

PHYSICAL CHARACTERISTICS SCHEDULE

ROOF AREA NUMBER	SQ. FT.	EXISTING STRUCTURAL DECK TYPE	ESTIMATED SLOPE	EXISTING ROOFING MEMBRANE TYPE	PROPOSED DECK INSULATION	EXISTING FLASHING METAL	PROPOSED FLASHING METAL
1/A	165	PRE-CAST CONC. TEES	1/4" / FT.	BLS W/ GRAVEL	L1 UT. CONC. / EPS BD.	GALV.	9" STL.
1/B	2416	PRE-CAST CONC. TEES	1/4" / FT.	BLS W/ GRAVEL	L1 UT. CONC. / EPS BD.	GALV.	9" STL.
TOTAL		3386 SQ. FT. OF MOD. BIT. ROOF REPLACEMENT AREA.					

The quantities provided are from the architect's field investigation and are provided for the contractor's use. The information represents what was found on the date the work was performed at the location. This information may not be complete at all areas or locations within the scope of work. The contractor is cautioned to confirm the existing conditions to the extent necessary to properly bid and construct the scope of work. Any deviations found should be brought to the attention of the architect.

FLORIDA BLDG CODE DATA
(FBC - 2010 EDITION / ASCE 7-10)

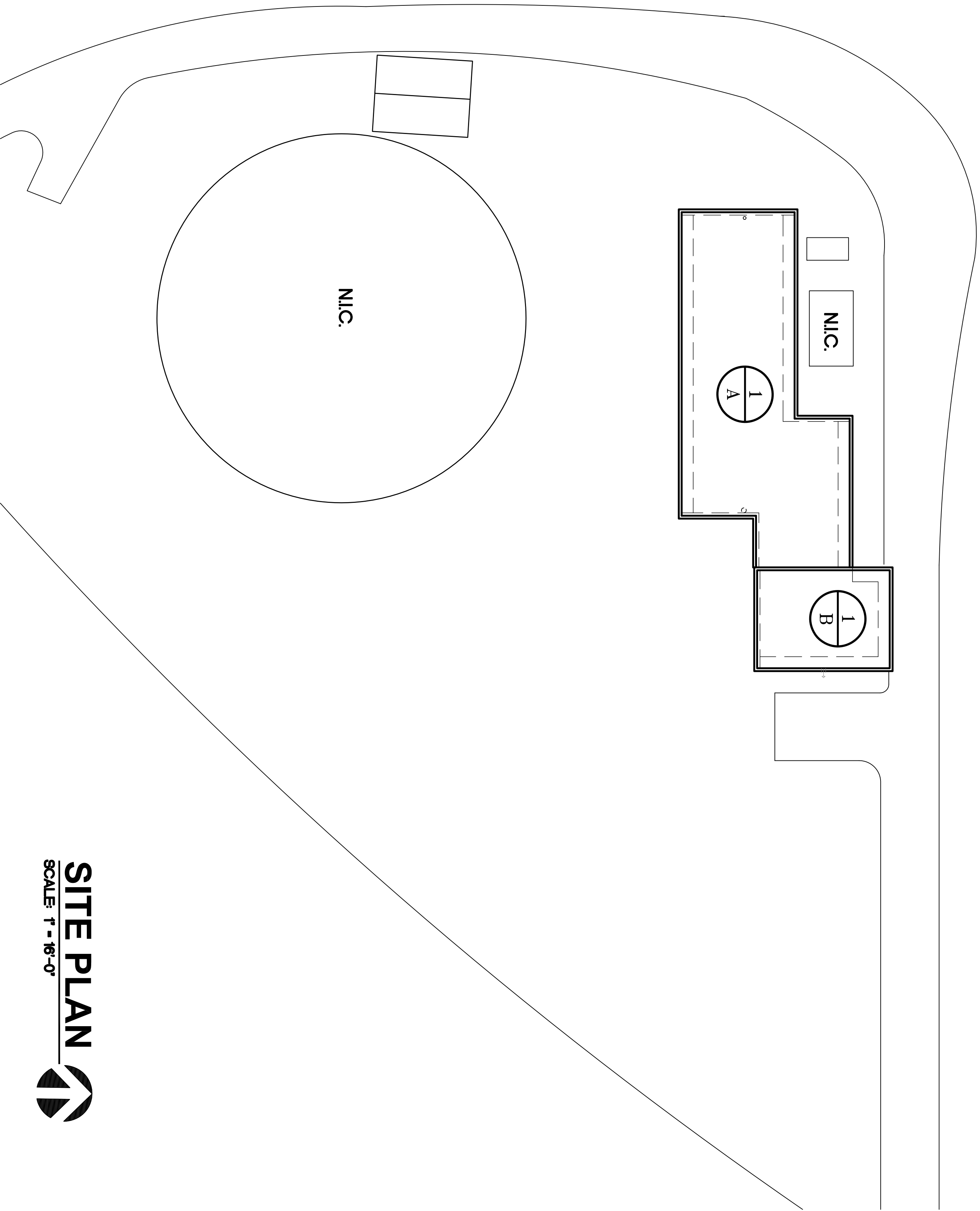
Risk Category	IV
Wind Speed - Ultimate	150 MPH
- Nominal (Actual)	116 MPH
Building Enclosure	PE
Internal Pressure Coefficient	C
Mean Roof Height	28
Edge / Corner Zone Width	3

