

April 4, 2018
BOARD OF COUNTY COMMISSIONERS
ORANGE COUNTY, FLORIDA

Y18-751-EB / ADDENDUM No. 1
ORANGE COUNTY CONVENTION CENTER – WEST BUILDING
VALENCIA PRE-FUNCTION AREA UPGRADES

Bid Opening Date: April 17, 2018

This addendum is intended to be incorporated into the bid documents of the project referenced above. The following items are clarifications, corrections, additions, deletions and/or revisions to and shall take precedence over the original documents. Underlining indicates additions, deletions are indicated by ~~strikethrough~~.

A. Changes to Specifications:

The following specification sections were updated in response to RFI questions received as follows:

1. Added note A.5 to Section 011000.0 Summary
 - i. In section 1.7 WORK RESTRICTIONS:
1.7.A.5. For phased construction, where the designated work area will be open for use by the Owner before the next scheduled phase of work begins, all areas must be completed to “show ready” status as determined by the Owner.

2. Added notes D and E to Section 015000.0 Temporary Facilities and Controls
 - i. In section 3.4 SECURITY AND PROTECTION FACILITIES INSTALLATION:
3.4.D. Floor protection: Existing flooring material in the work area shall be covered with ¼” thick Masonite or equal material, securely taped at the seams. No material shall be directly taped to the flooring. Flooring material includes carpet, terrazzo, wood, concrete, wood, resilient and any other material that exists in the work area.

3.4.E. Dust Barriers: The Contractor shall provide barriers around the designated work area to control the transmission of dust and other particulates from contaminating other adjacent areas. At a minimum, these barriers shall consist of floor to ceiling heavy mil plastic sheeting, sealed at all seams and at the floor and ceiling. A mock-up of the barrier shall be provided for the Owner’s review and approval prior to installation of complete barrier system.

B. The following changes are made to the Drawings. All sheets that contain changes have been labeled as REVISED:

1. Interior Sheets- Updated in response to RFI questions received as the following:
 - a. Sheet I2.400 – Floor Plan Area ‘A’
 - i. Added one (1) column band detail
 - b. Sheet I2.401 – Floor Plan Area ‘B’
 - i. Addition of two (2) column band details
 - c. Revision of Sheet I4.400 – Enlarged Details with the following:
 - i. Detail 3 moved to Detail 1
 - ii. Addition of Details 2,3 and 7,9
 - iii. Addition of Notes 1-3 pertaining to decorative column bands
 - d. Sheet I6.400 – Sections
 - i. Added detail number on Call-Out changed to 1/I4.400
 - e. Revision of Sheet I8.400 – Finish Schedule and Notes with the following:
 - i. Removal of ACC-1 from the finish code schedule
 - ii. Addition of ceiling mounted speakers to the Paint Code Schedule
 - iii. Addition of notes 11-13 to “General Notes”
2. Electrical Sheets- Updated in response to Building Department permit comments received as the following:
 - a. E2.201 Electrical Floor Plan Area A
 - i. Added note requiring slab to be x-rayed at new floor box locations
 - b. E2.202 Electrical Floor Plan Area B
 - i. Added note requiring slab to be x-rayed at new floor box locations
 - c. E5.501 Electrical One-Line Diagrams
 - i. Added transformer size, conductor/conduit sizes, and grounding sizes

C. The following information is provided to answer, respond and provide clarifications to questions submitted by prospective bidders:

1. **Question:** New ACT1, 2 and 3 are going to be installed at same height of the existing ACT? **Answer:** As per note 3 on sheet I4.402, all ceiling heights are to remain as existing.
2. **Question:** We would like to know working hours for the project. **Answer:** On the designated on site work days, 24 hours a day are available as working hours. As mentioned in Part G Supplemental Conditions of the IFB, any significant noise activity must be performed between 8p-5a.
3. **Question:** Construction time frame and start date? **Answer:** On-site construction time frames are noted in Page G of the IFB as follows:

6/28-7/28/18
~~8/40~~ 8/5-8/27/18
9/7-9/16/18

Please note August has been updated with additional on-site work days.

4. **Question:** Height of the existing structural system for attaching metal stud framing detail 5/14.402? **Answer:** The height from the bottom of the soffit to the steel joist is approximately 8'.
5. **Question:** Height of the temporary interior fixed partition as per 01 53 00.C111/A1.101? **Answer:** Temporary interior fixed partition is altered to dust partitions. See updated spec 015000.0 Temporary Facilities and Controls section 6.4E regarding Dust Barriers in this Addendum.
6. **Question:** Plans call for Detail 3/14.400 to be at 12 ea. Locations but "Finish code schedule" calls for 4 columns to be covered, clarify. **Answer:** Detail 3/14.400 calls for ACC-2, Decorative Circle Motif. ACC-1 are the 4 column covers. ACC-1 has been removed from project, refer to sheet I8.400.
7. **Question:** There is new electrical work to be done out of project limits as shown on drawing E2.201. We need to know existing ceiling finish, (gypsum board, act, etc). **Answer:** Existing back of house areas have ACT ceiling, approximately 9' ceiling height.
8. **Question:** The Prime Contractor can use our subcontractors past performance work to comply with the similar project successfully completed for this job? **Answer:** Bidders must have demonstrated all similar projects to be managed by them as the prime contractor. The work may have been performed by their subcontractor on the project, but the prime contractor on that project must be the same as the bidder for this solicitation.
9. **Question:** Because the Subcontractors have to provide us with previous Orange County projects, can also include others previous project outside Orange County? **Answer:** Subcontractors are not required to demonstrate their individual project experience.
10. **Question:** Where is going to be the staging area for materials, scaffolds (scissor lifts), delivery, pick-ups and debris container area? **Answer:** Staging area will be the back of house corridor directly adjacent to the Pre-Function Area. Deliveries, pick-ups, and containers for debris to be located in the dock area directly below the jobsite.
11. **Question:** The "Decorative Formed Metal" I4.400/3 - Please provide the exact artwork to scale in a pdf or dwg in order to be able to quote it. I cannot send get enough information from the drawing to quote it. I would need the Artwork. **Answer:** Please refer to sheet I4/400 as part of this Addendum for details.

12. **Question:** Provide starting date and time frame schedule of the project. **Answer:** See response above.
13. **Question:** There are 4 columns, 2 each next to axis 14 page I2.400 and 2 ea next to escalators page I2.401 which are not labeled with detail 3/I4.400. We would like to know if these 4 columns do not require detail 3/I4.400 to be applied? **Answer:** On sheet I2.400, there is one column tagged with note 1. This column has an existing signage element and should not receive ACC-2. The column directly below should receive ACC-2. On sheet I2.401, both columns by escalator should receive ACC-2. Please refer to sheets I2.400 and I2.401 for reference.
14. **Question:** Drawing M2.201 & M2.202 key note #3 calls for duct cleaning of existing ductwork. But the drawings nor the duct specs indicate what cleaning method(s) are and to what extent. Please provide your interpretation of "Duct Cleaning". **Answer:** Specification Section 23 00 01 Cleaning of HVAC Systems details the methods required to clean the ductwork as well as HVAC Equipment. Section 1.3 details the quality assurance and latest standards to be used (NADCA). Section 3.2 details the cleaning procedures including methods such as debris collection equipment & agitation equipment.
15. **Question:** OCCC is revising the contract to have two (2) substantial completion dates due to show requirements. **Answer:** The project area is divided into two (2) phases. Phase one (1) substantial completion date shall be Monday, August 27, 2018. Phase two (2) substantial completion date shall be Sunday, September 16, 2018. Each phase shall be 'show ready' on the indicated substantial completion date. 'Show ready' shall include removal of any temporary barricades, protection, staging materials, and equipment from guest areas.
16. **Question:** What are the boundaries of Phase 1 and Phase 2? **Answer:** The attached drawing defines the boundaries for Phase 1 and 2. Note the two new soffits are included in Phase 1. See attached diagram for phase designations.
17. **Question:** Are there any additional August dates available? **Answer:** The current August dates of on-site work are 8/10 – 8/27/18. The revised dates are updated to 8/5 – 8/27/18
18. **Question:** The current contract duration is 90 calendar days. Will this time frame be extended? **Answer:** The projected date for an executed contract is May 30, 2018. A contract issued on this date would maintain a contract duration of 90 calendar days for a Phase 1 substantial completion date of August 27, 2018. If the executed contract is issued prior to May 30, 2018 the contract calendar days will be extended to reflect the date the contract is executed through the Phase 1 substantial completion date of August 27, 2018.
- D. Section 230900, Instrumentation and Control for HVAC referenced in Volume I, page v of the Table of Contents is hereby deleted.

- E. Section 230900, Instrumentation and Control for HVAC included in Volume II, Part H and populated with Section 230719, HVAC Piping Insulation, pages 230900-1 thru 230900-18 is hereby deleted in its entirety.
- F. All other terms and conditions of the IFB remain the same.
- G. The Bidder shall acknowledge receipt of this addendum by completing the applicable section in the solicitation or by completion of the acknowledgement information on the addendum. Either form of acknowledgement must be completed and returned not later than the date and time for receipt of the bid.

Receipt acknowledged by:

Authorized Signature

Date Signed

Title

Name of Firm

REVISED SECTION 011000.0 - SUMMARY

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes:
 - 1. Project information.
 - 2. Work covered by Contract Documents.
 - 3. Owner Furnished Products
 - 4. Access to site.
 - 5. Coordination with occupants.
 - 6. Work restrictions.
 - 7. Specification and drawing conventions.

