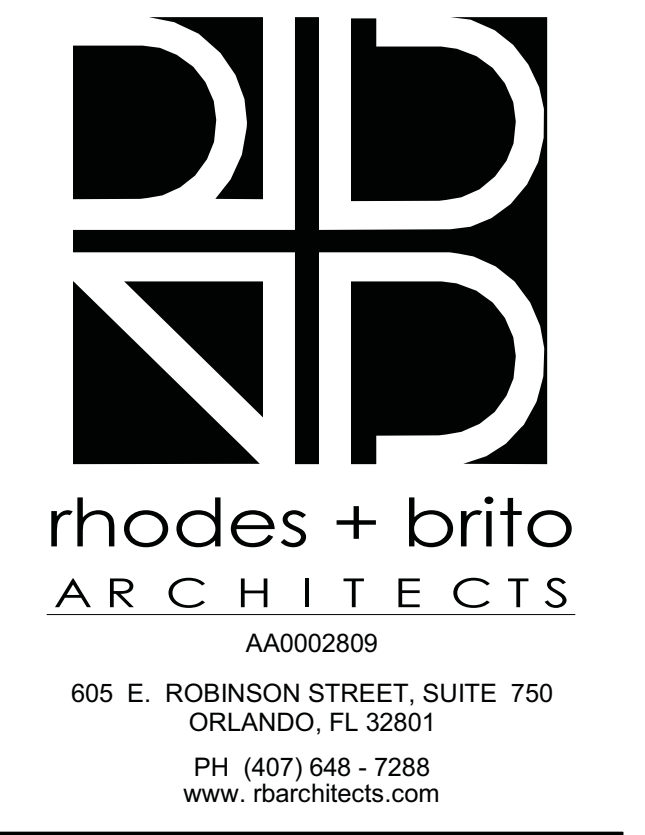
- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES, WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) RAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION. TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS, ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEEN OVER DOOR OPENINGS, AND BLOWER FANS TO DISPSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

KEYNOTE LEGEND

- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 08 LIGHT POLES AND THEIR CONCRETE MOUNTING BASES ARE NOT PART OF THE SCOPE OF WORK. ESCUTCHEONS TO BE REPLACED IF IN BAD CONDITION, TYP
- 09 CONCRETE PLANTER WALLS OR BENCHES ARE NOT PART OF THE SCOPE OF WORK
- 12 ELEVATOR TOWER TO REMAIN AS IS N.I.C.
- 16 SCREENING WALL AND CONCRETE WALLS TO REMAIN AS IS N.I.C.
- 18 REPLACE DAMAGED RAILING TO MATCH EXISTING, REFER TO STRUCTURAL FOR WELDING REQUIREMENTS IF APPLICABLE

LEGEND

AREA OF WORK



Consultants



OCCC Capital Planning
OCCC NORTH/SOUTH BUILDING ENVELOPE COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL PROPERTY RIGHTS RESERVED ©
Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

ENLARGED ELEVATIONS PHASE 1

SCALE:	As indicated
DRAWN BY:	CM/DP
CHECK BY:	LN
DATE:	12/13/18
PROJECT NUMBER:	15012.0038

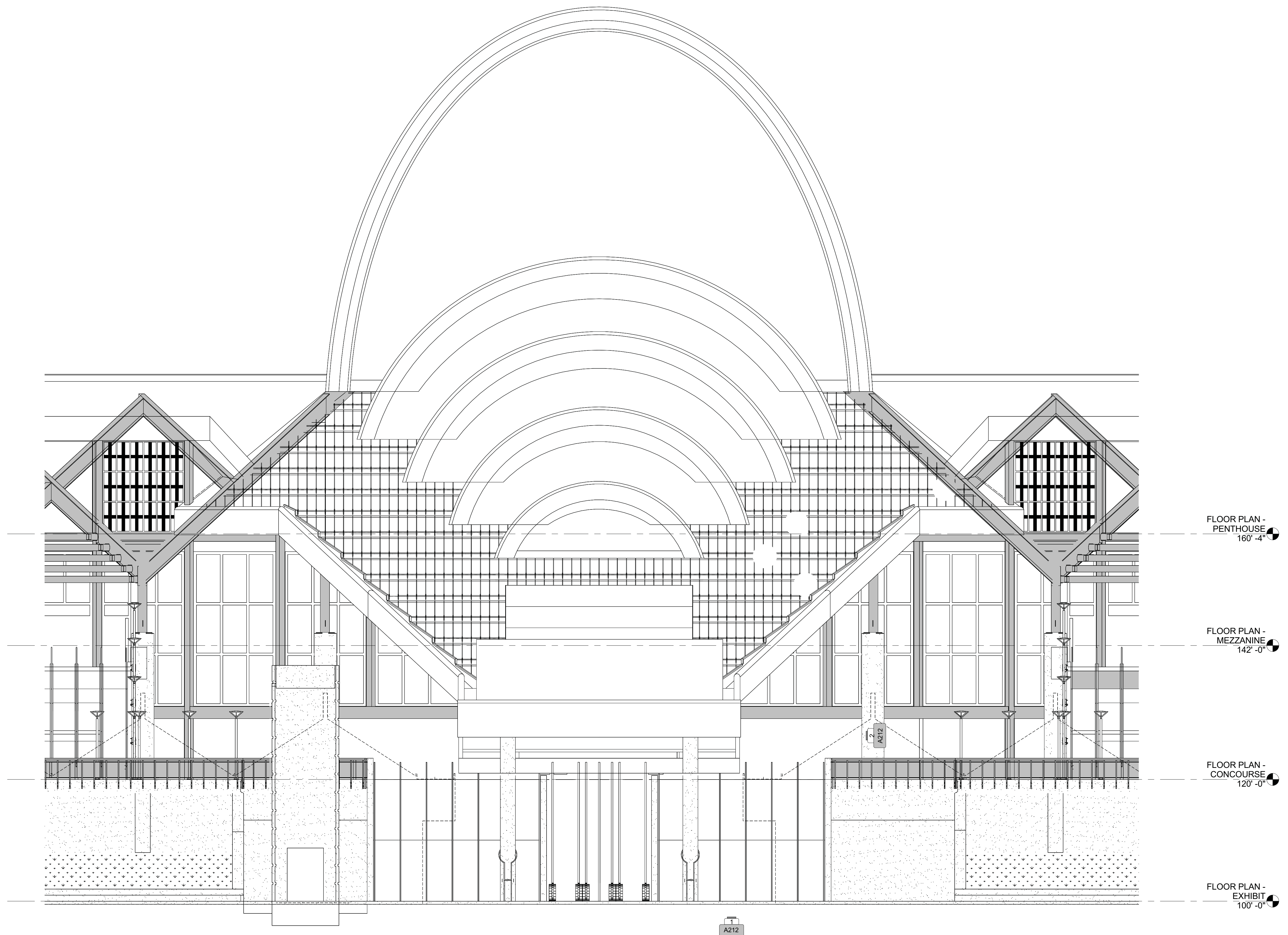
A211



1.



2.



FLOOR PLAN -
PENTHOUSE
160'-4"

FLOOR PLAN -
MEZZANINE
142'-0"

FLOOR PLAN -
CONCOURSE
120'-0"

FLOOR PLAN -
EXHIBIT
100'-0"

A1
A212

North and South Entrances - Area 2

SCALE: 1/8" = 1'-0"

GENERAL NOTES

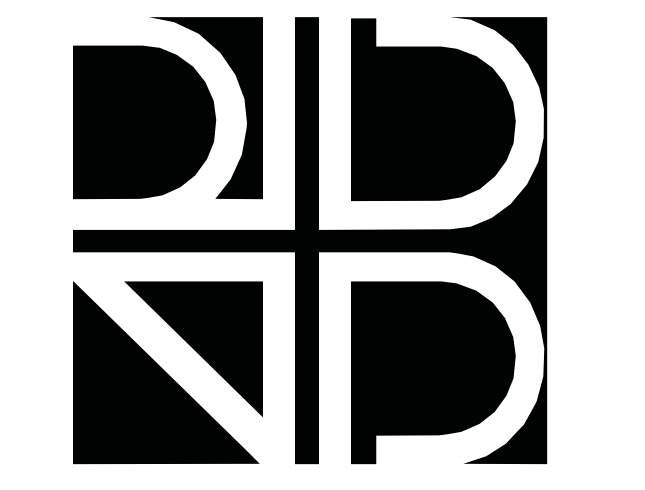
- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SPEAKERS, LIGHT POSTS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) RAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION, TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS, ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

KEYNOTE LEGEND

- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 03 CURTAIN WALL SYSTEM TO REMAIN AS IS AND BE PROTECTED FROM DAMAGE DURING REPAIRS. PAINT ONLY THE STEEL COLUMNS AND BEAMS TO MATCH EXISTING. RE. SPECS
- 04 ALUMINUM SOFFIT NOT TO BE PAINTED -PANELS SHOULD BE REMOVED AS REQUIRED AND PROTECTED FROM DAMAGE DURING THE REPAIRS-TYP. CONTRACTOR TO REINSTALL PANELS AT COMPLETION OF THE PROJECT. ONLY EXPOSED STEEL STRUCTURAL ELEMENTS TO BE PAINTED TO MATCH EXISTING
- 05 CONTRACTOR TO PROTECT LIGHT FIXTURES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO CAMERAS, SPEAKERS, SPRINKLERS, SIGNAGE ETC, AS NEEDED DURING PROJECT TYP
- 08 LIGHT POLES AND THEIR CONCRETE MOUNTING BASES ARE NOT PART OF THE SCOPE OF WORK. ESCUTCHEONS TO BE REPLACED IF IN BAD CONDITION, TYP
- 11 ALUMINUM ROOFING AND FASCIA TO REMAIN AS IS. CONTRACTOR TO PROTECT IT FROM DAMAGE DURING REPAIRS
- 16 SCREENING WALL AND CONCRETE WALLS TO REMAIN AS IS N.I.C.
- 19 REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE. REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING
- 21 CONCRETE STAIRS AND INTERMEDIATE LANDINGS TO REMAIN AS IS UNLESS STEEL PANS AND STEEL STRUCTURE NEED TO BE REPLACED AND REPAIRED FROM RUST, TYP.