Ultimate (Factored) Wind Design Pressures	
Zone 1 (Field)	47 / -86 PSF
Zone 2 (Edge)	47 / -131 PSF
Zone 3 (Corner)	47 / -187 PSF
Zone 4 (Wall)	81 / -89 PSF
Zone 5 (Corner)	81 / -106 PSF

Actual (Unfactored) Wind Design Pressures	
Zone 1 (Field)	28 / -52 PSF
Zone 2 (Edge)	28 / -79 PSF
Zone 3 (Corner)	28 / -112 PSF
Zone 4 (Wall)	49 / -53 PSF
Zone 5 (Corner)	49 / -63 PSF

BUILDING CODE NOTES:

- Based on the available information and field investigation of the existing structure, to the best of my knowledge, the construction shown by these drawings has been designed to meet or exceed the wind load requirements of section 1609 of the Florida Building Code, 2010 edition as defined above.
- The edge securingment for low-slope membrane roof systems metal edge securingment are designed in accordance with test protocols for high-velocity hurricane zone Roofing Application Standard (RAS) No. 111 - Standard Requirements for Attachment of Perimeter Wood Blocking and Metal Flashing as combined in the Florida Building Code, 2010 editions. This standard defines the prescriptive measures for attachment of perimeter wood blocking and metal flashing to comply with the requirements of the Florida Building Code in all areas of the state, including Dade County.
- The existing structure, as designed, is adequate to support the loads imposed upon it by the new roof flashing system as proposed in these documents.



SITE PLAN
SCALE: 1" = 16'-0"