1.2 PROJECT INFORMATION

- A. Project Id: **Orange County Convention Center, Valencia Room Pre-Function Area Upgrade**
- B. Interior Designer: TJNG Partners, Inc. 205 E. Central Blvd, Suite 500, Orlando, FL 32801

1.3 WORK COVERED BY CONTRACT DOCUMENTS

- A. Orange County Convention Center Valencia Room Pre-Function Area Upgrade, scheduled for construction to be determined by the Orange County Convention Center CIP staff, includes all work specified in these documents as the 'Project'.
 - 1. This renovation is defined as a Level 1 Alteration by the 2010 Florida Building Code - Existing Buildings.
 - 2. The narratives that follow are included to summarize the scope of work of various disciplines intended for this Project. The narratives do not define the entire work scope, but provide a general sense of the design.
- B. Interior Design: The Valencia Room Pre-Function Area shall receive new furnishings that will include charging stations and are consistent with the recent furniture updates in the West Building concourses.
- C. Interior Finishes: The interiors of the West Building of the Orange County Convention Center have been upgraded to reflect current and future trends in convention center operations. The Valencia Room Pre-Function Area shall also be renovated to be

consistent with this design direction, including new ceilings, upgraded lighting, interior paint and electrical upgrades.

1. All interior materials were selected for their durability and design, but additionally materials were selected for their sustainable qualities, such as high recycled content, rapidly renewable and other green criteria

D. Structural: N/A

E. Roof: N/A

F. Fire Suppression: N/A

G. Plumbing: N/A

H. Mechanical: N/A.

I. Electrical: The Valencia Room Pre-Function area shall be upgraded with new LED, energy efficient lighting and show power upgrades and additions.

J. Technology: N/A

K. Fire Alarm: N/A

1.4 OWNER-FURNISHED PRODUCTS

- A. Owner will furnish products as indicated. The Owner anticipates providing furnishings as indicated on the furniture plans, only. All other elements, including custom decorative light fixtures shall be by the Contractor.

1.5 ACCESS TO SITE

A. General: Contractor shall have limited use of Project site for construction operations and will be advised on the details of those limitations in a Pre-Bid conference.

B. Use of Site: Limit use of Project site to work in areas indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.

1. Driveways, Walkways and Entrances: Keep driveways, loading areas, and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials.

- a. Schedule deliveries to minimize use of driveways and entrances by construction operations.

- b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.
- C. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.
- D. Security and Identification
 - 1. Contractor's personnel working on a project at the Convention Center will require a badge issued by OCCC.
 - 2. All costs for background investigations will be Contractor's responsibility. The County shall have the right to request any additional investigative background information including, but limited to, the employment record, Right-To-Know records, E-Verify system records (if the Contractor uses this service as a means to determine employment eligibility, available through www.uscis.gov), training records, payroll records, position for which hired including site location of any personnel assigned to perform the services. The Contractor shall furnish, in writing, such information to the extent allowed by law, prior to commencement of services. The County reserves the right to conduct its own investigation of any employee of the Contractor.
 - 3. A Level 1 (5 years) Background Check from the Florida Department of Law Enforcement (FDLE) is required for the Contractor's personnel and all sub-contractor's personnel. Background checks must be approved by Orange County's Security team prior to working in any County facility. The Contractor is responsible for obtaining the background check from FDLE for work at the Convention Center.
 - 4. The Convention Center will inform the Contractor of Background Check results.
 - 5. Upon Background Check approval the Contractor's personnel shall arrange an appointment with the Convention Center staff to obtain an Orange County photo ID badge. An affidavit of Identity form (issued by the Contractor and a State of Florida ID or Driver's License will be required to obtain the photo ID badge.
 - 6. Contractor's personnel will not be allowed in Orange County facilities without completed and approved background investigations.

1.6 COORDINATION WITH OCCUPANTS

- A. Full Owner Occupancy: Owner, its' tenants, and the general public will occupy site and existing building and adjacent facilities during the entire construction period. Cooperate with Owner during construction operations to minimize conflicts and

facilitate occupancy usage, and protect persons and property in the project area during the entire construction period. Perform the Work so as not to interfere with Owner's day-to-day operations.

- B. Supplemental Conditions: Refer to Volume 1, Section G, 'Supplemental Conditions' for Owner-specific requirements related to coordination of the owner's use of the facility.

1.7 WORK RESTRICTIONS

- A. Work Restrictions, General: Comply with restrictions on construction operations.

1. The Contractor shall be responsible for covering exposed work areas during non-working hours. The work areas shall be covered to prevent visible exposure from all angles of sight. Contractor shall obtain approval from the Owner for covering material prior to installation.
2. Contractor is responsible for providing their own equipment and method of construction waste disposal. Accessibility for equipment such as pallet jacks or electric powered maintenance carts shall be permitted with limited access areas, as coordinated and approved with the County Project Manager. Contractor shall protect existing flooring and surrounding areas when using equipment such as pallet jacks or electric powered maintenance carts
3. Availability of space for staging/lay down area will determine whether County will permit the Contractor to set up a staging area. The owner will make reasonable staging/storage accommodations on property. Contractor staging area on site will depend on availability of space at OCCC West Building and relocation during project may be required.
4. After completion of the work, the Contractor shall replace or restore to the original condition all affected areas within the project limits. Contractor is required to provide all materials for patching and painting per the finishes information provided by the County Project Manager
5. **For phased construction, where the designated work area will be open for use by the Owner before the next scheduled phase of work begins, all areas much be completed to "show ready" status as determined by the Owner**
6. Comply with limitations on use of public streets and other requirements of authorities having jurisdiction.

- B. Supplemental Conditions: Refer to Volume 1, Section G, 'Supplemental Conditions' for Owner-specific requirements and restrictions related Project work hours.

- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated:
 - 1. Notify Owner not less than two days in advance of proposed utility interruptions.
 - 2. Obtain Owner's written permission before proceeding with utility interruptions.

1.8 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 - 1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
 - 2. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of all Sections in the Specifications.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 011000.0

REVISED SECTION 015000.0 - TEMPORARY FACILITIES AND CONTROLS

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes requirements for temporary utilities, support facilities, and security and protection facilities.
- B. Related Section: Division 01 Section "Summary" for work restrictions and limitations on utility interruptions.

1.2 USE CHARGES

- A. General: Installation and removal of and use charges for temporary facilities shall be included in the Contract Sum unless otherwise indicated. Allow other entities to use temporary services and facilities without cost, including, but not limited to, Interior Designer, testing agencies, and authorities having jurisdiction.
- B. Water and Sewer Service from Existing System: Water from Owner's existing water system is available for use without metering and without payment of use charges. Provide connections and extensions of services as required for construction operations.
- C. Electric Power Service from Existing System: Electric power from Owner's existing system is available for use without metering and without payment of use charges. Provide connections and extensions of services as required for construction operations.

1.3 PROJECT CONDITIONS

- A. Temporary Use of Permanent Facilities: Engage installer of each permanent service to assume responsibility for operation, maintenance, and protection of each permanent service during its use as a construction facility before Owner's acceptance, regardless of previously assigned responsibilities.

PART 2 - PRODUCTS

2.1 TEMPORARY FACILITIES

- A. Field Offices, General: Prefabricated or mobile units with serviceable finishes, temperature controls, and foundations adequate for normal loading.

- B. Storage and Fabrication Sheds: Provide sheds sized, furnished, and equipped to accommodate materials and equipment for construction operations.

PART 3 - EXECUTION

3.1 INSTALLATION, GENERAL

- A. Locate facilities where they will serve Project adequately and result in minimum interference with performance of the Work. Relocate and modify facilities as required by progress of the Work.
 - 1. Locate facilities to limit site disturbance as specified in Division 01 Section "Summary."
- B. Provide each facility ready for use when needed to avoid delay. Do not remove until facilities are no longer needed or are replaced by authorized use of completed permanent facilities.

3.2 TEMPORARY UTILITY INSTALLATION

- A. Sanitary Facilities: Use of Owner's existing toilet facilities will be permitted, as long as facilities are cleaned and maintained in a condition acceptable to Owner. At Substantial Completion, restore these facilities to condition existing before initial use.
- B. Electric Power Service: Connect to Owner's existing electric power service. Maintain equipment in a condition acceptable to Owner.

3.3 SUPPORT FACILITIES INSTALLATION

- A. Traffic Controls: Comply with requirements of authorities having jurisdiction.
 - 1. Protect existing site improvements to remain including curbs, pavement, and utilities.
 - 2. Maintain access for fire-fighting equipment and access to fire hydrants.
- B. Parking: Use designated areas of Owner's existing parking areas for construction personnel.
- C. Project Signs: Provide Project signs as indicated. Unauthorized signs are not permitted.
 - 1. Optional Identification Sign(s): Provide single, 4-ft x 8-ft Project identification sign at location designated by Owner. Construct of non-degradable materials for panel, posts, and framework. Sign design, layout, position, and content shall be approved by Owner prior to installation. Sign shall include project name, contractor's information and contact phone numbers.

2. **Temporary Signs: Provide other signs as indicated and as required to inform public and individuals seeking entrance to Project. Provide temporary, directional signs for construction personnel and visitors.**

3. **Maintain and touchup signs so they are legible at all times.**

D. Waste Disposal Facilities: Provide waste-collection containers in sizes adequate to handle waste from construction operations. Comply with requirements of authorities having jurisdiction. Comply with Division 01 Section "Execution" for progress cleaning requirements.

E. Lifts and Hoists: Provide facilities necessary for hoisting materials and personnel.

1. Truck cranes and similar devices used for hoisting materials are considered "tools and equipment" and not temporary facilities.

F. Existing Elevator Use: Use of Owner's existing elevators will be permitted, provided elevators are cleaned and maintained in a condition acceptable to Owner. At Substantial Completion, restore elevators to condition existing before initial use, including replacing worn cables, guide shoes, and similar items of limited life.