LEGEND

AREA OF WORK



rhodes + brito
ARCHITECTS
AA0002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648 - 7288
www.rhodesbrito.com

Consultants



OCCC Capital Planning
OCCC NORTH/SOUTH
BUILDING ENVELOPE
COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL
PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

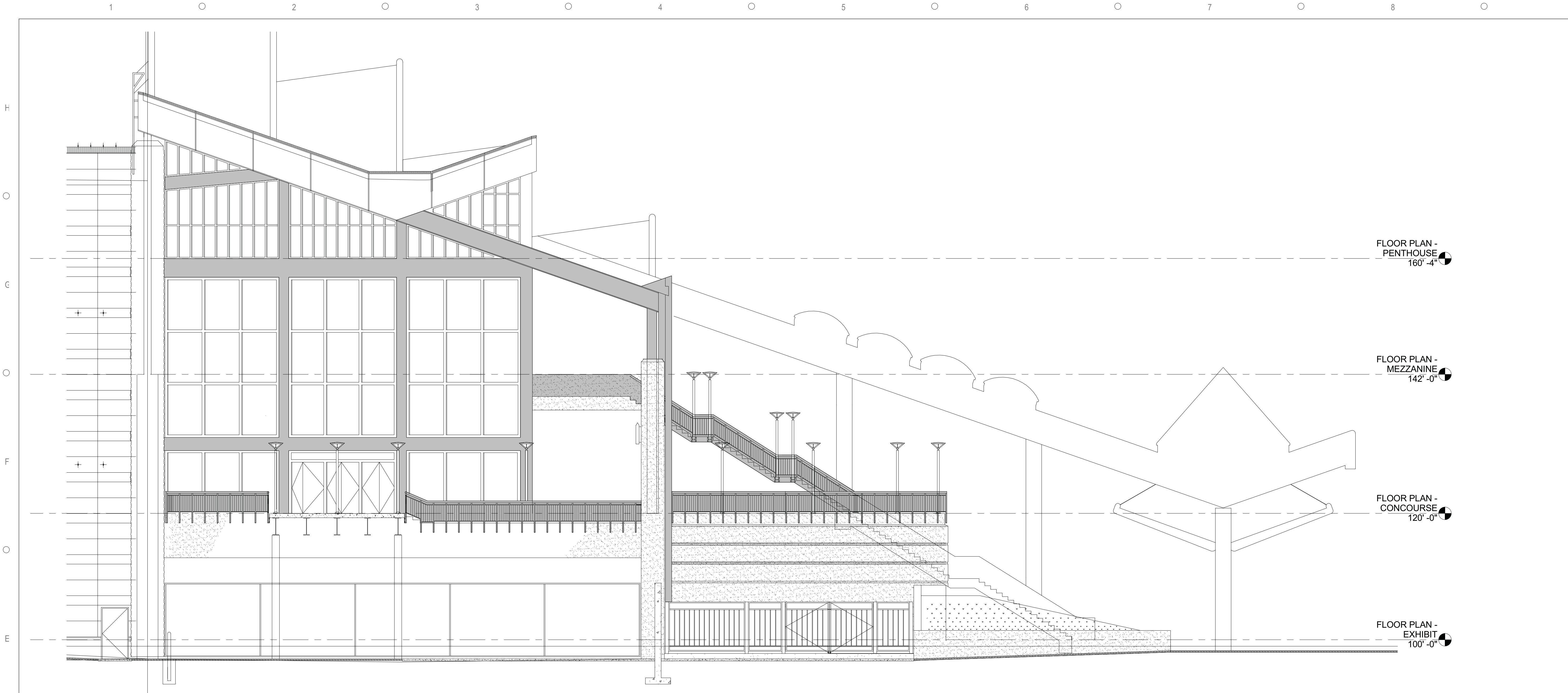
BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

ENLARGED
ELEVATIONS PHASE 1
AND 2

SCALE:	As indicated
DRAWN BY:	DP
CHECK BY:	LN
DATE:	12/13/18
PROJECT NUMBER:	15012.0038

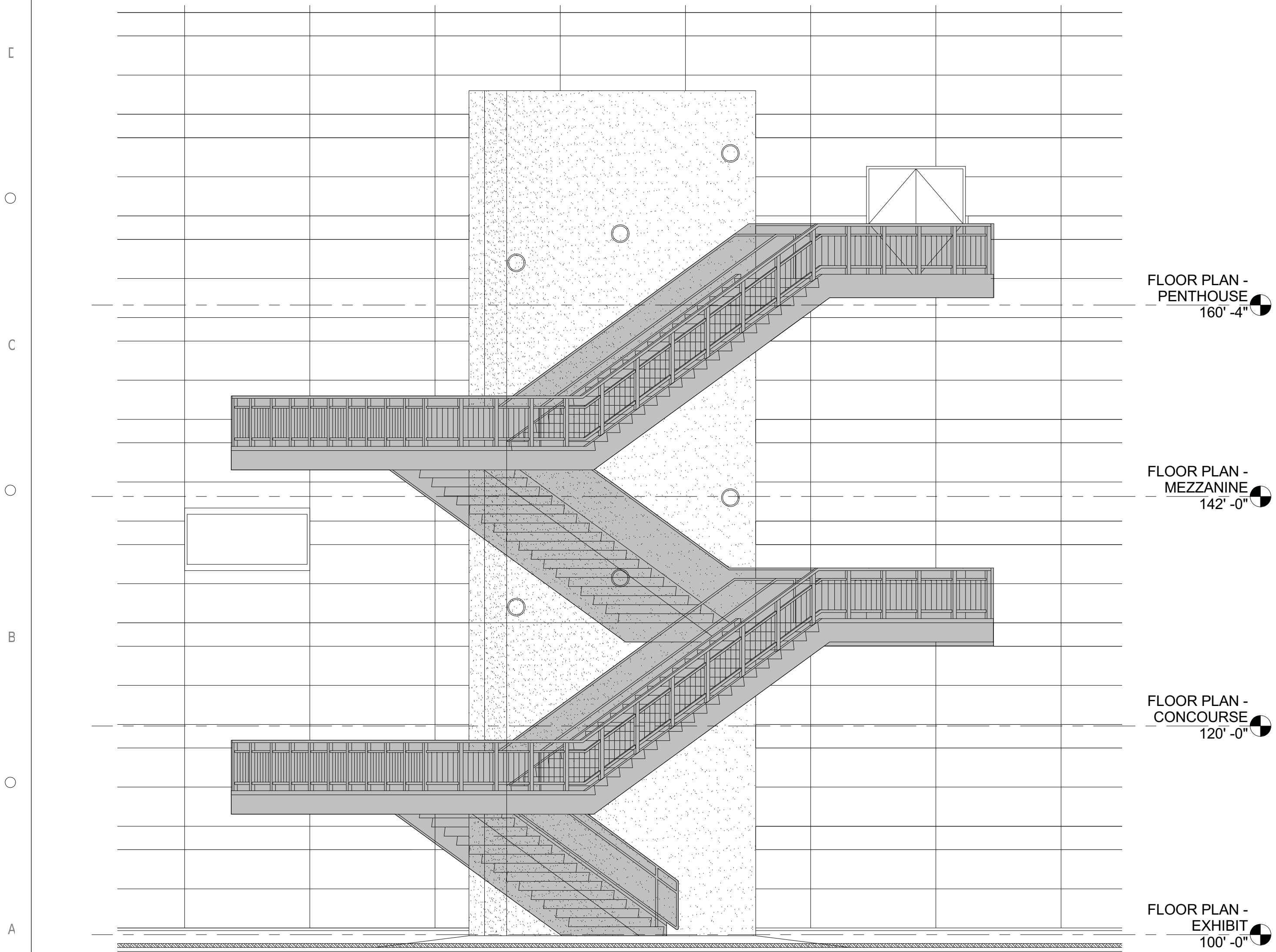
A212



North East Elevation- Area 3

SCALE: 1/8" = 1'-0"

D1
A213



Enlarged Stairs- Area 4

SCALE: 3/16" = 1'-0"

A1
A213

GENERAL NOTES

- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) RAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION. TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS, ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEEN OVER DOOR OPENINGS, AND BLOWER FANS TO DISPSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

KEYNOTE LEGEND

- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 08 LIGHT POLES AND THEIR CONCRETE MOUNTING BASES ARE NOT PART OF THE SCOPE OF WORK. ESCUTCHEONS TO BE REPLACED IF IN BAD CONDITION, TYP
- 19 REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE. REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING.

LEGEND

AREA OF WORK

02

19

02

08

02



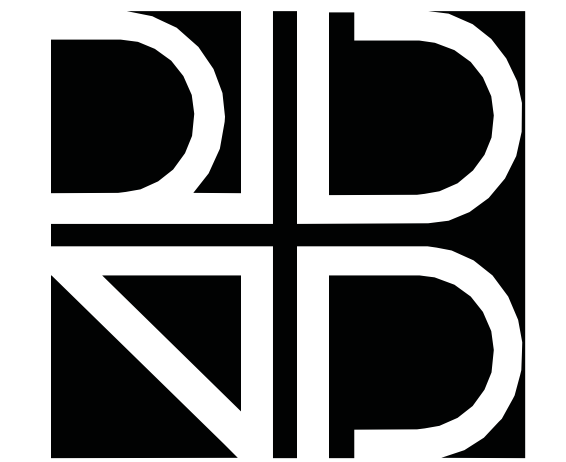
1.



2.



3.



rhodes + brito
ARCHITECTS

AA0002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648 - 7288
www.rhodesbrito.com

Consultants



Orange County
Convention Center

OCCC Capital Planning

OCCC NORTH/SOUTH
BUILDING ENVELOPE
COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL
PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