GENERAL ROOFING NOTES

- The dimensions shown on the roof plans of this project were taken from the owner's architectural documents or are the result of field measurements. The contractor shall verify the accuracy of these dimensions before proceeding with the project. The contractor shall be responsible for obtaining the appropriate scope of the project as a pre-condition for bidding the project. However, all dimensions utilized in bidding the project will be those dimensions shown on the drawings. The contractor shall be responsible for verifying the accuracy of any dimensions prior to proceeding with the work.
- The roofing plan is general in nature and indicates approximate existing conditions at the project site. All buildings on the site are to be included in the project unless specifically noted otherwise (N.I.C.). The contractor shall be responsible for verifying the accuracy of all dimensions related to quantities and verification of general compliance with the local building code.
- Prior to the start of any work, the contractor with the project architect and owner representative shall visit the site and photo document the existing conditions. The contractor shall be responsible for documenting the existing conditions in order to determine the contractor's responsibility in keeping those items in their current condition. The contractor shall be responsible for documenting the existing conditions in their current condition. The contractor shall be responsible for documenting the existing conditions in their current condition. The contractor shall be responsible for documenting the existing conditions in their current condition.
- All mechanical systems and individual components (equipment) shall be operated in the presence of representatives of both the contractor and the owner. The contractor shall be responsible for the protection of mechanical systems in order to ensure proper operation and operating conditions.
- Contractor shall exercise care during demolition and removal to ensure that items scheduled for demolition are properly removed and disposed of in accordance with applicable laws and regulations. The contractor shall be responsible for the disposal of all debris and materials removed from the project. The contractor shall be responsible for the disposal of all debris and materials removed from the project.
- No existing facility shall be occupied during remodeling or renovation unless all existing exits and any existing fire protection systems are maintained in accordance with applicable laws and regulations. The contractor shall be responsible for the maintenance of all existing exits and any existing fire protection systems.
- Verify locations of all rooftop equipment and roof penetrations so as to avoid conflict with walls, roof edges, and other penetrations. Relocate any such equipment or roof penetrations a minimum of 10 feet from the edge of the roof. The contractor shall be responsible for the relocation of any such equipment or roof penetrations so as to avoid conflict with walls, roof edges, and other penetrations.
- Contractor shall not use any heavy machinery on the roof.
- Remove pitch pans and/or sections of conduits protruding from the roof. Verify if conduit wiring is electrified prior to cutting. All conduits shall be cut and removed in a safe manner. The contractor shall be responsible for the removal of all conduits and pitch pans. The contractor shall be responsible for the removal of all conduits and pitch pans.
- Remove and install as necessary any and all shall roof penetrations which have been abandoned, such as pitch pans, shall conduits, permeable vents, etc. Not all of these are shown on the drawings.
- In the event of water damage to the interior of structures, a damage report will be prepared and submitted to the project architect and owner. The contractor shall be responsible for the preparation of a damage report and its submission to the project architect and owner.
- Notify the local police officials, the owner or architect by telephone in each instance of property damage resulting from fire, water damage, illegal entry, vandalism, theft or burglary, or vehicle damage within 24 hours of discovering the incident.
- Contractor shall obtain and submit to architect, an updated roof plan showing the location of all roof penetrations, including roof vents and prior to the installation of the new roofing system.
- Details referenced on the contract drawings, are typical, and are to be executed in accordance with the details shown on the drawings. The contractor shall be responsible for the execution of all details shown on the drawings.
- Perimeter coping may vary in dimensional requirements, verify sheet metal details and transitions not shown shall be required as shown on the drawings. The contractor shall be responsible for the verification of all details shown on the drawings.
- All new and existing roof mounted equipment, pipes, supports, hangers, and sheet metal work shall be secured with fasteners and anchors. All sheet metal work shall be secured with fasteners and anchors. The contractor shall be responsible for the installation of all fasteners and anchors.
- Provide walkway pads around any equipment requiring periodic maintenance. Walkway pads shall extend 30" beyond all equipment and shall be installed in accordance with manufacturer's recommendations.
- Contractor shall be responsible for repair and painting/finishing of existing roof surfaces. The contractor shall be responsible for the repair and painting/finishing of existing roof surfaces.
- Electrical, structural, steel, brick, work not covered by newly installed roofing shall be the responsibility of the contractor. The contractor shall be responsible for the repair and painting/finishing of existing roof surfaces.
- Contractor shall be responsible to remove, reinstall, or replace all ceiling panels and/or ceiling grids which have been disturbed or damaged in the construction process.
- Any equipment, vents, curbs, etc. found under existing roof are to be brought to the attention of the architect in writing for proper coordination.
- Verify precise locations of expansion joints shown on the roof plans. The contractor shall be responsible for the verification of all expansion joints shown on the roof plans.
- Contractor shall provide all supplemental materials, labor and components within the work.