1. Do not load elevators beyond their rated weight capacity.

2. **Provide protective coverings, barriers, devices, signs, or other procedures to protect elevator car and entrance doors and frame. If, despite such protection, elevators become damaged, engage elevator Installer to restore damaged work so no evidence remains of correction work. Return items that cannot be refinished in field to the shop, make required repairs and refinish entire unit, or provide new units as required.**

G. Existing Stair Usage: Use of Owner's existing stairs will be permitted, provided stairs are cleaned and maintained in a condition acceptable to Owner. At Substantial Completion, restore stairs to condition existing before initial use.

1. Provide protective coverings, barriers, devices, signs, or other procedures to protect stairs and to maintain means of egress. If stairs become damaged, restore damaged areas so no evidence remains of correction work.

3.4 SECURITY AND PROTECTION FACILITIES INSTALLATION

A. Environmental Protection: Provide protection, operate temporary facilities, and conduct construction as required to comply with environmental regulations and that minimize possible air, waterway, and subsoil contamination or pollution or other undesirable effects.

B. Security Enclosure and Lockup: Install temporary enclosure around partially completed areas of construction. Provide lockable entrances to prevent unauthorized entrance, vandalism, theft, and similar violations of security. Lock entrances at end of each work day.

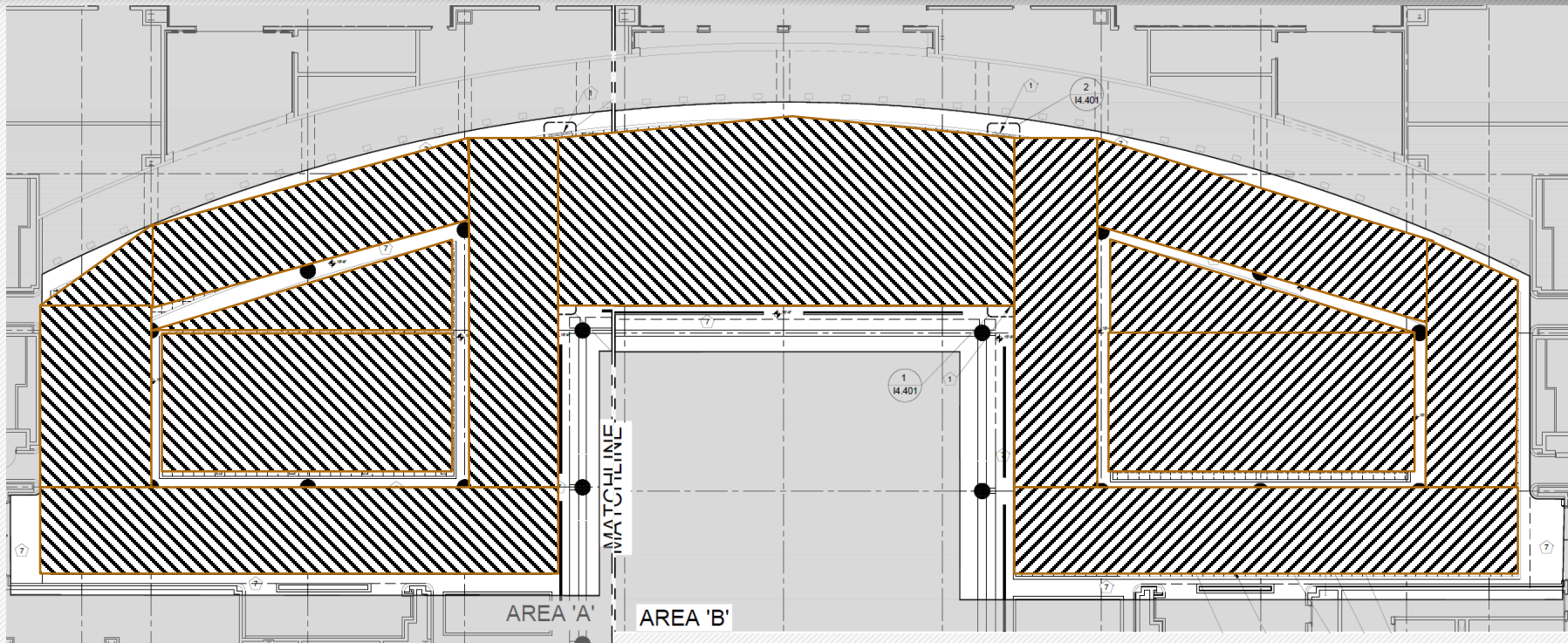
- C. **Barricades, Warning Signs, and Lights:** Comply with requirements of authorities having jurisdiction for erecting structurally adequate barricades, including warning signs and lighting.
- D. **Floor protection:** Existing flooring material in the work area shall be covered with ¼" thick Masonite or equal material, securely taped at the seams. No material shall be directly taped to the flooring. Flooring material includes carpet, terrazzo, wood, concrete, wood, resilient and any other material that exists in the work area.
- E. **Dust Barriers:** Contractor shall provide barriers around the designated work area to control the transmission of dust and other particulates from contaminating other adjacent areas. At a minimum, these barriers shall consist of floor to ceiling heavy mil plastic sheeting, sealed at all seams and at the floor and ceiling. A mock-up of the barrier shall be provided for the Owner's review and approval prior to installation of complete barrier system.
- F. **Temporary Egress:** Maintain temporary egress from existing occupied facilities as indicated and as required by authorities having jurisdiction.

3.5 OPERATION, TERMINATION, AND REMOVAL

- A. **Supervision:** Enforce strict discipline in use of temporary facilities. To minimize waste and abuse, limit availability of temporary facilities to essential and intended uses.
- B. **Maintenance:** Maintain facilities in good operating condition until removal.
 - 1. Maintain operation of temporary enclosures, heating, cooling, humidity control, ventilation, and similar facilities on a 24-hour basis where required to achieve indicated results and to avoid possibility of damage.
- C. **Termination and Removal:** Remove each temporary facility when need for its service has ended, when it has been replaced by authorized use of a permanent facility, or no later than Substantial Completion. Complete or, if necessary, restore permanent construction that may have been delayed because of interference with temporary facility. Repair damaged Work, clean exposed surfaces, and replace construction that cannot be satisfactorily repaired.
 - 1. Materials and facilities that constitute temporary facilities are property of Contractor. Owner reserves right to take possession of Project identification signs.
 - 2. At Substantial Completion, repair, renovate, and clean permanent facilities used during construction period. Comply with final cleaning requirements specified in Division 01 Section "Closeout Procedures."

END OF SECTION 015000.0

Valencia Pre-Function Area Upgrades Construction Phases



Phase 1 Areas  30 Days

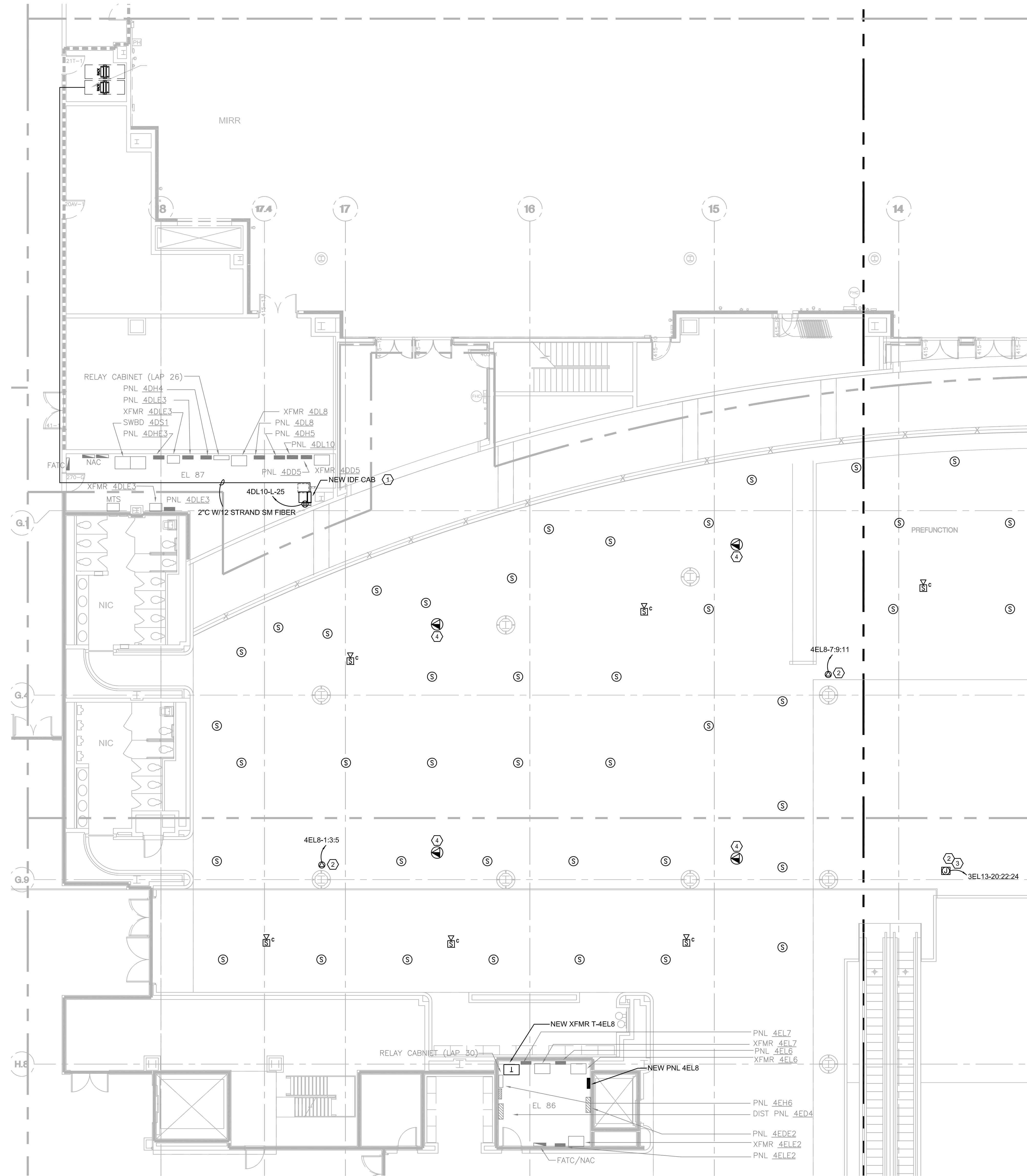
Phase 2 Areas  23 Days

GENERAL NOTES:

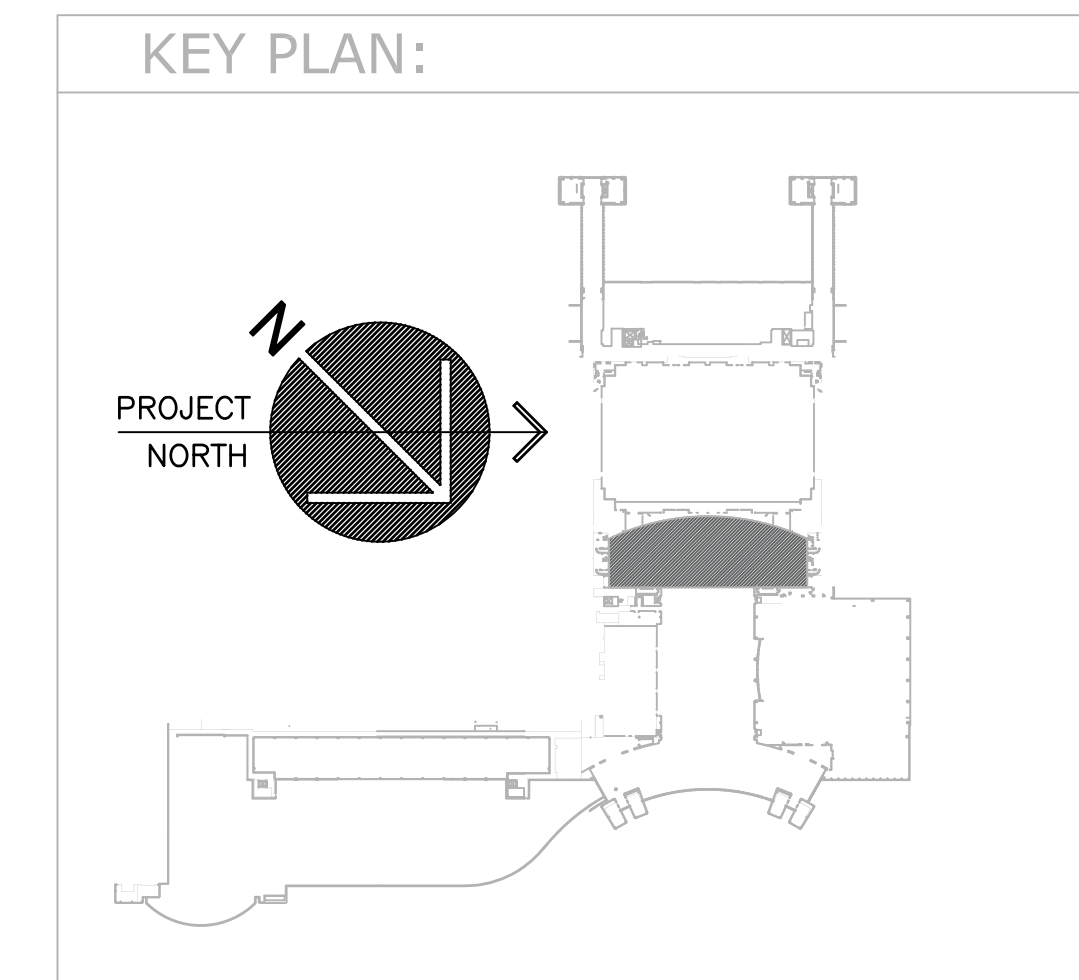
- REFER TO SYMBOL LEGEND ON SHEET E001.
- REFER TO BOOK SPECIFICATIONS.
- REFER TO ARCHITECTURAL INTERIOR ELEVATIONS TO COORDINATE EXACT PLACEMENT OF ALL DEVICES, EQUIPMENT, FIXTURES, SWITCHES AND OUTLETS.
- REFER TO EQUIPMENT SCHEDULES FOR DISCONNECT, CONDUIT AND WIRE SIZES.
- ALL COMPUTER CIRCUITS SHALL HAVE DEDICATED NEUTRAL FROM LOAD TO SOURCE EQUIPMENT.
- ALL FEEDERS ARE TO HAVE LESS THAN 2% TOTAL VOLTAGE DROP AND ALL BRANCH CIRCUITS SHALL HAVE LESS THAN 3% VOLTAGE DROP.
- IF CIRCUITS ARE COMBINED AND RUN AS MULTI-WIRE BRANCH CIRCUITS SHARING A COMMON NEUTRAL, THEN EACH UNGROUNDED CONDUCTOR MUST BE DISCONNECTED SIMULTANEOUSLY BY A COMMON TRIP CIRCUIT BREAKER. CONTRACTOR MAY, AT THEIR OPTION, PROVIDE EITHER COMMON TRIP MULTI-POLE CIRCUIT BREAKERS OR UTILIZE MANUFACTURERS LISTED HANDLE TIES IN ORDER TO PROVIDE THE SIMULTANEOUS TRIP. THESE DEVICES ARE NOT SHOWN IN THE PANEL SCHEDULES AND MUST BE PROVIDED BY THIS SCOPE OF WORK. NO MORE THAN 3 CIRCUITS MAY BE COMBINED IN A SINGLE RACEWAY WITHOUT PRIOR APPROVAL BY THE ENGINEER.
- CONTRACTOR SHALL PROVIDE NEW SPEAKERS AS SHOWN, ATLAS SD72W 70V OR EQUAL. ALL SPEAKERS SHALL BE TAPPED AND SOUND LEVELS MEASURED.

PLAN KEY NOTES:

- REFER TO DETAIL 3 ON SHEET E8-801 FOR WALL MOUNTED CABINET CONNECTION.
- PROVIDE PRE-WIRED, RECESSED JUNCTION BOX FOR OWNER FURNISHED MINI CAMLOCK OUTLET. COORDINATE WITH OWNER FOR EXACT LOCATION AND DIMENSIONS OF BOX. REFER TO FEEDER SCHEDULE.
- EXTEND CIRCUIT FROM EXISTING RECEPTACLE ON LEVEL BELOW AT FRONT OF RESTAURANT. X-RAY SLAB PRIOR TO ANY WORK TO ENSURE JUNCTION BOX IS NOT CONFLICTING WITH EMBEDDED STRUCTURAL ELEMENTS.
- ROUTE WAP TO IDF CABINET ON THIS PAGE.



ELECTRICAL FLOOR PLAN - AREA A
SCALE: 1/8"=1'-0"



Issue:

No.	Date	Description
3/9/18		PERMIT DOCUMENTS
3/30/18		REVISED DRAWING ADDENDUM 1

Project Name:
VALENCIA PRE-FUNCTION AREA UPGRADE

Project Number: 2017-030
Drawing File Name: 1600-E200-2017030.DWG
Scale: AS SHOWN
Design By: BSB
Drawn By: BSB
Checked By: WAE
Engineer of Record: JUSTIN L. MUNDLE
License Number: FL70700

Sheet Name:
ELECTRICAL FLOOR PLAN - AREA A

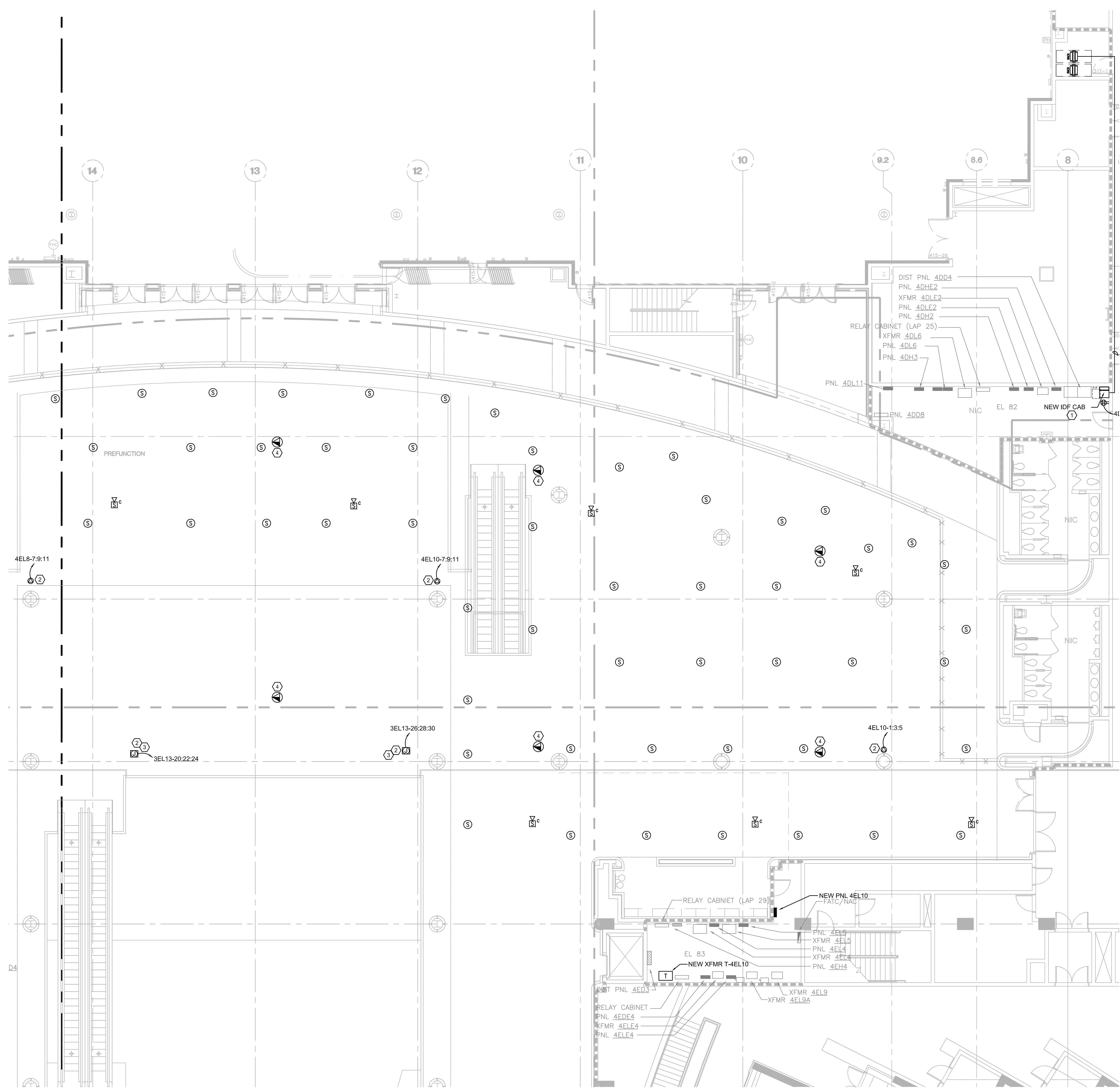
Sheet Number:
E2.201

GENERAL NOTES:

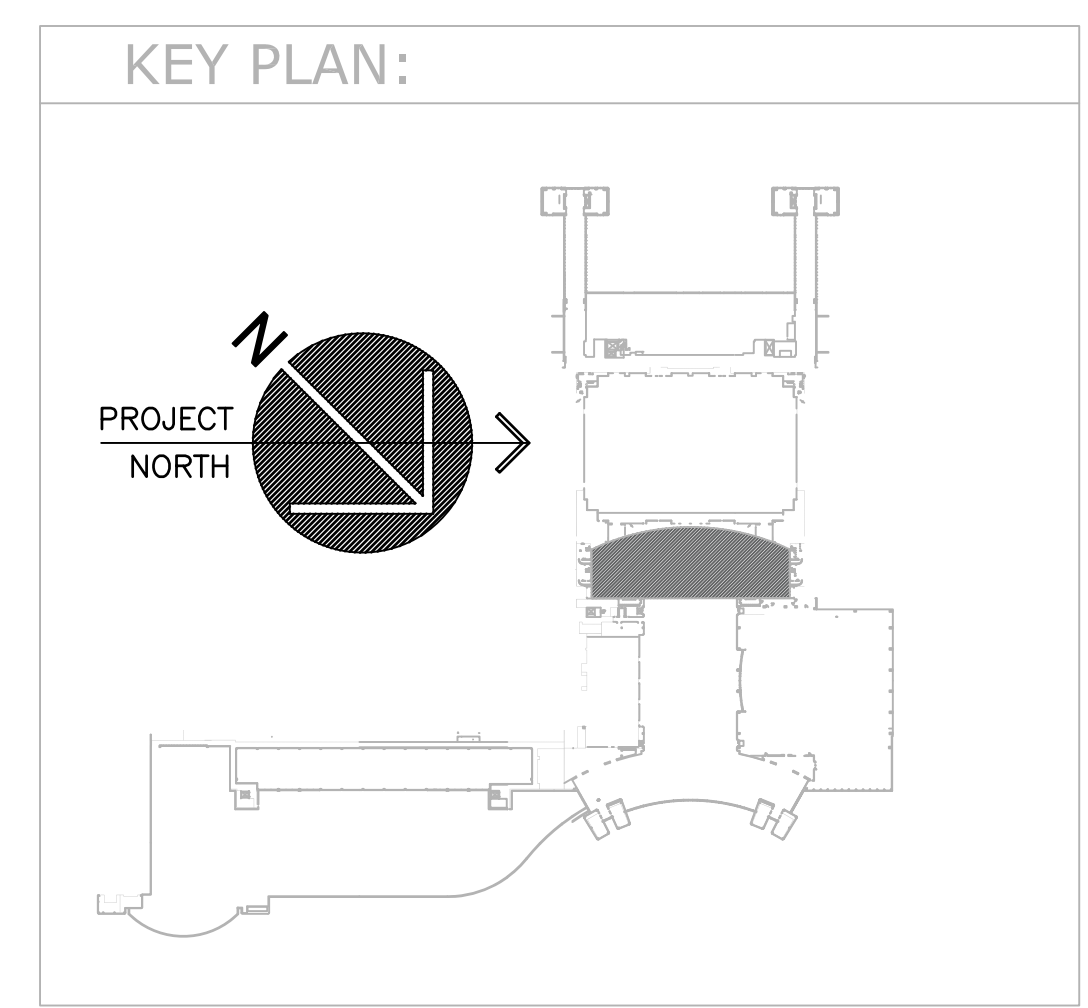
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- b. REFER TO BOOK SPECIFICATIONS.
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- d. REFER TO EQUIPMENT SCHEDULES FOR DISCONNECT, CONDUIT AND WIRE SIZES.
- e. ALL COMPUTER CIRCUITS SHALL HAVE DEDICATED NEUTRAL FROM LOAD TO SOURCE EQUIPMENT.
- f. ALL FEEDERS ARE TO HAVE LESS THAN 2% TOTAL VOLTAGE DROP AND ALL BRANCH CIRCUITS SHALL HAVE LESS THAN 3% VOLTAGE DROP.
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PLAN KEY NOTES:

- 1. REFER TO DETAIL 3 ON SHEET E8.801 FOR WALL MOUNTED CABINET CONNECTION.
- 2. PROVIDE PRE-WIRED, RECESSED JUNCTION BOX FOR OWNER FURNISHED MINI CAMLOCK OUTLET. COORDINATE WITH OWNER FOR EXACT LOCATION AND DIMENSIONS OF BOX. REFER TO FEEDER SCHEDULE.
- 3. EXTEND CIRCUIT FROM EXISTING RECEPTACLE ON LEVEL BELOW TO NEW RECEPTACLE ON THIS LEVEL. PROVIDE OVERCURRENT PROTECTION (X-RAY SLAB) PRIOR TO ANY WORK TO ENSURE JUNCTION BOX IS NOT CONFLICTING WITH EMBEDDED STRUCTURAL ELEMENTS.
- 4. ROUTE WAP TO IDF CABINET ON THIS PAGE.



ELECTRICAL FLOOR PLAN - AREA B
SCALE: 1/8"=1'-0"

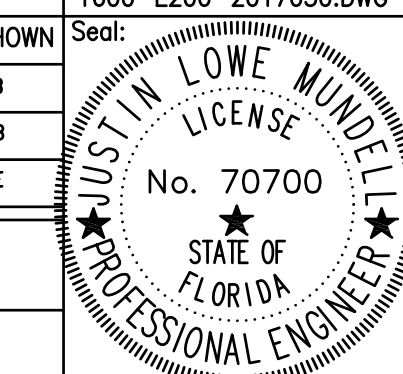


Issue:

No.	Date	Description
3/9/18	3/9/18	PERMIT DOCUMENTS
3/30/18	3/30/18	REVISED DRAWING ADDENDUM 1

Project Name:
VALENCIA PRE-FUNCTION AREA UPGRADE

Project Number: 2017-030
Drawing File Name: 1600-E200-2017030.DWG
Scale: AS SHOWN
Design By: BSB
Drawn By: BSB
Checked By: MWE
Engineer of Record: JUSTIN L. MUNDELL
License Number: FL70700



Sheet Name:
ELECTRICAL FLOOR PLAN - AREA B

Sheet Number:
E2.202

FILE: Q:\PROJECT FILES\2017-030_OCCC_VALENCIA BALLROOM PREFUNCTION AREA\DRAWINGS\1600-E200-2017030.DWG
PRINTED: 04/03/2018

ONE LINE DIAGRAM KEYED NOTES:

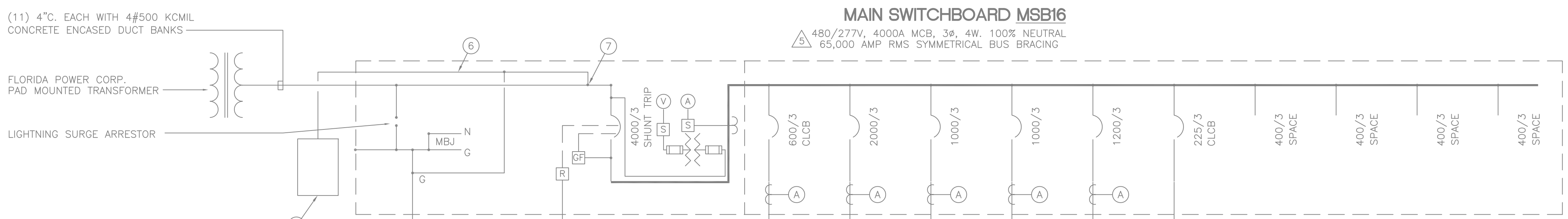
- ① (3) 3" C. EACH WITH 4#350KCMIL, 1#1/0G.
- ② (6) 3.5" C. EACH WITH 4#500KCMIL, 1#250KCMIL G.
- ③ (3) 3.5" C. EACH WITH 4#500KCMIL, 1#3/0G.
- ④ 4#4/0, 1#4G., 2.5" C.
- ⑤ POWER CONDITIONING/SURGE ARRESTOR PANEL CURRENT TECHNOLOGY MP SERIES GENERATION II WITH WITHSTAND CAPACITY IN EXCESS OF 225,000 AMPS PER PHASE, UL 1283 HIGH FREQUENCY EXTENDED RANGE TRACKING FILTER, INTEGRAL FUSED DISCONNECT, LED STATUS INDICATORS, SEVEN MODES OF PROTECTION, UL 1449 LISTED SUPPRESSION RATING OF NO LESS THAN 1000 VOLTS, AND A FULL DIAGNOSTIC TEST POINT ON FRONT OF PANEL.