ENLARGED
ELEVATIONS PHASE 1
AND 2

SCALE: As indicated

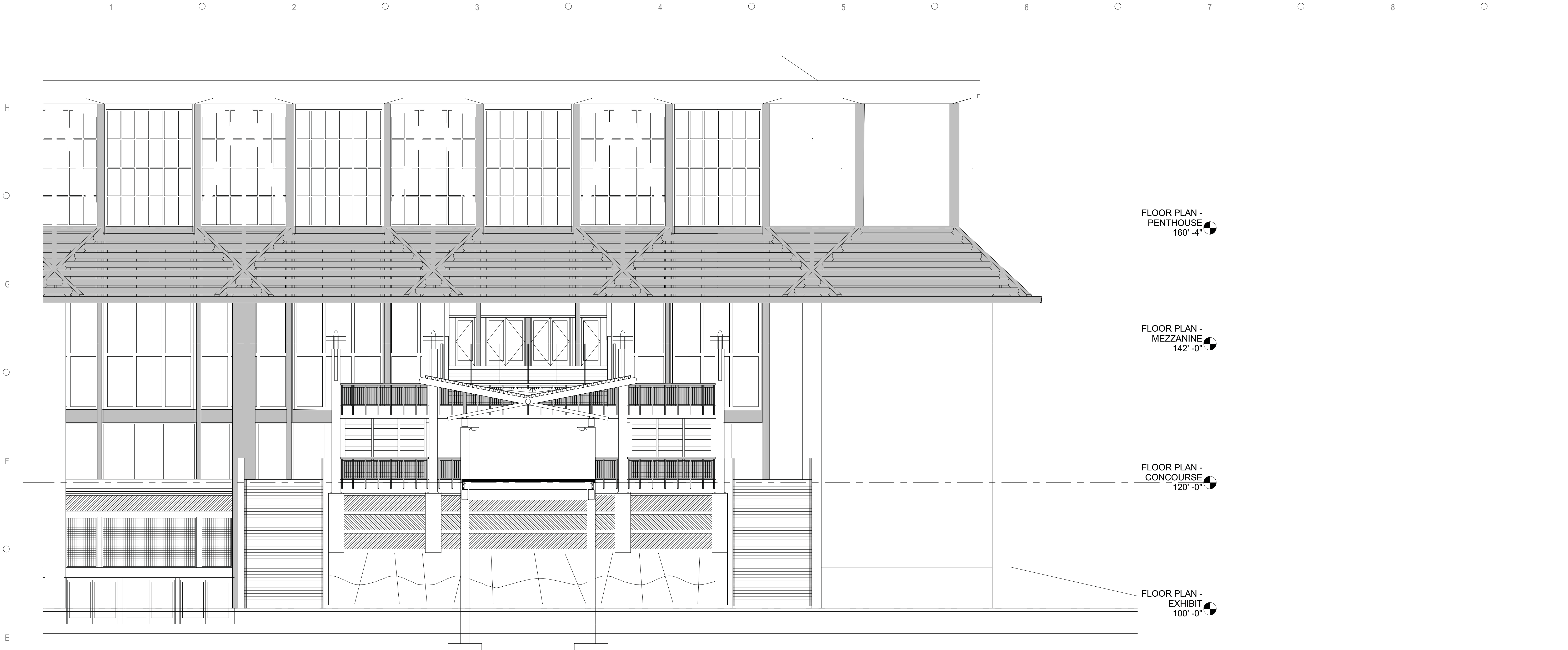
DRAWN BY: DP/LN

CHECK BY: LN

DATE: 12/13/18

PROJECT NUMBER: 15012.0038

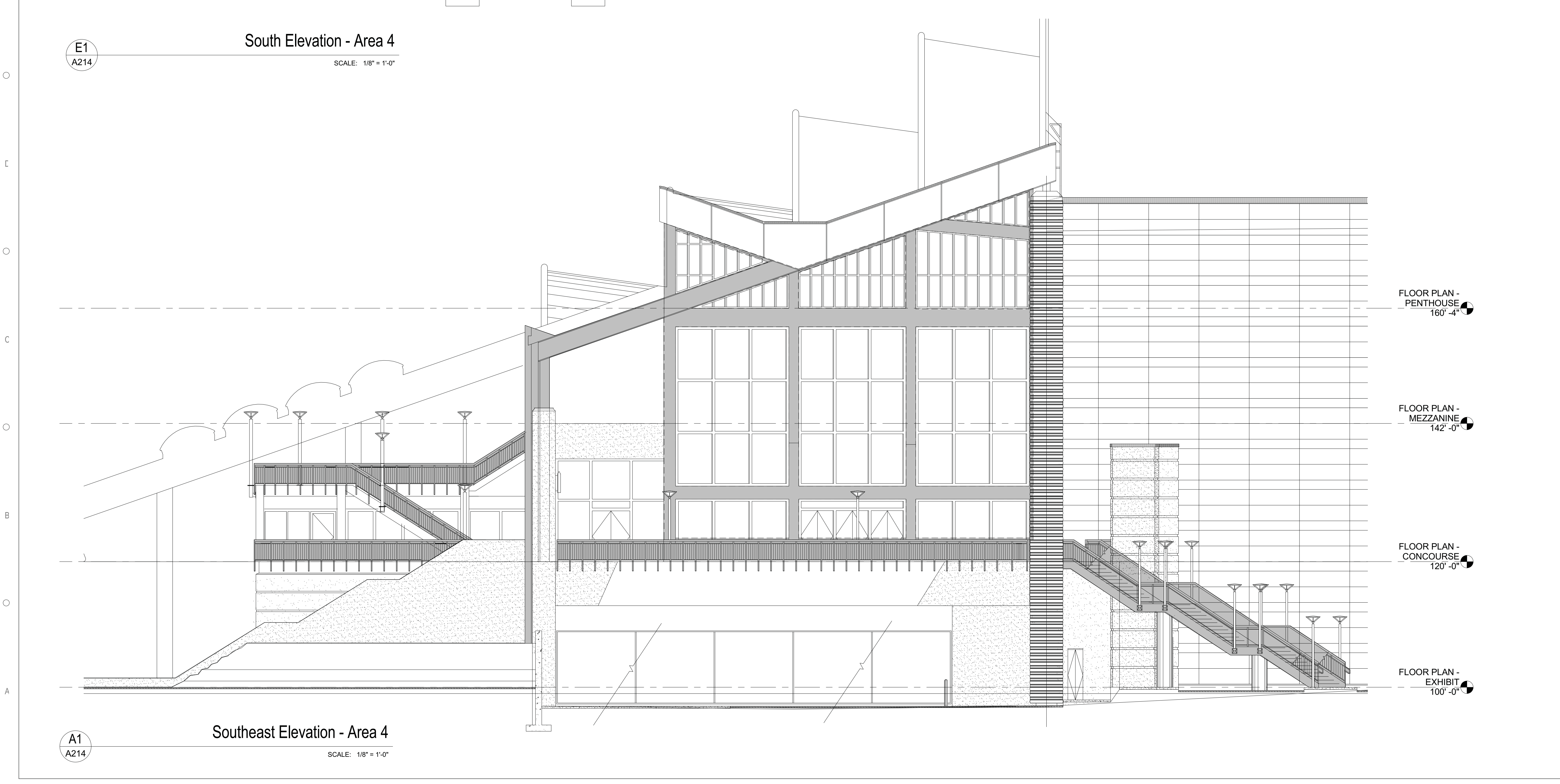
A213



South Elevation - Area 4

SCALE: 1/8" = 1'-0"

E1
A214



Southeast Elevation - Area 4

SCALE: 1/8" = 1'-0"

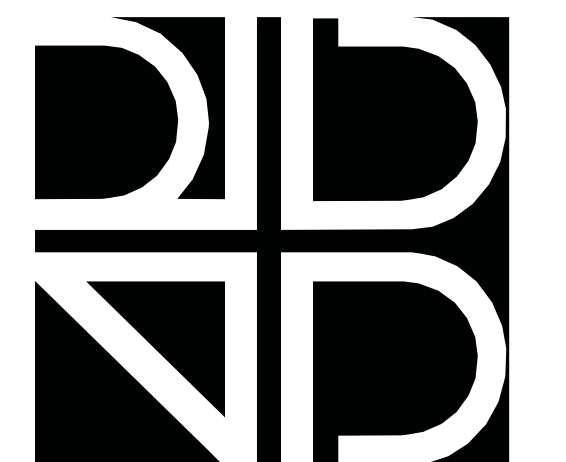
A1
A214

GENERAL NOTES

- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD ITEMS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) RAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION, TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS. ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

LEGEND

AREA OF WORK



rhodes + brito
ARCHITECTS

AA0002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648 - 7288
www.rbrchitects.com

Consultants



OCCC Capital Planning
OCCC NORTH/SOUTH
BUILDING ENVELOPE
COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL
PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

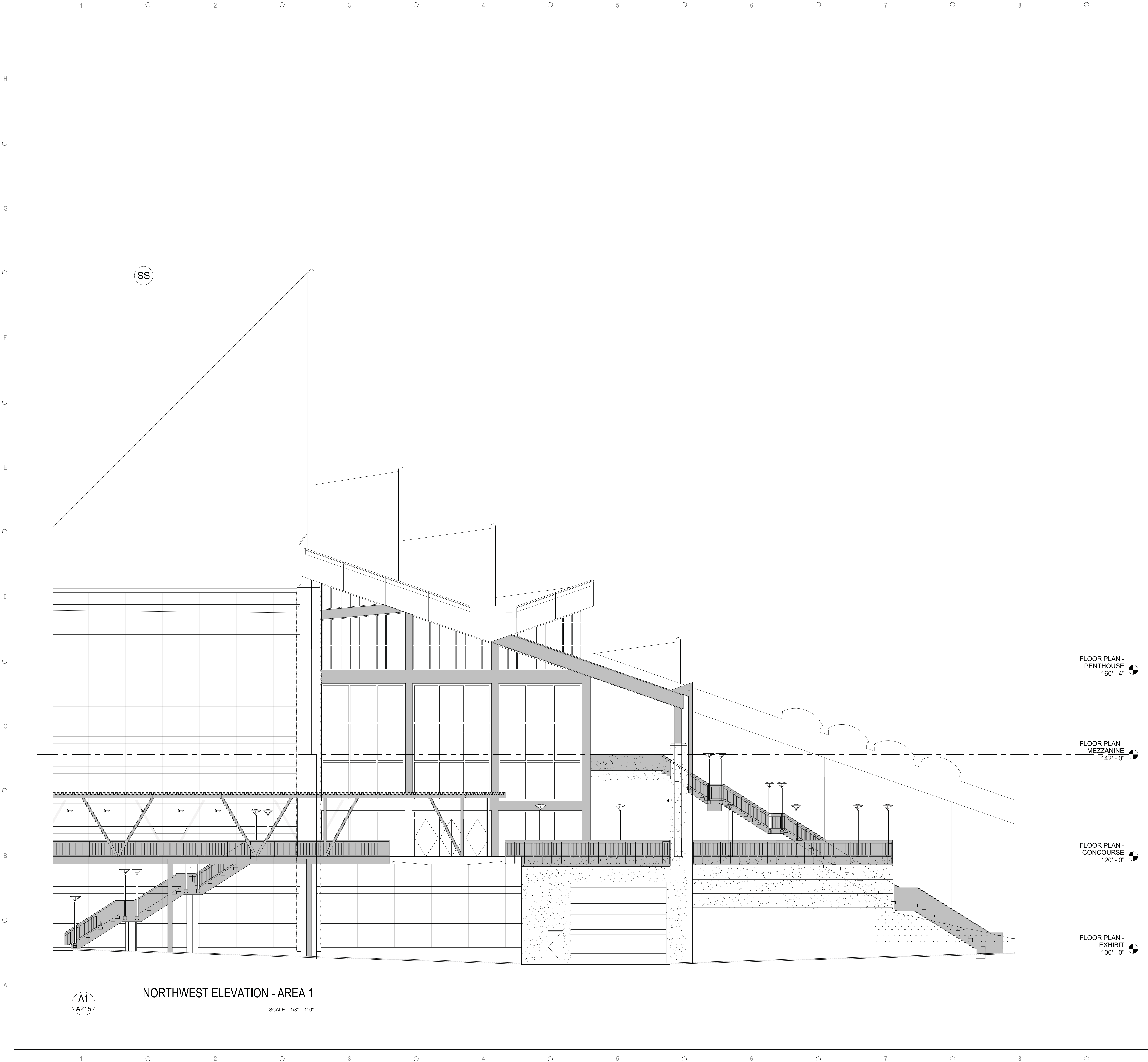
BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