SITE PLAN, ROOF SCHEDULE, GENERAL NOTES AND CODE DATA

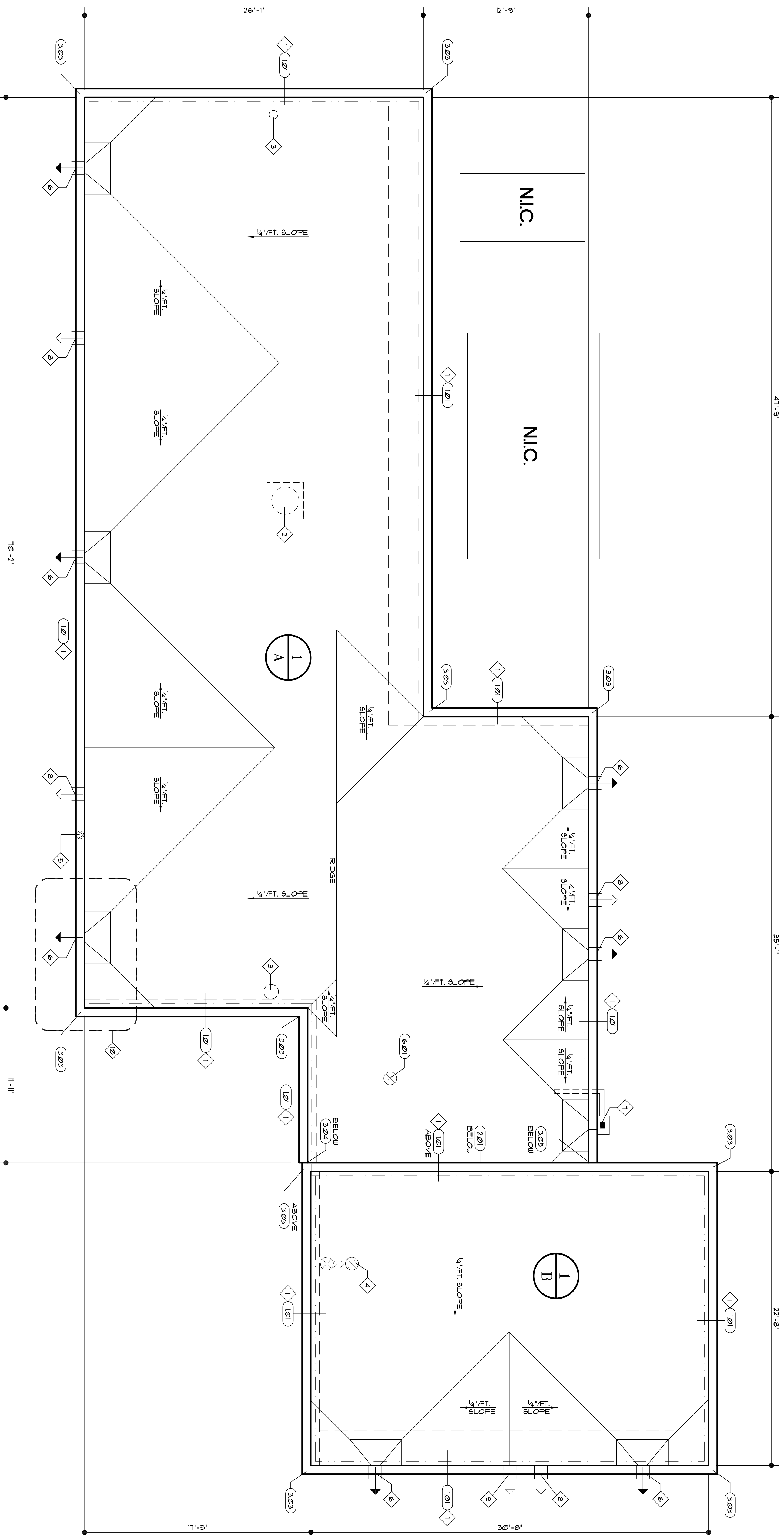
<p>SHEET NO.: A1 2 OF 3 SHEETS(S)</p>	<p>JOB NO.: 14027.00 DRAWN BY: TJG CHECKED BY: JTW DATE: 07/10/14 SCALE: AS NOTED PLOT SCALE: 1=1</p>	<p>Roof Replacement of: Vistana Water Treatment Plant 8943 Meadow Creek Drive, Orlando FL 32821 Orange County Government Utilities Engineering Division</p>	<p>A/R/C Associates Incorporated Architecture Roof Consulting Construction Technology LIC: NBR A4C000932 601 North Fern Creek Avenue Suite 100 Orlando, FL 32801-4899 Tel: (407) 898-8975 Fax: (407) 898-8043 © 2014 A/R/C ASSOCIATES, INC.</p>
--	---	--	--