RISER DIAGRAM KEYED NOTES (CONT.):

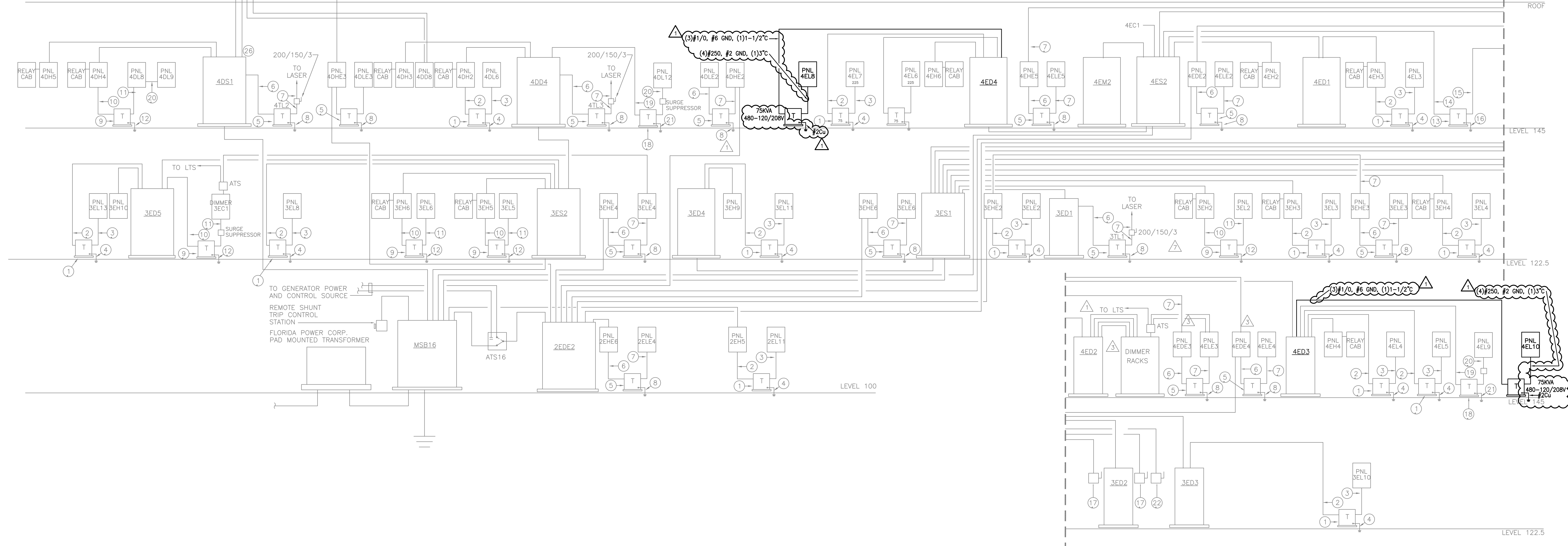
- ⑫ 5#2 CONDUCTORS IN 1.5" C.
- ⑬ SWITCHBOARD MANUFACTURER TO FACTORY TAP PHASE, NEUTRAL AND GROUND BUS.
- ⑭ (4) 3" C. EACH WITH 4#350KCMIL, 1#3/0G.
- ⑮ CONNECT NEW PANELS 4DD7 AND 4DD8 TO EXISTING 800 AMP FUSED SWITCH MADE AVAILABLE DURING DEMOLITION.
- ⑯ PROVIDE NEW 200 AMP C.B. (KC34200) IN EXISTING SWITCHGEAR, MATCH EXISTING C.B. TYPE.

RISER DIAGRAM KEYED NOTES:

- ① 75KVA TRANSFORMER 480:208/120V, 3#, 4W.
- ② 3#1, 1#6G., 1.25" C.
- ③ 4#4/0, 1#2G., 2.5" C.
- ④ 1#2G., 3/4" C.
- ⑤ 45KVA TRANSFORMER 480:208/120V, 3#, 4W.
- ⑥ 3#4, 1#6G., 1" C.
- ⑦ 4#1/0, 1#6G., 2" C.
- ⑧ 1#6G., 3/4" C.
- ⑨ 112.5KVA TRANSFORMER 480:208/120V, 3#, 4W.
- ⑩ 3#2/0, 1#6G., 2" C.
- ⑪ (2) 2" C. EACH WITH 4#3/0, 1#2G.
- ⑫ 1#2G., 3/4" C.
- ⑬ 500KVA TRANSFORMER 480:208/120V, 3#, 4W.
- ⑭ (2) 3" C. EACH WITH 3#500KCMIL, 1#1/0G.
- ⑮ (6) 3.5" C. EACH WITH 4#500KCMIL, 1#250KCMIL G.
- ⑯ 1#250KCMIL G., 1" C.
- ⑰ 400/NF/3
- ⑱ 30KVA TRANSFORMER 480:208/120V, 3#, 4W.
- ⑲ 3#8, 1#10G., 1" C.
- ⑳ 4#3, 1#8G., 1.25" C.
- ㉑ 1#8G., 3/4" C.
- ㉒ 200/NF/3
- ㉓ 100 AMP MCB, 120/208V 3#, 4W 12-POLE PANEL WITH 2-80/3 CIRCUIT BREAKERS. THE REMAINING TO BE SPACES.



SERVICE #16 ONE LINE DIAGRAM
NOT TO SCALE



ELECTRICAL ONE LINE DIAGRAMS

Issue:

No.	Date	Description
3/9/18	3/9/18	PERMIT DOCUMENTS
3/30/18	3/30/18	REVISED DRAWING ADDENDUM 1

Project Name:
VALENCIA PRE-FUNCTION AREA UPGRADE

Project Number: 2017-030
Drawing File Name: 1800-E500-2017030.DWG
Scale: AS SHOWN
Design By: BSB
Drawn By: BSB
Checked By: WME
Engineer of Record: JUSTIN L. MUNDELL
License Number: FL70700

Seal:
JUSTIN L. MUNDELL
PROFESSIONAL ENGINEER
STATE OF FLORIDA
NO. 70700

Sheet Name:
ELECTRICAL ONE LINE DIAGRAMS

Sheet Number:
E5.501

PROJECT

Orange County Convention Center
VALENCIA PRE-FUNCTION AREA UPGRADE
9800 INTERNATIONAL DRIVE
Orlando, FL 32819

SEAL

Jennifer Nichols Kennedy
Florida Registered Interior Designer
FL ID #3031

ISSUED FOR

100% BID DOCUMENTS
▲ REVISED DRAWING ADDENDUM 1

PROJECT INFORMATION

PROJECT NUMBER:
77717
DATE:
03/09/2018
SCALE:
1/8"=1'-0"
DRAWN BY:
KG
CHECKED BY:
JNK

DRAWING NUMBER

FLOOR PLAN AREA 'A'

12.400

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KEY NOTES:

- 055813 COLUMN COVERS
- 057500 DECORATIVE FORMED METAL
- 092713 GLASS FIBER REINFORCED PLASTER FABRICATIONS
- 090190 MAINTENANCE REPAINTING
- 092900 GYPSUM BOARD
- 095113 CEILING SYSTEMS
- 099123 INTERIOR PAINTING