ENLARGED
ELEVATIONS PHASE 2

SCALE: As indicated
DRAWN BY: DP/LN
CHECK BY: LN
DATE: 12/13/18
PROJECT NUMBER: 15012.0038

A214



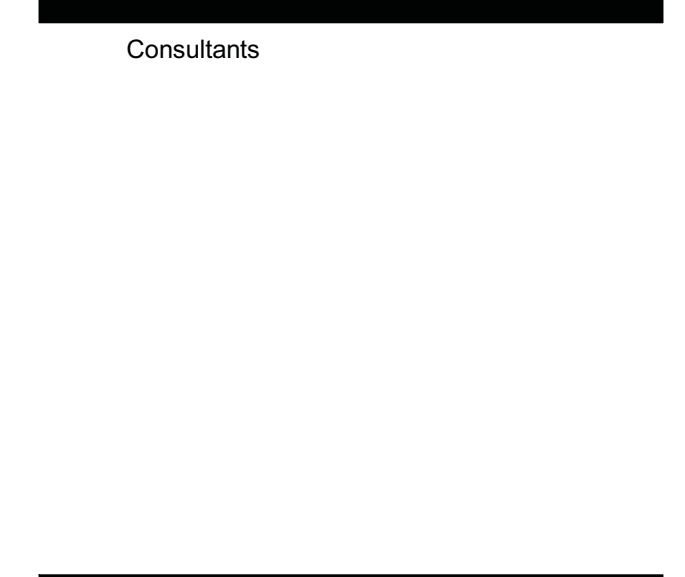
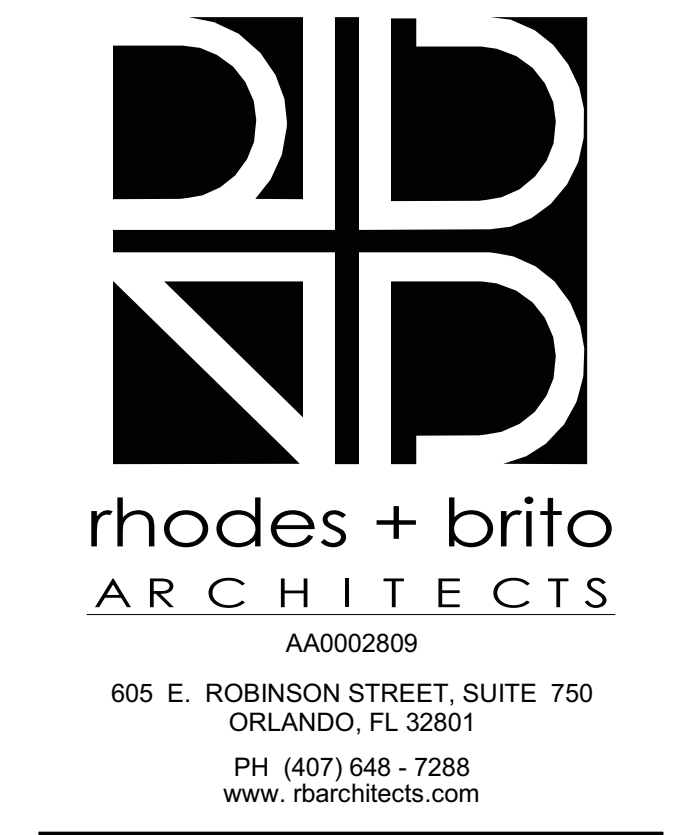
GENERAL NOTES

- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) RAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION, TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS. ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

LEGEND



- FLOOR PLAN - PENTHOUSE 160' - 4"
- FLOOR PLAN - MEZZANINE 142' - 0"
- FLOOR PLAN - CONCOURSE 120' - 0"
- FLOOR PLAN - EXHIBIT 100' - 0"



OCCC Capital Planning
OCCC NORTH/SOUTH BUILDING ENVELOPE COATING

9400 Universal Boulevard
 Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
 FL Reg. No. AR0015108

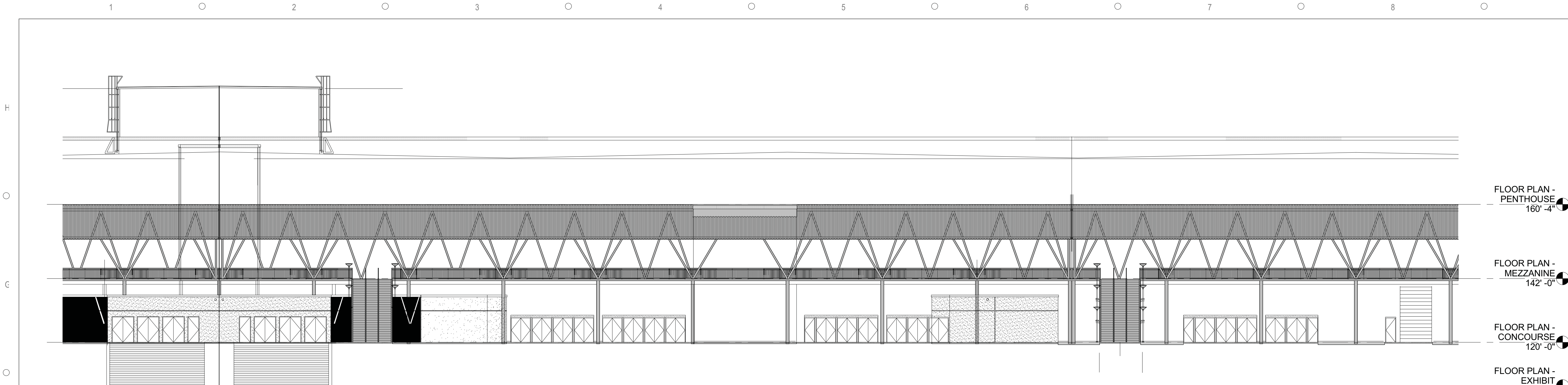
BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

ENLARGED ELEVATIONS PHASE 3

SCALE:	As indicated
DRAWN BY:	DP/LN
CHECK BY:	LN
DATE:	12/13/18
PROJECT NUMBER:	15012.0038

A215



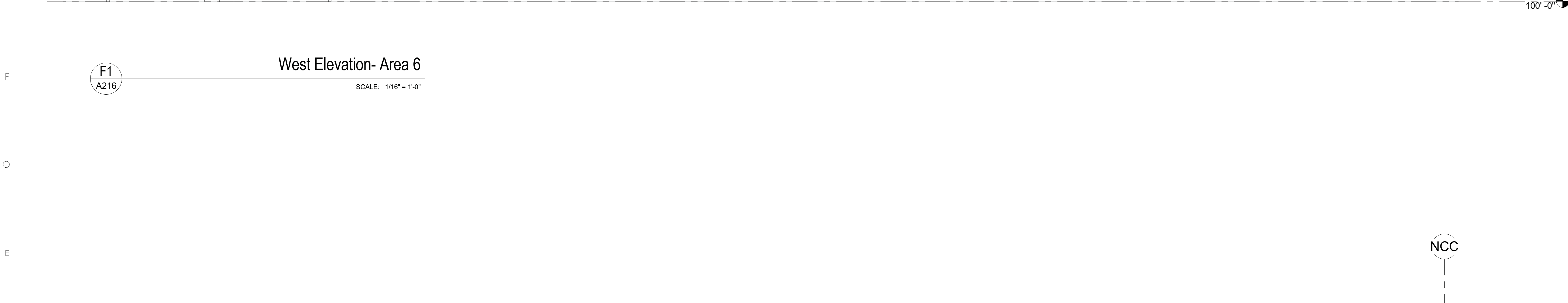
West Elevation- Area 6

F1
A216

SCALE: 1/16" = 1'-0"

GENERAL NOTES

- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) RAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION, TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS. ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEEN OVER DOOR OPENINGS, AND BLOWER FANS TO DIFFUSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.



Northwest Elevation- Area 1

A1
A216

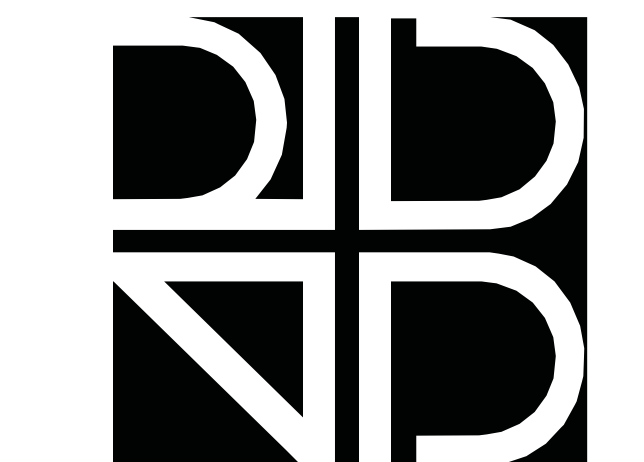
SCALE: 1/8" = 1'-0"

LEGEND

AREA OF WORK

AREA OF WORK

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	



rhodes + brito
ARCHITECTS

AA0002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648 - 7288
www.rbrchitects.com

Consultants



OCCC Capital Planning

**OCCC NORTH/SOUTH
BUILDING ENVELOPE
COATING**

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL
PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