SYMBOLS LEGEND

	TAPER LINE		SANITARY VENT
	BUILDING BELOW		SENSOR
	EXIST. LT. PROT.		GRAVITY FLOW VENT
	PARAPET WALL		1/4 FT GABLET AT HIGH SIDE OF EQUIPMENT
	PARAPET WALL CONDUCTOR HEAD AND SUMP		ROOF AREA BUILDING NO. DETAIL NUMBER
	NEW PARAPET SCUPPER		SPECIFIC NOTE
	NEW OVER/RELOU SCUPPER		
	EXISTING SCUPPER OPENING TO BE REMOVED		

SPECIFIC NOTES

- 1 REMOVE AND STORE EXIST LIGHTNING PROTECTION SYSTEM- REINSTATE EXISTING SYSTEM IN NEW SCUPPER DETAIL(S) (320) (321) (322) (323) - REPLACE ANY DAMAGED EQUIPMENT.
- 2 REMOVE EXISTING MECHANICAL UNIT CURB AND ALL ASSOCIATED ELECTRICAL LINES. INFILL OPENING PER DETAIL (320)
- 3 REMOVE EXISTING OVER/RELOU DRAIN BELOW DECK AND CAP/ DRAINAGE LINE. INFILL OPENING AS REQUIRED.
- 4 RELOCATE EXISTING VENT STACK BELOW DECK A MINIMUM 24" FROM PARAPET WALL. RAISE A MINIMUM 8" ABOVE FINISHED ROOF SYSTEM - FLASH PER DETAIL (320)
- 5 EXISTING CONDUIT AND SENSOR TO REMAIN. RAISE AS REQUIRED AND INSTALL SOLID NEW PIPE FLASHING AT PROPOSED COPING PER DETAIL (322)
- 6 INSTALL NEW PRIMARY DRAINAGE THRU- WALL SCUPPER AT EXIST LOCATION. PROVIDE 2/0 X 4/8 X 3/4" PER FOOT MASONRY/PRECAST PARAPET WALL AS REQ'D. - SEE DETAILS NOTED (120)
- 7 INSTALL NEW PRIMARY DRAINAGE THRU- WALL SCUPPER AND SUMP. PROVIDE 2/0 X 3/4" PER FOOT SCUPPER SAUCUT EXIST. MASONRY/PRECAST PARAPET WALL AS REQ'D. - SEE DETAIL (120)
- 8 SAUCUT OPENING THRU EXIST. CHU PARAPET WALL AS REQ'D TO INSTALL NEW OVER/RELOU SCUPPER (6" X 6" H) ASSEMBLY PER DETAIL (323). LOCATE 2" MIN. ABOVE FINISHED ROOF SYSTEM.
- 9 REMOVE EXIST. THRU-WALL SCUPPER/ (4 ASSOCIATED MATERIALS) - INFILL WALL OPENING CONSISTENT W/ EXIST WALL CONSTRUCTION - PATCH AND PAINT TO MATCH EXISTING EXTERIOR SURFACE.
- 10 REPAIR SCOTT DAMAGE AT SOUTHEAST CORNER. APPLY STUCCO AND METAL LATH TO MATCH EXISTING. TOUCH UP PAINT TO MATCH EXISTING COLOR.