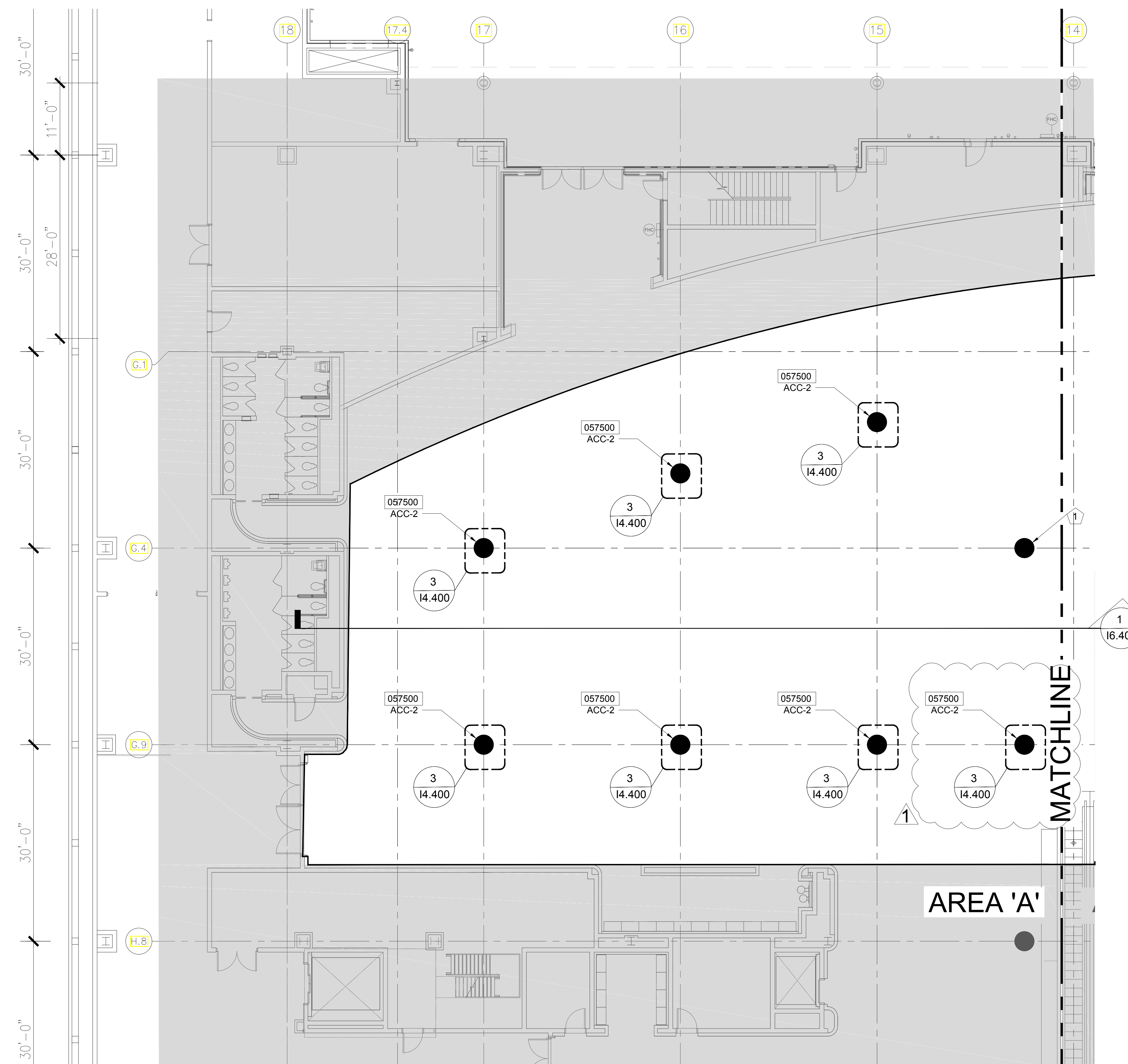
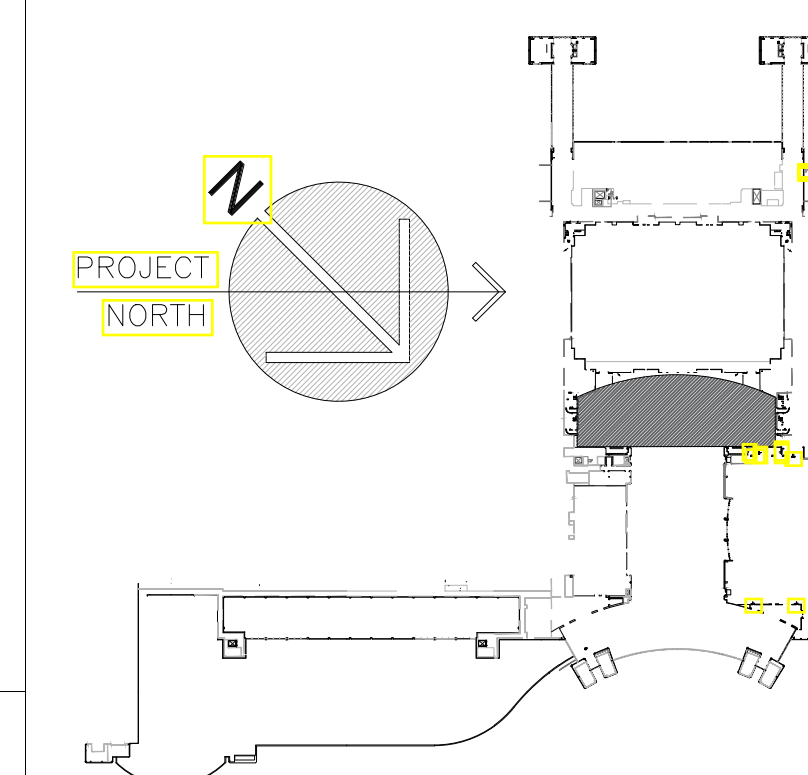
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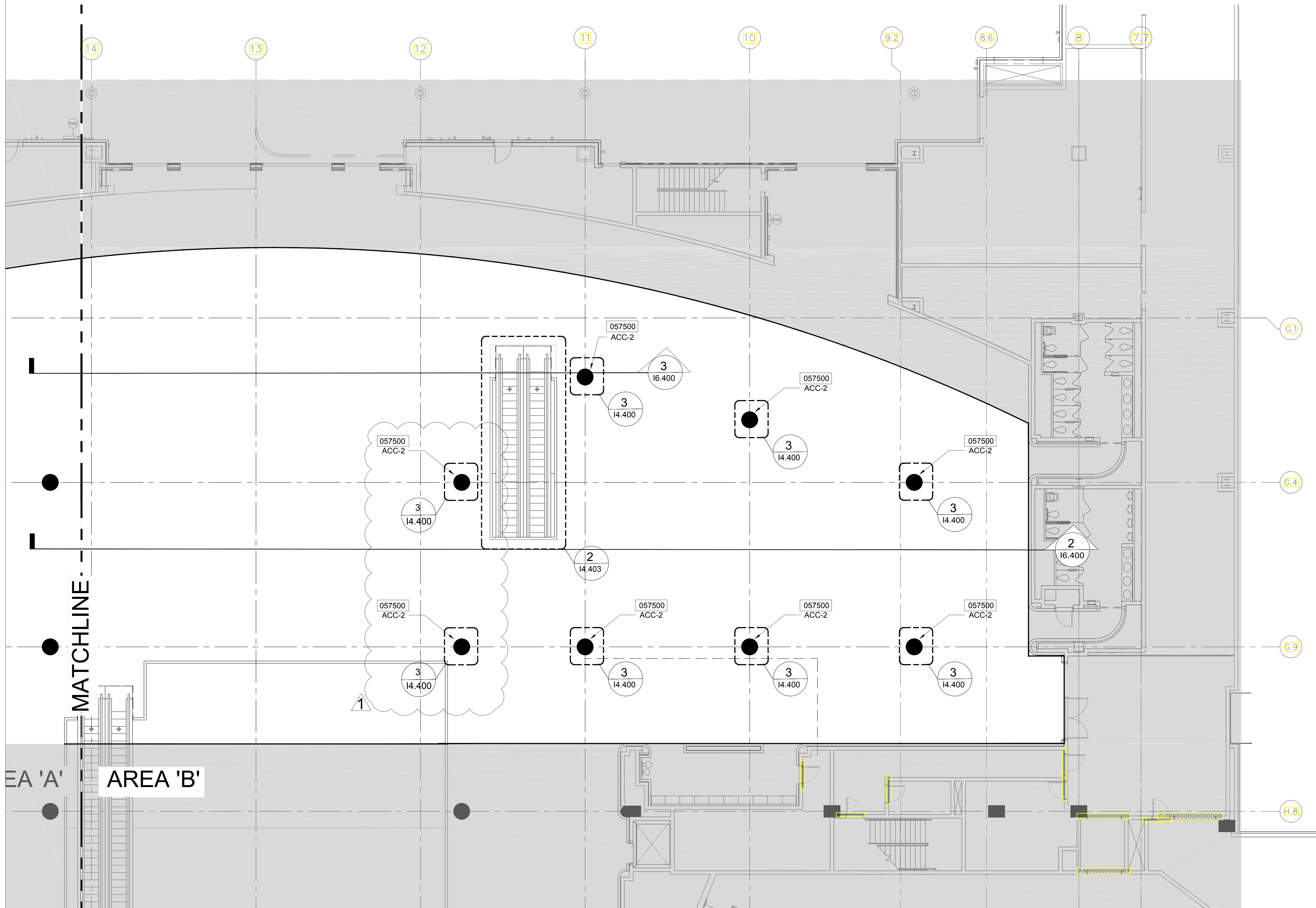
- 1 WAYFINDING SIGN BAND ON COLUMN

LEGEND:

- NOT IN SCOPE
- ENLARGED DETAIL
- SECTION CUT

KEY PLAN:

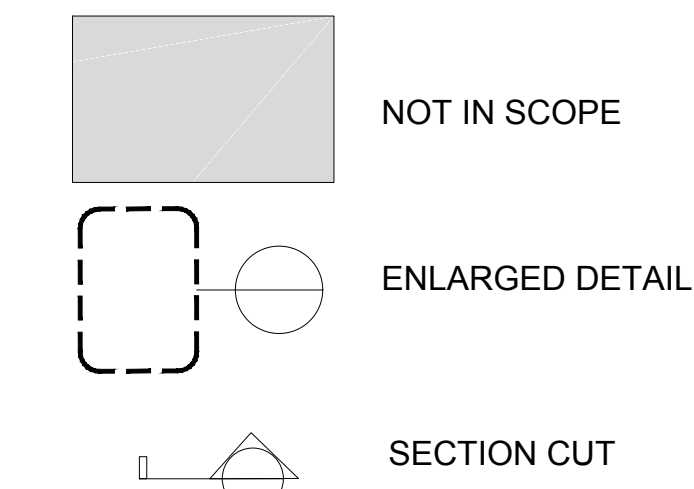




KEY NOTES:

055813	COLUMN COVERS
057500	DECORATIVE FORMED METAL
092713	GLASS FIBER REINFORCED PLASTER FABRICATIONS
090190	MAINTENANCE REPAINTING
092900	GYPSUM BOARD
095113	CEILING SYSTEMS
099123	INTERIOR PAINTING

LEGEND:



PROJECT

Orange County Convention Center
VALENCIA PRE-FUNCTION AREA UPGRADE
 9800 INTERNATIONAL DRIVE
 Orlando, FL 32819

TJNG PARTNERS
 205 E. Central Blvd., Suite 500
 Orlando, FL 32801
 Phone 407.644.2445
 Fax 407.644.0445
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 18 0001073