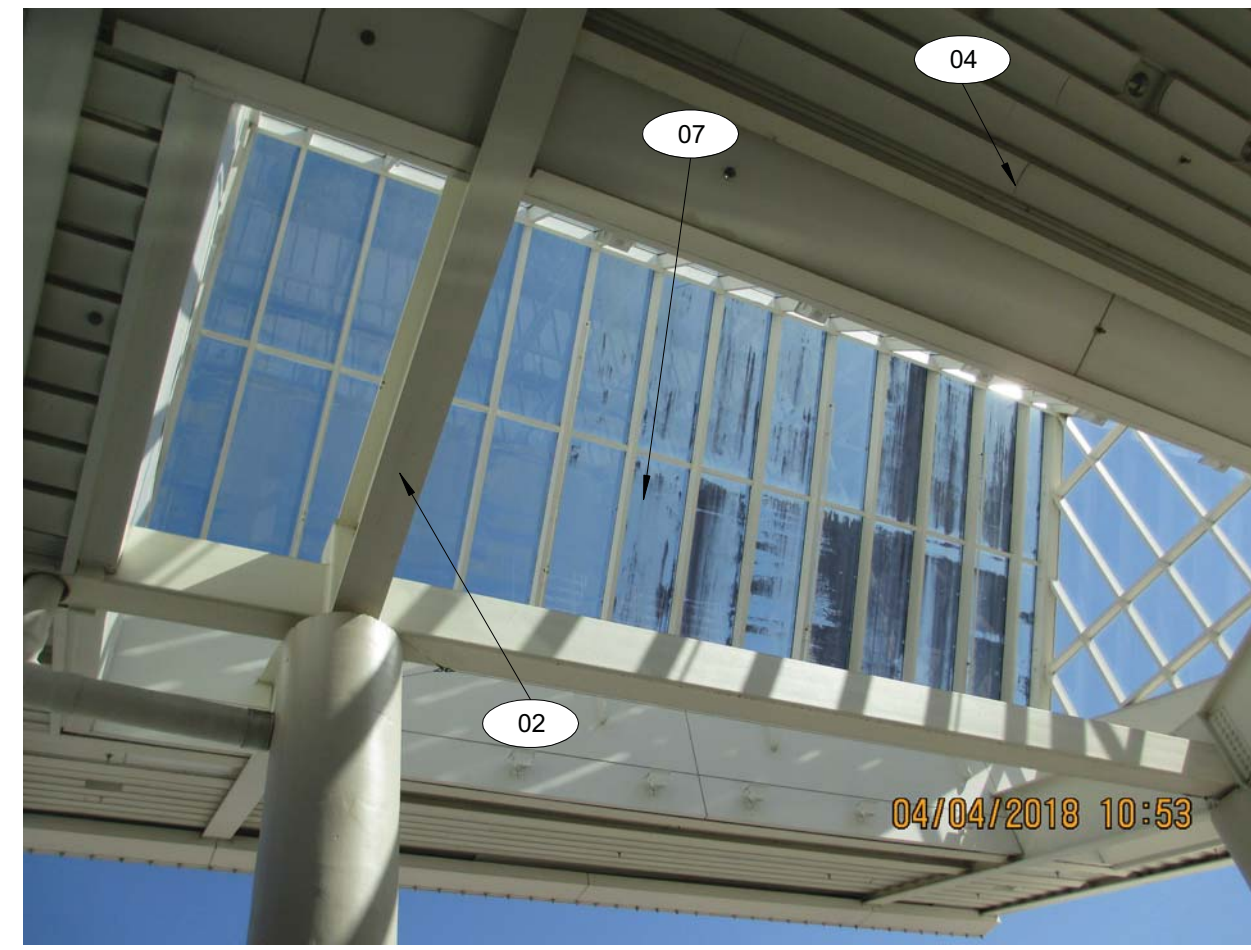
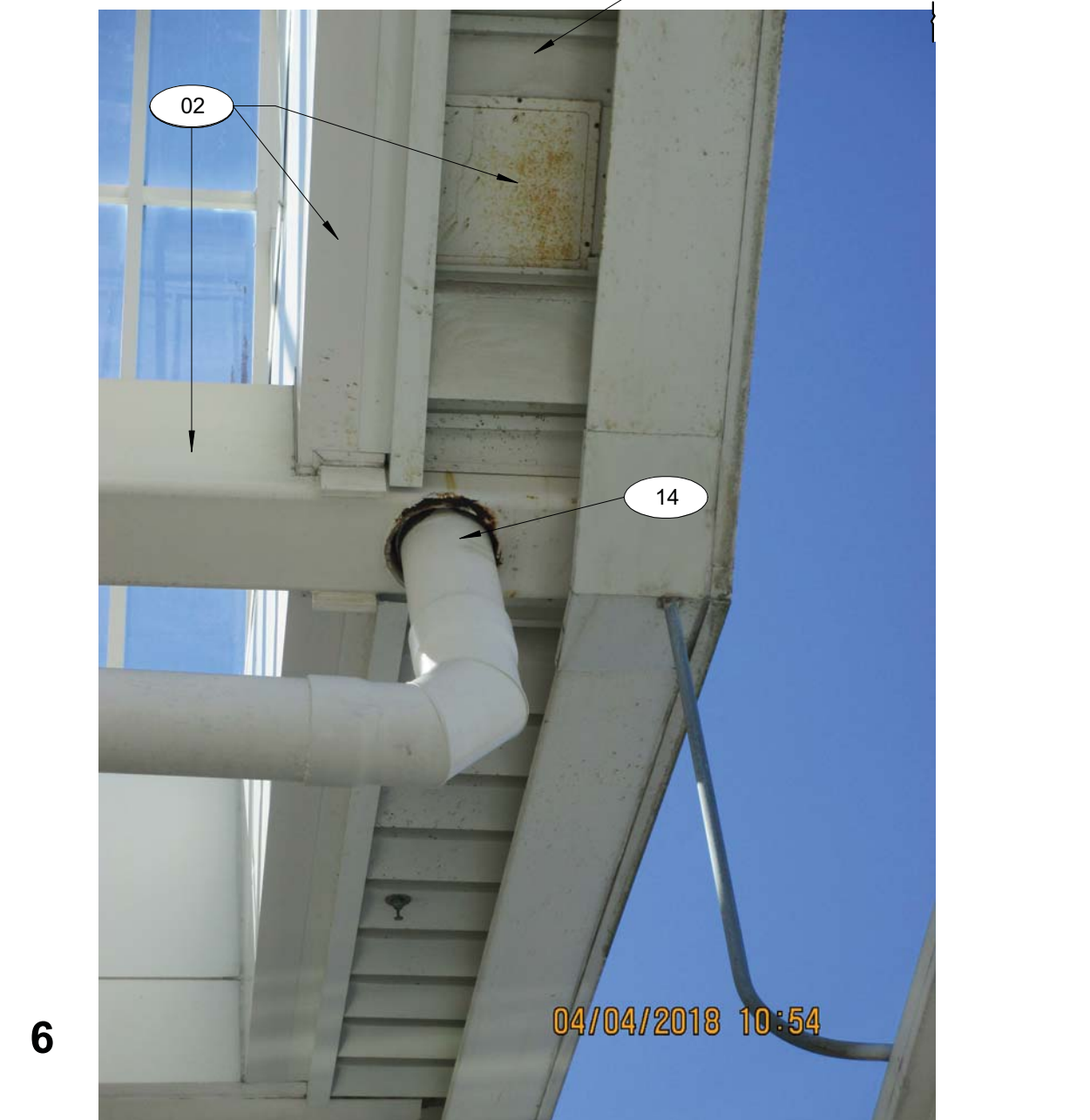
Maximiano Brito, RA AIA
FL Reg. No. AR0015108

**BID DOCUMENTS
NOT FOR CONSTRUCTION**

**ENLARGED
ELEVATIONS PHASE 3**

SCALE: As indicated
DRAWN BY: DP/LN
CHECK BY: LN
DATE: 12/13/18
PROJECT NUMBER: 15012.0038

A216



GENERAL NOTES

- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, LIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO REROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) RAIN LEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION, TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS, ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEEN OVER DOOR OPENINGS, AND BLOWER FANS TO DISPSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

KEYNOTE LEGEND

01	CANOPY STEEL STRUCTURE TO BE PAINTED IN ITS ENTIRETY - PAINT TO MATCH EXISTING. CABLES, ROOF AND SOFFIT TO REMAIN AS IS
02	EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
04	ALUMINUM SOFFIT NOT TO BE PAINTED. PANELS SHOULD BE REMOVED AS REQUIRED AND PROTECTED FROM DAMAGE DURING THE REPAIRS-TYP. CONTRACTOR TO REINSTALL PANELS AT COMPLETION OF THE PROJECT. ONLY EXPOSED STEEL STRUCTURAL ELEMENTS TO BE PAINTED TO MATCH EXISTING
07	SKYLIGHTS AND METAL PANELS TO REMAIN AS IS. PROTECT FROM DAMAGE DURING REPAIRS
14	REPLACE RUSTED STEEL PIPES AND/OR ROOF LEADERS, RECAULK JOINT AND PAINT TO MATCH EXISTING

LEGEND

AREA OF WORK

ALL REPRODUCTION AND INTELLECTUAL PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