ROOF PLAN
SCALE: 1/8" = 1'-0"

ROOF PLAN, SYMBOL LEGENDS AND SPECIFIC NOTES

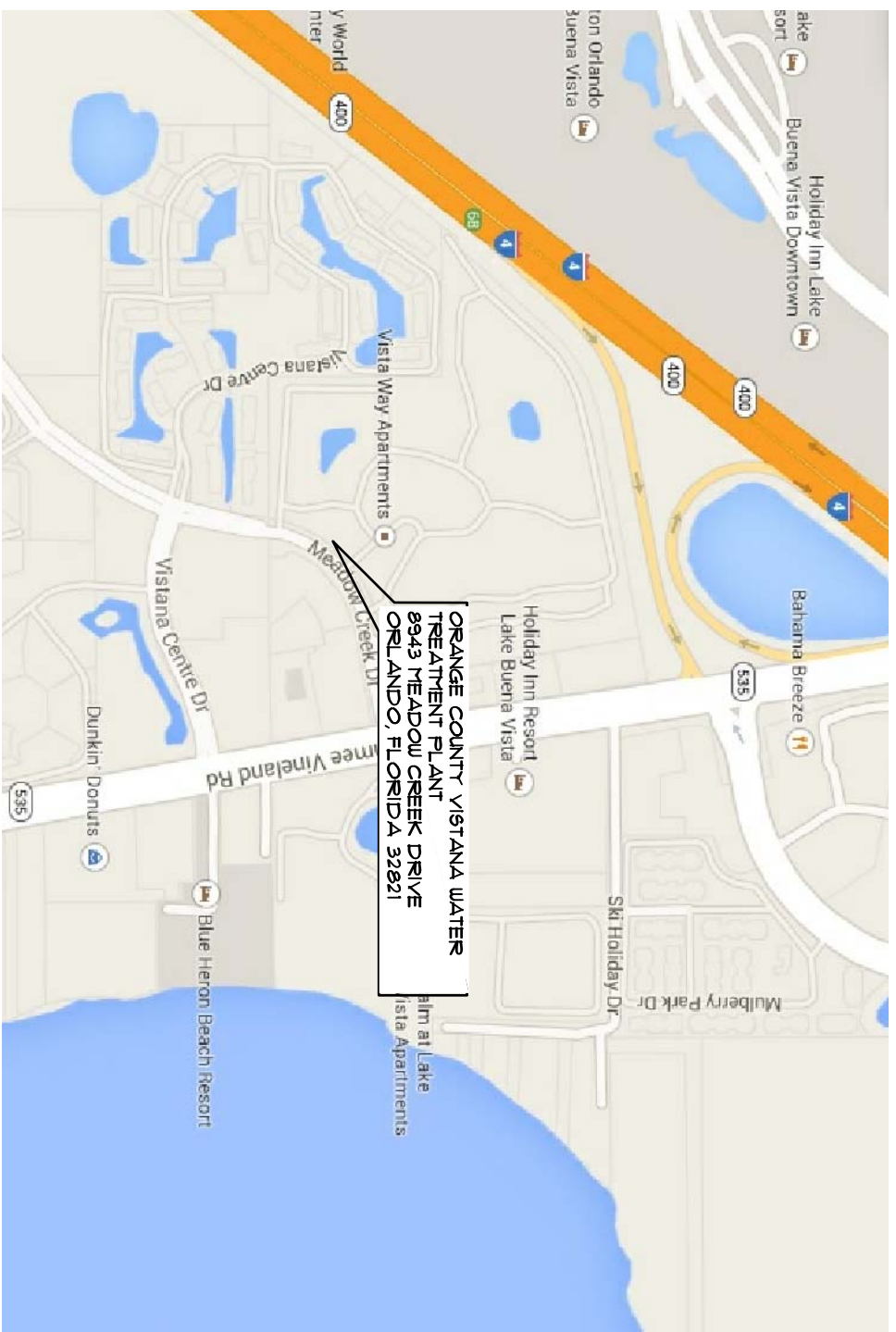
<p>SHEET NO.: A2 3 OF 3 SHEETS(S)</p>	<p>JOB NO.: 14027100 DRAWN BY: TJG CHECKED BY: JJW DATE: 07/10/14 SCALE: AS NOTED PLOT SCALE: 1=1</p>	<p>Roof Replacement of: Vistana Water Treatment Plant 8943 Meadow Creek Drive, Orlando FL 32821 Orange County Government Utilities Engineering Division</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY:</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	BY:				<p>A/R/C Associates Incorporated Architecture Roof Consulting Construction Technology LLC. NBR AAC000932 801 North Fern Creek Avenue Suite 100 Orlando, FL 32805-4889 Tel: (407) 998-4975 Fax: (407) 998-6043 © 2014 A/R/C ASSOCIATES, INC.</p>
NO.	DATE	BY:								