**BID DOCUMENTS
NOT FOR CONSTRUCTION**

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

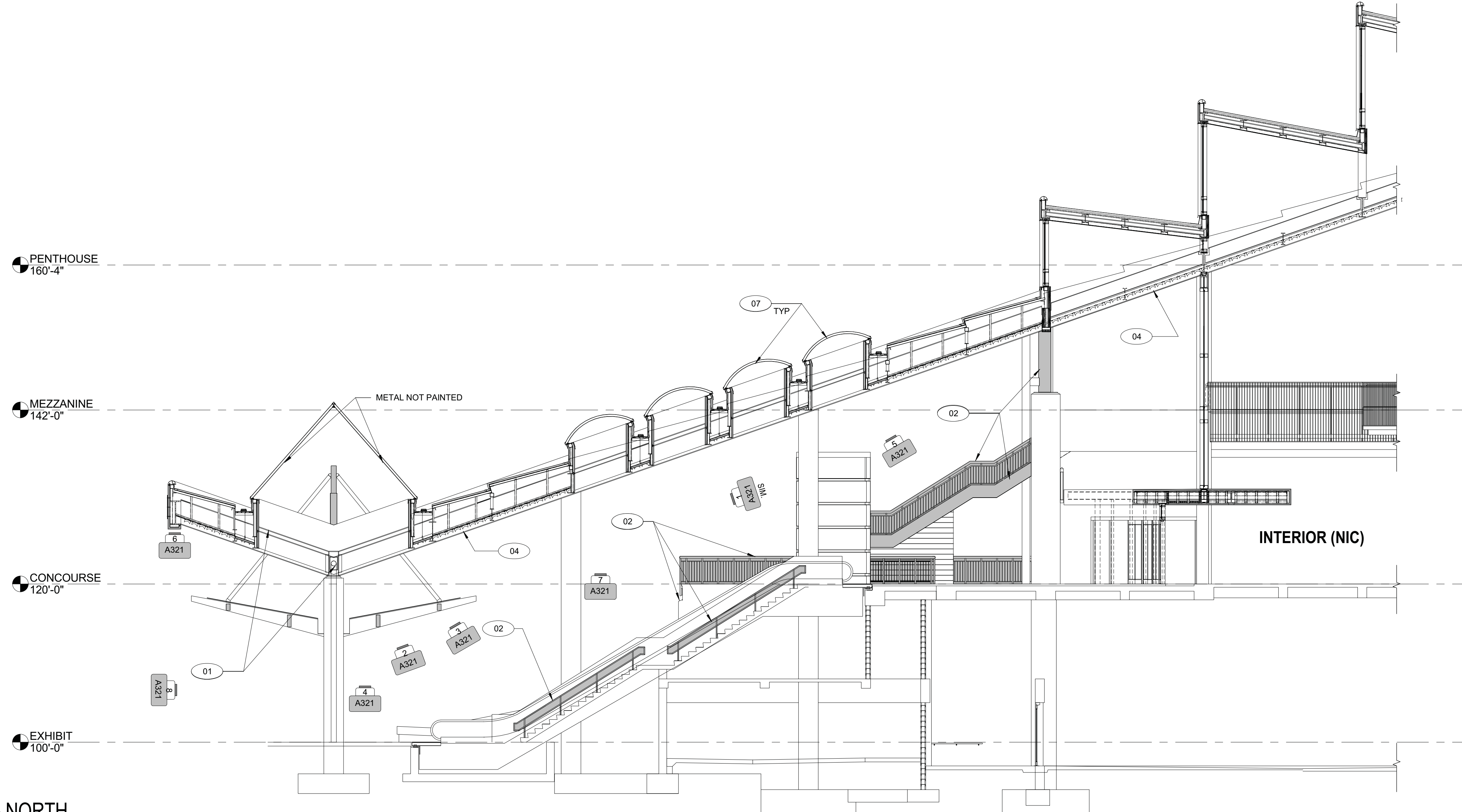
WALL SECTIONS

SCALE:	As indicated
DRAWN BY:	LN
CHECK BY:	LN
DATE:	12/13/18
PROJECT NUMBER:	15012.0038

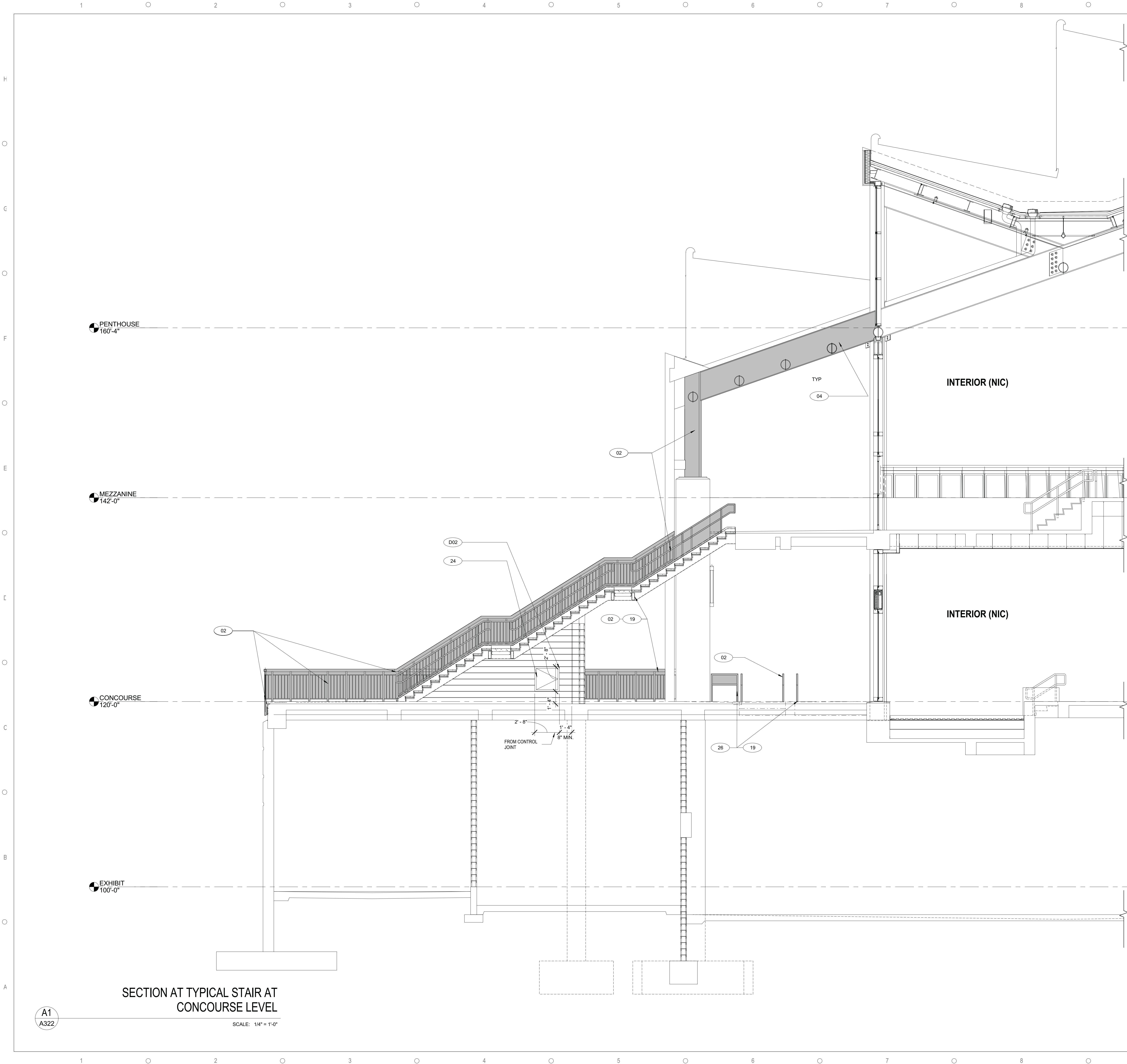
A321

SECTION AT TYPICAL ENTRANCE - NORTH AND SOUTH ELEVATION - AREA 2

SCALE: 1/8" = 1'-0"



A1
A321



GENERAL NOTES

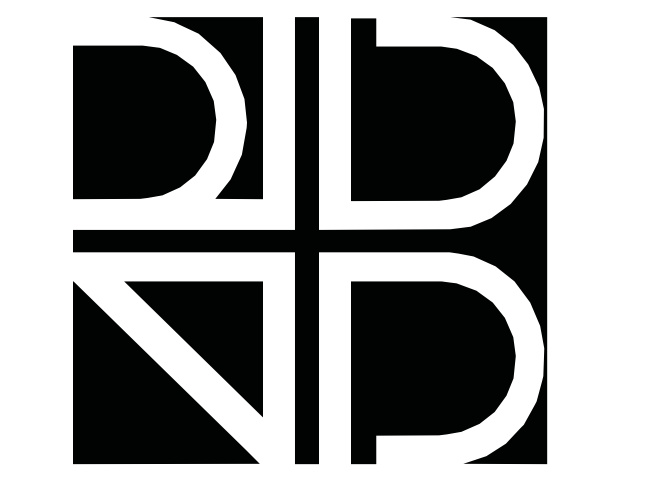
- A THESE DRAWINGS HAVE BEEN DEVELOPED FROM OBSERVED FIELD CONDITIONS AND MAY NOT REFLECT ALL HIDDEN CONDITIONS. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND SHALL VERIFY THESE DRAWINGS WITH THE EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS.
- B IT IS THE INTENT OF THIS FACILITY TO REMAIN OPERATIONAL FOR THE DURATION OF THIS PROJECT. ENSURE SAFETY OF ALL OCCUPANTS. DEMOLITION OF ITEMS WHICH MAY CREATE DUST, NOISE, OR CIRCULATION PROBLEMS SHOULD BE COORDINATED WITH OWNER PRIOR TO START OF WORK.
- C CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS TO REMAIN FROM DAMAGE DURING DEMOLITION AND SHALL BEAR ALL COSTS OF REPAIRING, REFINISHING, REPLACING, ETC. OF EXISTING ITEMS DAMAGED TO THEIR ORIGINAL STATE. ITEMS AND SURROUNDINGS TO BE PROTECTED INCLUDE BUT NOT LIMITED TO LANDSCAPE, CONCRETE STRUCTURES AND SURFACES, STUCCO FINISH SYSTEM, STOREFRONT AND LARGE CURTAIN WALLS, HALLWAYS, CANVAS CANOPIES, LIGHTS, CAMERAS, SKYLIGHTS, SPRINKLERS, LIGHT POSTS, ESCALATORS, SIGNAGE, ETC.
- D CONFORM TO ALL APPLICABLE CODES FOR DEMOLITION AND NEW WORK. FOR ADDITIONAL GENERAL NOTES, LEGENDS, AND SCHEDULES REFER TO SHEET G001.
- E CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS AND FL PRODUCT APPROVALS FOR REVIEW BY THE DESIGN TEAM PRIOR TO FABRICATION OF ALL ASSEMBLIES, WHEN APPLICABLE.
- F COORDINATE ALL SHUT-DOWNS IN UTILITY SERVICE WITH OWNER PRIOR TO PERFORMING SHUT-DOWNS IN UTILITY SERVICE.
- G CONTRACTOR SHALL PATCH, INFILL, AND SEAL WALLS WHERE AIR DUCTS AND UTILITIES THAT PENETRATE WALLS WAS REMOVED. ALL INFILL AND SEALANTS SHALL CONFORM WITH THE EXISTING FIRE WALL AND SMOKE RATING REQUIREMENTS.
- H CONTRACTOR SHALL COORDINATE WITH THE CLIENT'S PROJECT MANAGER CONCERNING THE PROPER REMOVAL OF ALL DEBRIS ASSOCIATED WITH THE WORK.
- I MAINTAIN THE CONTINUITY OF CONSTRUCTION OF ALL FIRE-RATED ASSEMBLIES (I.E. DOORS, GYPSUM ENCLOSURES, SPRAYED FIRE PROOFING, ETC.) AT ALL EXISTING AND NEW LOCATIONS INCLUDING BUT NOT LIMITED TO STRUCTURAL COLUMNS, BEAMS, AND FLOOR SLABS.
- J ALL CORE DRILL LOCATIONS TO BE VERIFIED BY GC. PRIOR TO DRILLING GC TO COORDINATE ALL FINAL CORE DRILL LOCATION WITH PRODUCT VENDOR.
- K PROVIDE, ERECT AND MAINTAIN TEMPORARY PARTITIONS, BARRIERS, GUARD RAILS AND OTHER SAFETY ITEMS AS REQUIRED BY REGULATORY AGENCIES, AS REQUIRED TO PROTECT OCCUPANTS OR AS NECESSARY TO PROTECT MATERIALS, SURFACES AND FINISHES.
- L IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIAL SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
- M WHEN CUTTING INTO EXISTING WALLS, SLAB AND ROOF, CONTRACTOR SHALL TAKE EXTREME CARE AND CAUTION TO AVOID DAMAGING THE STRUCTURAL INTEGRITY OF THESE AREAS. CONTRACTOR SHALL DOCUMENT ALL WALL, ROOF CUTS AND SLAB CUTS WHERE REINFORCING MEMBERS ARE CUT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, RESTORING AND MAINTAINING STRUCTURAL PERFORMANCES WHERE THE STRUCTURAL SYSTEM HAS BEEN COMPROMISED.
- N CONTRACTOR SHALL VERIFY ALL UTILITIES (SHOWN OR NOT SHOWN ON DRAWINGS) THAT ARE TO REMAIN PRIOR TO CONSTRUCTION OR CUTTING INTO ANY WALL. PERMANENT PROCEDURES ARE TO BE MADE TO ROUTE OR BYPASS UTILITIES TO AVOID DISRUPTION OR SEVERING OF UTILITIES. CONTRACTOR SHALL NOT REQUEST ADDITIONAL CHARGES FOR SUCH UTILITIES THAT ARE CLEARLY VISIBLE (WITHOUT DEMOLITION).
- O ALL STEEL EXPOSED SURFACES WITHIN THE SCOPE OF WORK AREA INCLUDE EXTERIOR CANOPY STRUCTURE, COLUMNS, GUARDRAILS, HANDRAILS, STAIRS (STEPS AND RISERS) RAINLEADERS, STEEL BASES FOR LIGHT POSTS, ESCUTCHEONS ARE TO BE PREPPED AND PAINTED IN THEIR ENTIRETY. REFER TO PAINTING SPECS FOR SUBSTRATE PREPARATION, TUBE RAILING SUPPORTS ARE TO BE REPLACED AS INDICATED. SEE DETAIL SHEETS FOR ADDITIONAL INFORMATION. ALL PAINT COLOR IS TO MATCH EXISTING. ALL PAINT MATERIAL (INCLUDING PRIMER, SEALER, AND TOP COAT) WILL BE OWNER PROVIDED. CONTRACTOR INSTALLED. STUCCO REPAIRS ARE NOT INCLUDED IN SCOPE. - TYP
- P DOOR AND DOOR FRAMES AT STUCCO AND CONCRETE PANELS ARE NOT PART OF THE SCOPE OF WORK AND NEITHER IS ANY CORRECTIVE WORK AT CURTAIN WALLS.
- Q CONSTRUCTION SCHEDULE SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND OCCC PROJECT MANAGER.
- R FREE STANDING CANOPIES ON GRASS AREAS ARE NOT INCLUDED IN THE SCOPE OF WORK.
- S STUCCO AND CONCRETE SURFACES ARE NOT INCLUDED IN THE SCOPE OF WORK U.N.O.
- T CONTRACTOR TO PROVIDE A PROTECTION PLAN FOR OWNER AND ARCHITECT APPROVAL BEFORE START OF CONSTRUCTION. THIS PLAN TO INCLUDE DUST PAINT OVERSPRAY AND FUMES CONTROL WHERE APPLICABLE. MAIN ITEMS OF CONCERN: EXTERIOR MECHANICAL AND EXHAUST OPENINGS AND DOORS, ARCHITECT RECOMMENDATION: USE OF CONSTRUCTION FILTER CLOTH WITH MINIMUM MERV OF 8 FILTRATION RATING FOR MECHANICAL OPENINGS, VISQUEEN OVER DOOR OPENINGS, AND BLOWER FANS TO DISPSE FUMES AWAY.
- U CONTRACTOR TO FENCE AREA OF WORK AS REQUIRED. APPROXIMATE TOTAL PERIMETER OF FENCE NEEDED IS 5,000 LINEAL FEET, VERIFY IN FIELD.

KEYNOTE LEGEND

- 02 EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (U.N.O.)
- 04 ALUMINUM SOFFIT NOT TO BE PAINTED. PANELS SHOULD BE REMOVED AS REQUIRED AND PROTECTED FROM DAMAGE DURING THE REPAIRS-TYP. CONTRACTOR TO REINSTALL PANELS AT COMPLETION OF THE PROJECT. ONLY EXPOSED STEEL STRUCTURAL ELEMENTS TO BE PAINTED TO MATCH EXISTING
- 19 REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE. REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING
- 24 BID ALTERNATE INSTALL A 30"x30" LOUVERED ACCESS PANEL ON ONE SIDE OF THE STAIRS, AS SHOWN, TYPICAL OF 10 PATCH AND REPAIR ADJACENT STUCCO FINISH TO MATCH EXISTING. LOUVER BASIS OF DESIGN: GREENHECK ESD-435 WITH A HINGE FRAME AND EXTERNAL FLANGE
- 26 REPAIR GUARDRAIL POST BASE, REFER TO SHEET A501 FOR DETAILS TYP

LEGEND

AREA OF WORK



rhodes + brito
ARCHITECTS
AA002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648 - 7288
www.rhodesbrito.com

Consultants



Orange County
Convention Center

OCCC Capital Planning
OCCC NORTH/SOUTH
BUILDING ENVELOPE
COATING

9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL
PROPERTY RIGHTS RESERVED ©

Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

BID ALTERNATE AT
CONCOURSE LEVEL

SCALE: As indicated
DRAWN BY: LN/DP
CHECK BY: AT
DATE: 12/13/18
PROJECT NUMBER: 15012.0038

A322

A1
A322

SCALE: 1/4" = 1'-0"



1.



2.



3.



4.

KEYNOTE LEGEND

02	EXPOSED STEEL SURFACES TO BE PAINTED IN THEIR ENTIRETY (I.N.O.)
06	APPLY SEALANT AND PAINT AS REQUIRED. SEALANT COLOR TO MATCH EXISTING. ALL EXISTING SEALANT AND ASSOCIATED BOND BREAKERS TO BE PROPERLY REMOVED PRIOR TO NEW SEALANT APPLICATION. CONTRACTOR TO PROTECT ADJACENT METAL THRESHOLD (AT APPLICABLE AREAS) FROM DAMAGE DURING CONSTRUCTION. TYP.
16	SCREENING WALL AND CONCRETE WALLS TO REMAIN AS IS N.I.C.
18	REPLACE DAMAGED RAILING TO MATCH EXISTING. REFER TO STRUCTURAL FOR WELDING REQUIREMENTS IF APPLICABLE.
19	REPAIR AS NECESSARY TO REMOVE ALL RUST AND SCALE. REFER TO STRUCTURAL SHEETS WHERE APPLICABLE. PAINT TO MATCH EXISTING.
25	BEND EXISTING RAILING TO ORIGINAL POSITION AND REPAINT.
26	REPAIR GUARDRAIL POST BASE. REFER TO SHEET A501 FOR DETAILS TYP.

rhodes + brito
ARCHITECTS
AA0002809
605 E. ROBINSON STREET, SUITE 750
ORLANDO, FL 32801
PH (407) 648 - 7288
www.rhodesbrito.com

Consultants

ORANGE COUNTY GOVERNMENT
FLORIDA

Orange County Convention Center

OCCC Capital Planning
OCCC NORTH/SOUTH BUILDING ENVELOPE COATING
9400 Universal Boulevard
Orlando, FL 32819