ROOF REPLACEMENT OF THE: ORANGE COUNTY VISTANA WATER TREATMENT PLANT

8943 MEADOW CREEK DRIVE
ORLANDO, FL 32821

FOR:
UTILITIES ENGINEERING DIVISION
SOUTHERN SYSTEM
13000 SOUTH ORANGE AVE
ORLANDO FL 32824

BOARD OF COUNTY COMMISSIONERS
Teresa Jacobs Orange County Mayor
S. Scott Boyd District 1
Frederick C. Brummer District 2
John M. Martinez District 3
Jennifer Thompson District 4
Ted B. Edwards District 5
Tiffany Moore Russell District 6

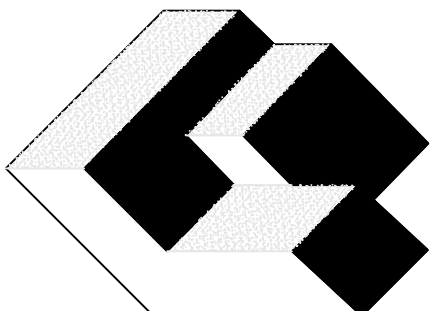
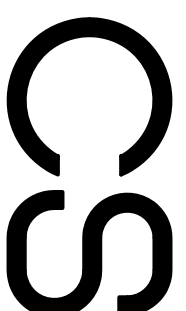


⊕ SITE VICINITY MAP



SHEET NUMBER	SHEET TITLE
C-5	COVER SHEET AND VICINITY MAP
A-1	ROOF PLAN, ROOF SCHEDULE, LEGENDS, GENERAL NOTES AND CODE DATA
A-2	ROOF PLAN, SYMBOLS LEGEND AND SPECIFIC NOTES

COVER SHEET, SITE VICINITY MAP AND DRAWING INDEX

 <p>A/R/C Associates Incorporated Architecture Roof Consulting Construction Technology LLC. NBR AAC000932 801 North Fern Creek Avenue Suite 100 Orlando, FL 32805-4889 Tel. (407) 998-4975 Fax. (407) 998-6043 Copyright © 2014, A/R/C ASSOCIATES, INC.</p>	<input type="checkbox"/> RICHARD W. ARSINO AR-000778 <input type="checkbox"/> JAMES W. BUCKLEY AR-001708 <input type="checkbox"/> ROBERT J. WILLIAMS AR-000984					
	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY:</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	BY:		
NO.	DATE	BY:				
Roof Replacement of: Vistana Water Treatment Plant 8943 Meadow Creek Drive, Orlando FL 32821 Orange County Government Utilities Engineering Division						
JOB NO.: 14027.00 DRAWN BY: TJG CHECKED BY: JJW DATE: 07/10/14 SCALE: AS NOTED PLOT SCALE: 1=1	 <p>SHEET NO.: 1 OF 3 SHEETS(S)</p>					