ALL REPRODUCTION AND INTELLECTUAL PROPERTY RIGHTS RESERVED ©
Seal 12/13/2018

Maximiano Brito, RA AIA
FL Reg. No. AR0015108

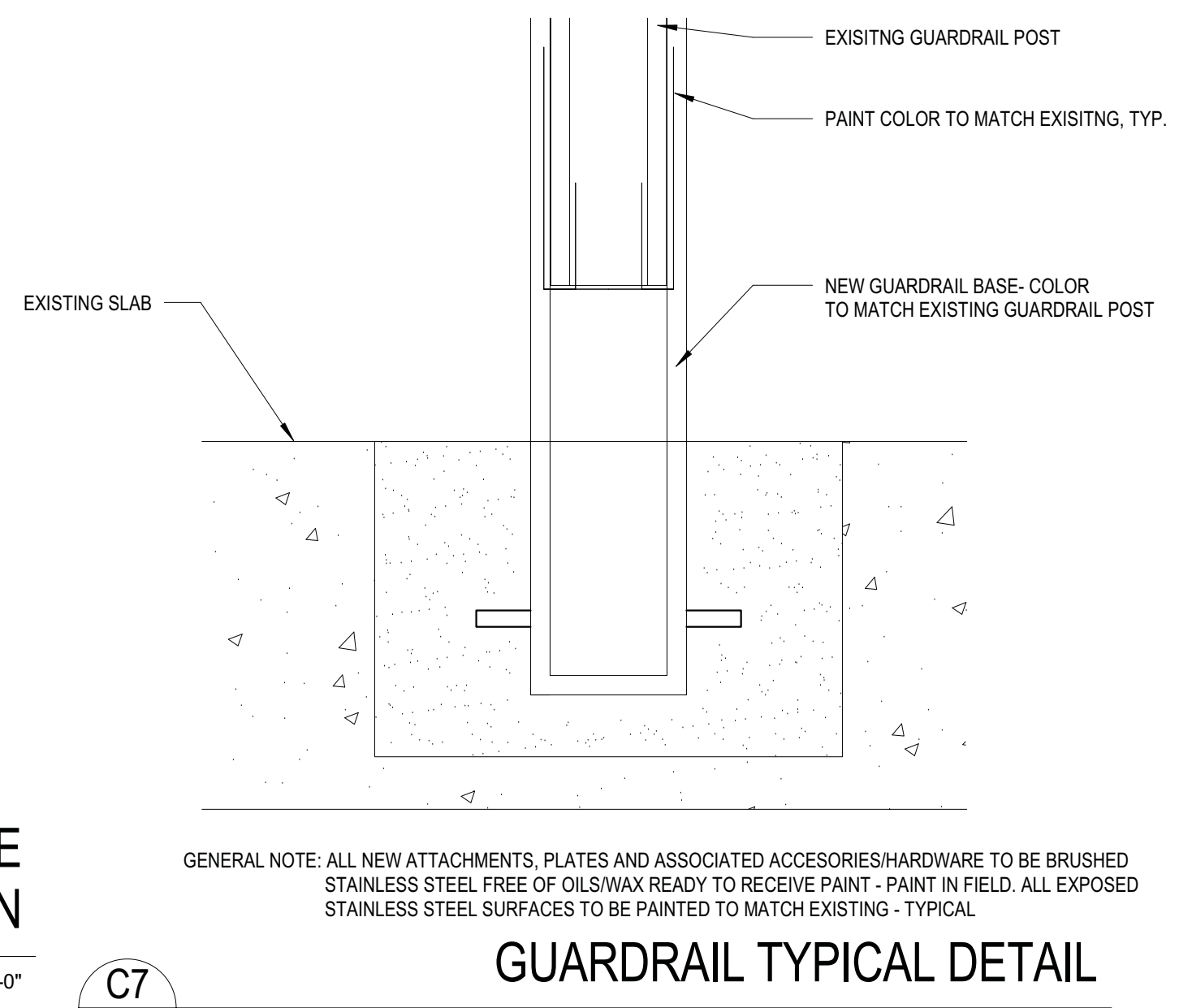
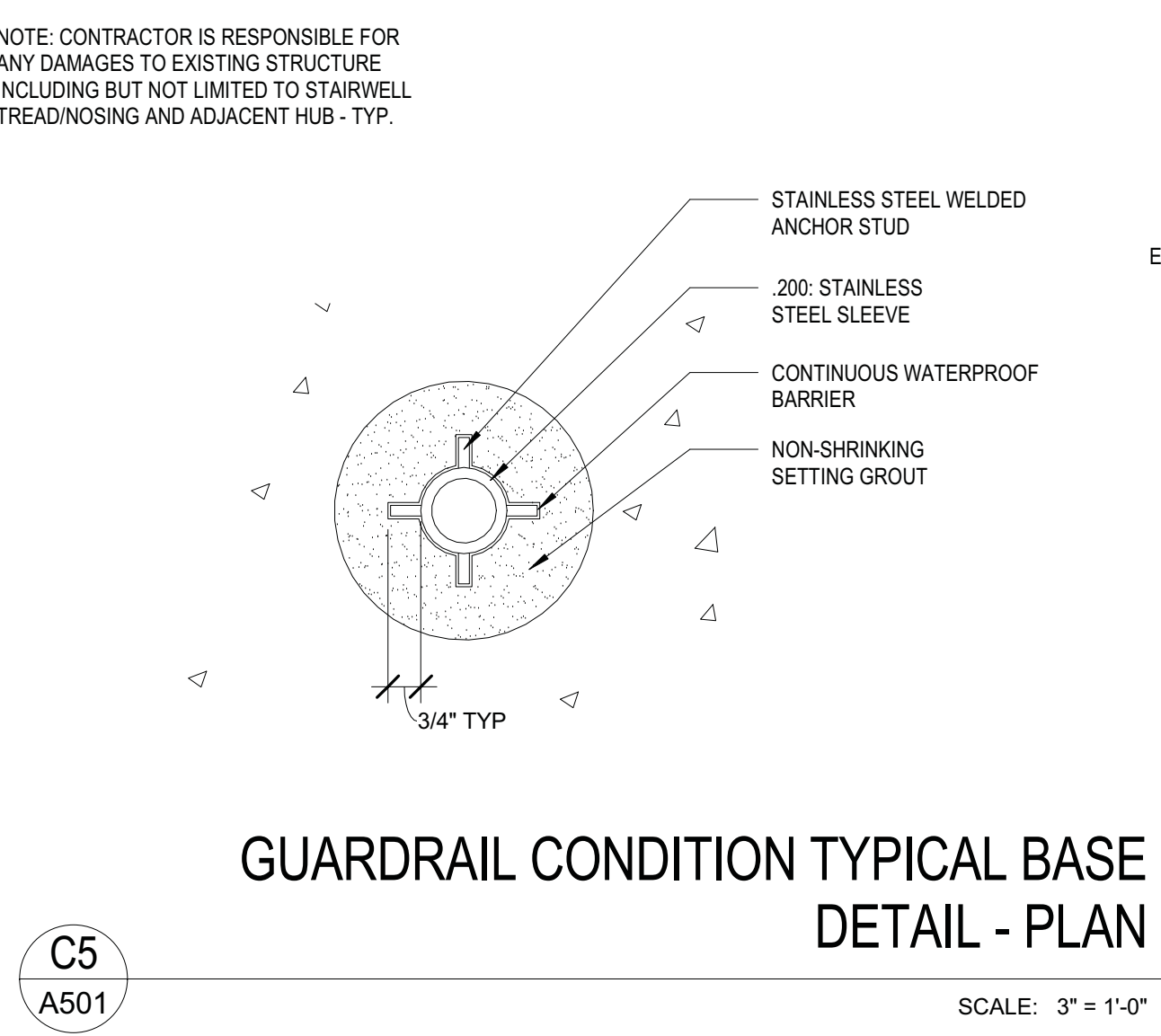
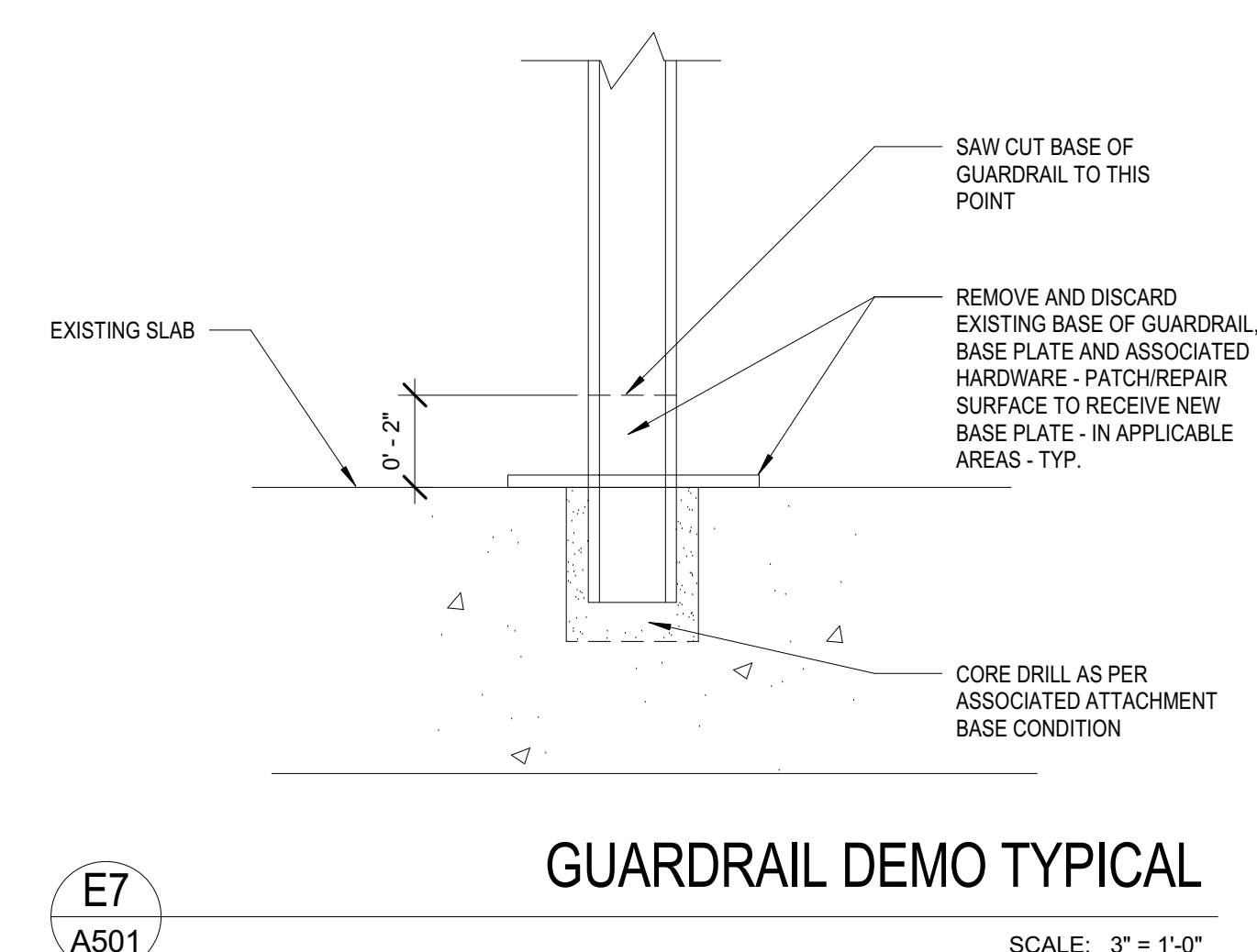
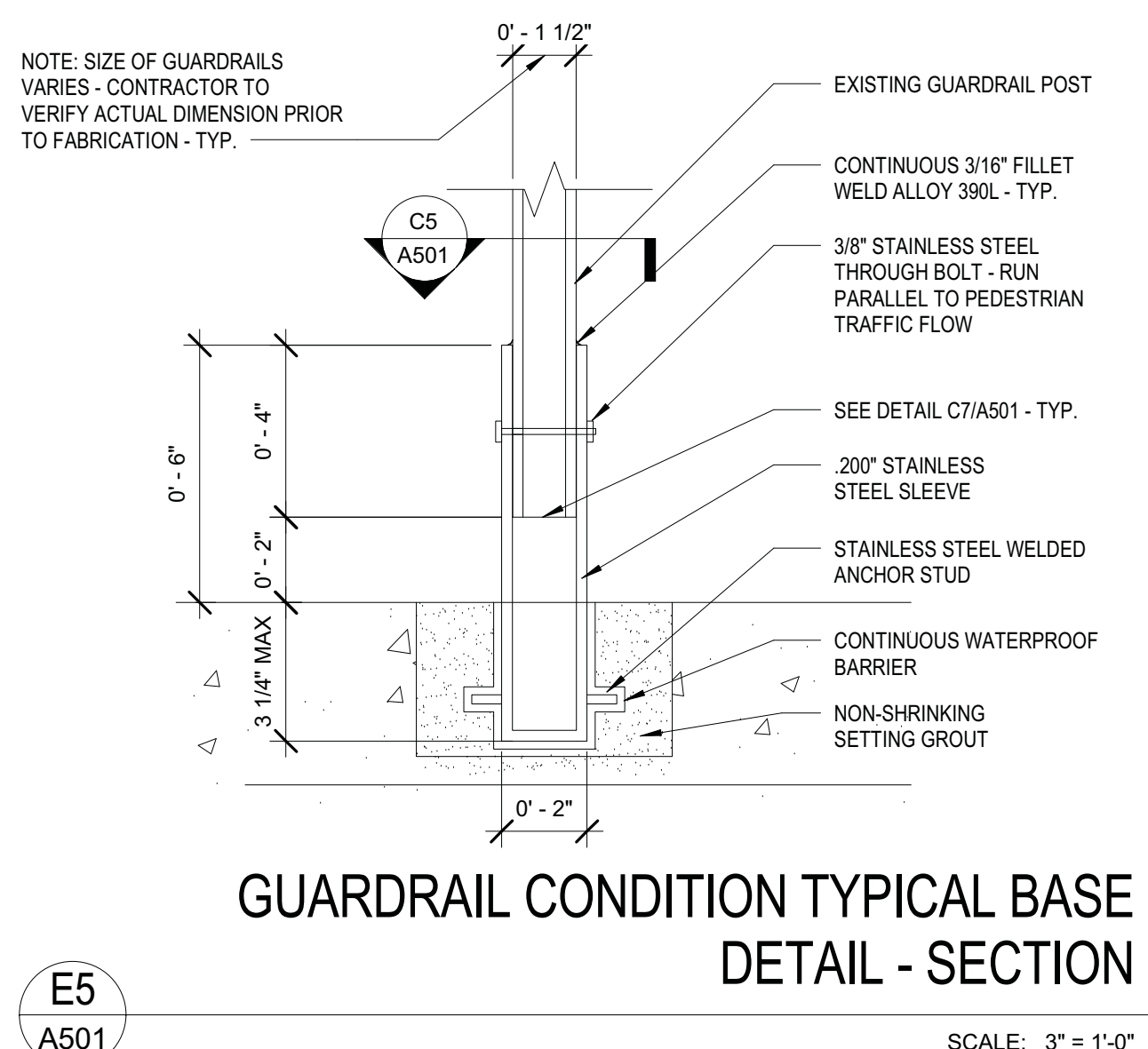
BID DOCUMENTS
NOT FOR CONSTRUCTION

DATE	SUBMISSION	NO.
12/13/18	PERMIT SET	
01/14/19	BID SET	

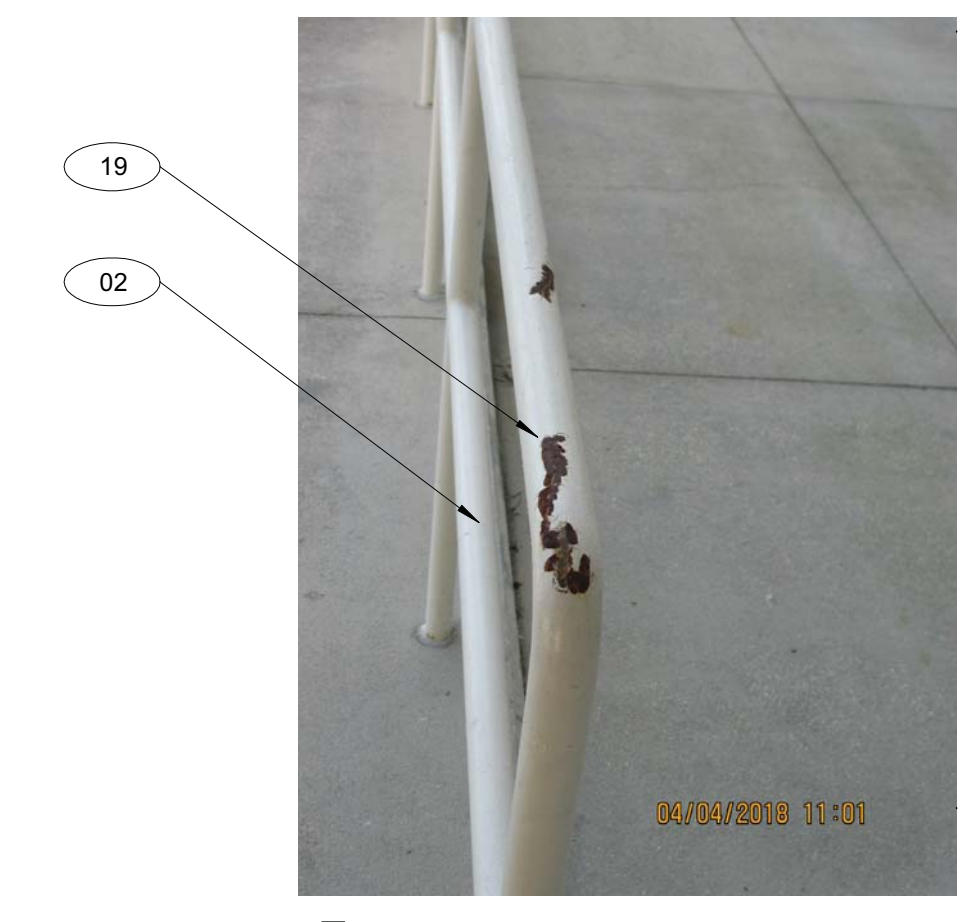
GUARDRAIL DETAILS

SCALE:	As indicated
DRAWN BY:	DP
CHECK BY:	LN
DATE:	12/13/18
PROJECT NUMBER:	15012.0038

A501



GENERAL NOTE: ALL NEW ATTACHMENTS, PLATES AND ASSOCIATED ACCESSORIES/HARDWARE TO BE BRUSHED STAINLESS STEEL FREE OF OILS/WAX READY TO RECEIVE PAINT - PAINT IN FIELD. ALL EXPOSED STAINLESS STEEL SURFACES TO BE PAINTED TO MATCH EXISTING - TYPICAL.



5.



6.



7.



8.