SEAL

Jennifer Nichols Kennedy
 Florida Registered Interior Designer
 FL ID #3031

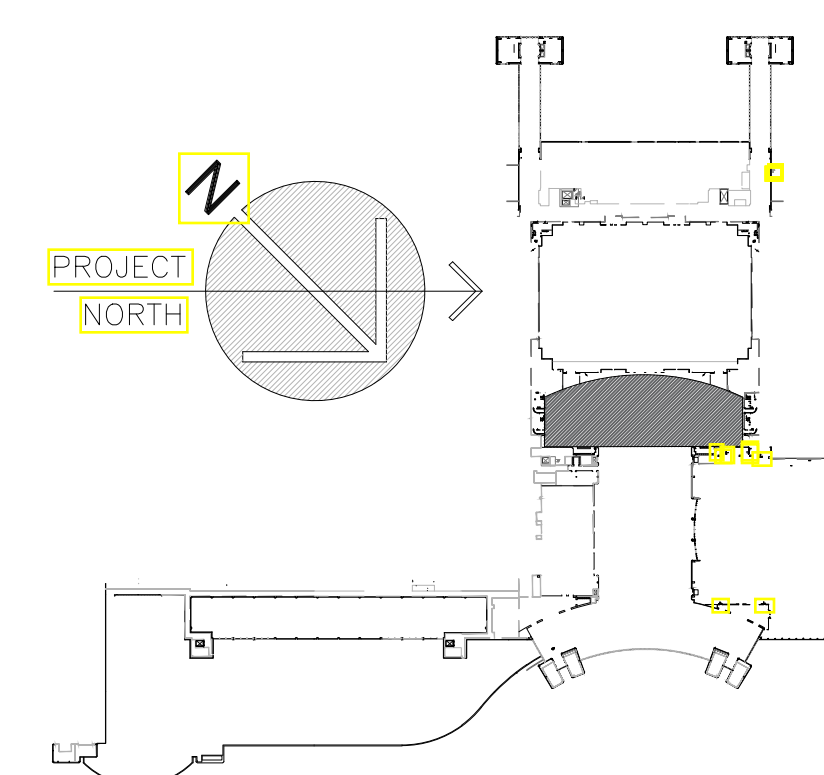
ISSUED FOR

- 100% BID DOCUMENTS
- ▲ REVISED DRAWING ADDENDUM 1

PROJECT INFORMATION

PROJECT NUMBER:
 77717
DATE:
 03/09/2018
SCALE:
 1/8"=1'-0"
DRAWN BY:
 KG
CHECKED BY:
 JNK

KEY PLAN:



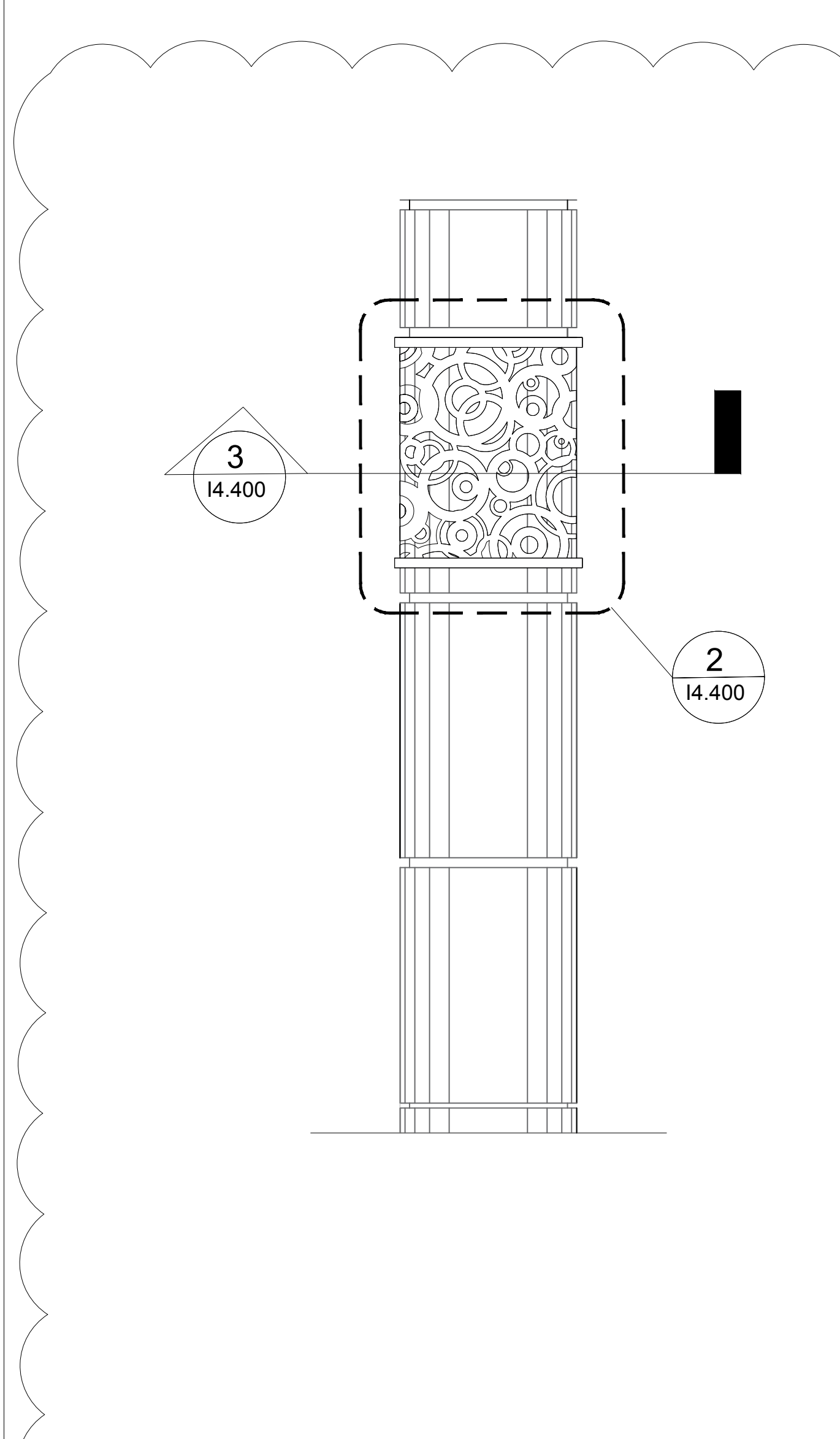
DRAWING NUMBER

FLOOR PLAN AREA 'B'
12.401

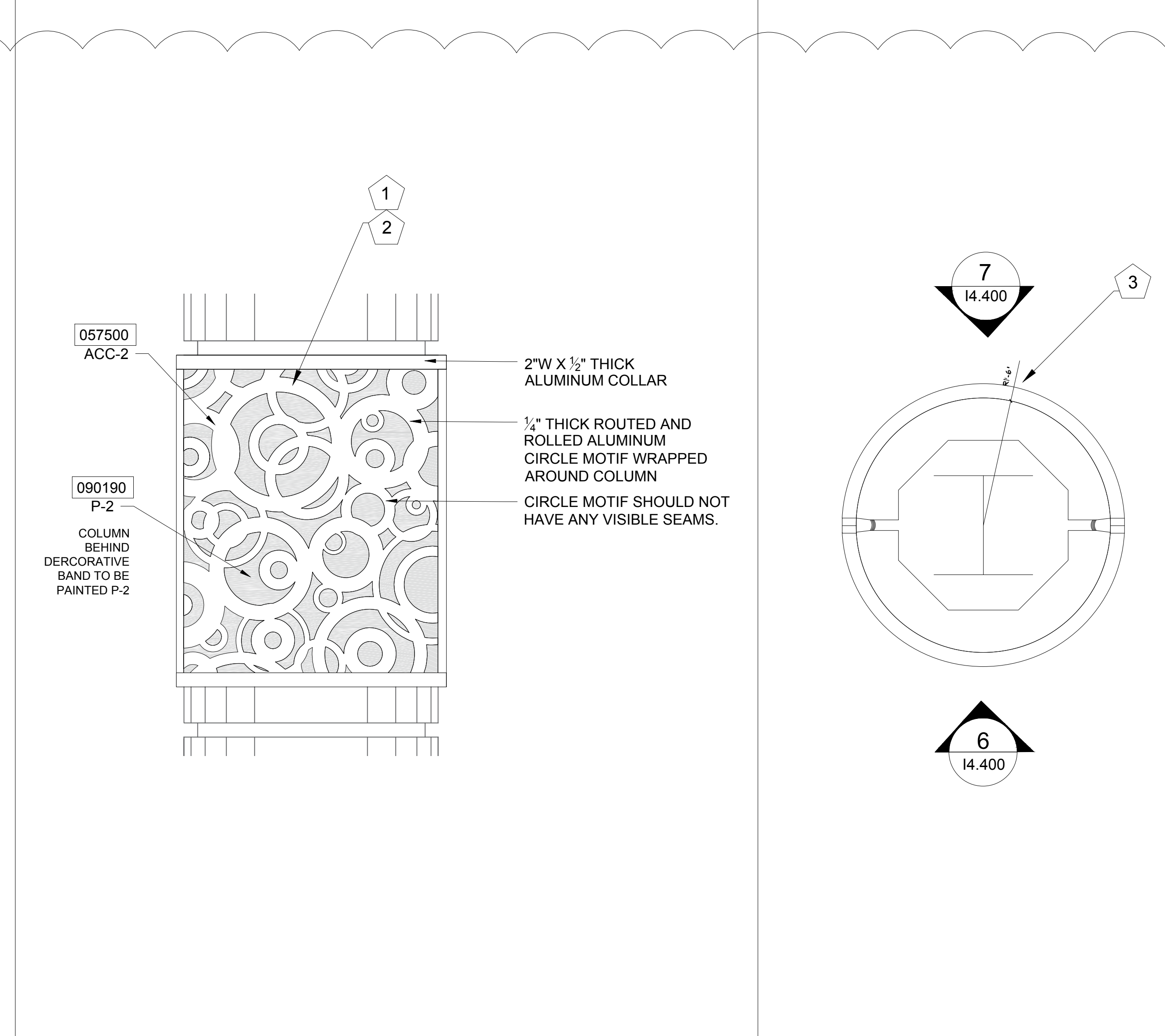
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1 FLOOR PLAN - AREA 'B'

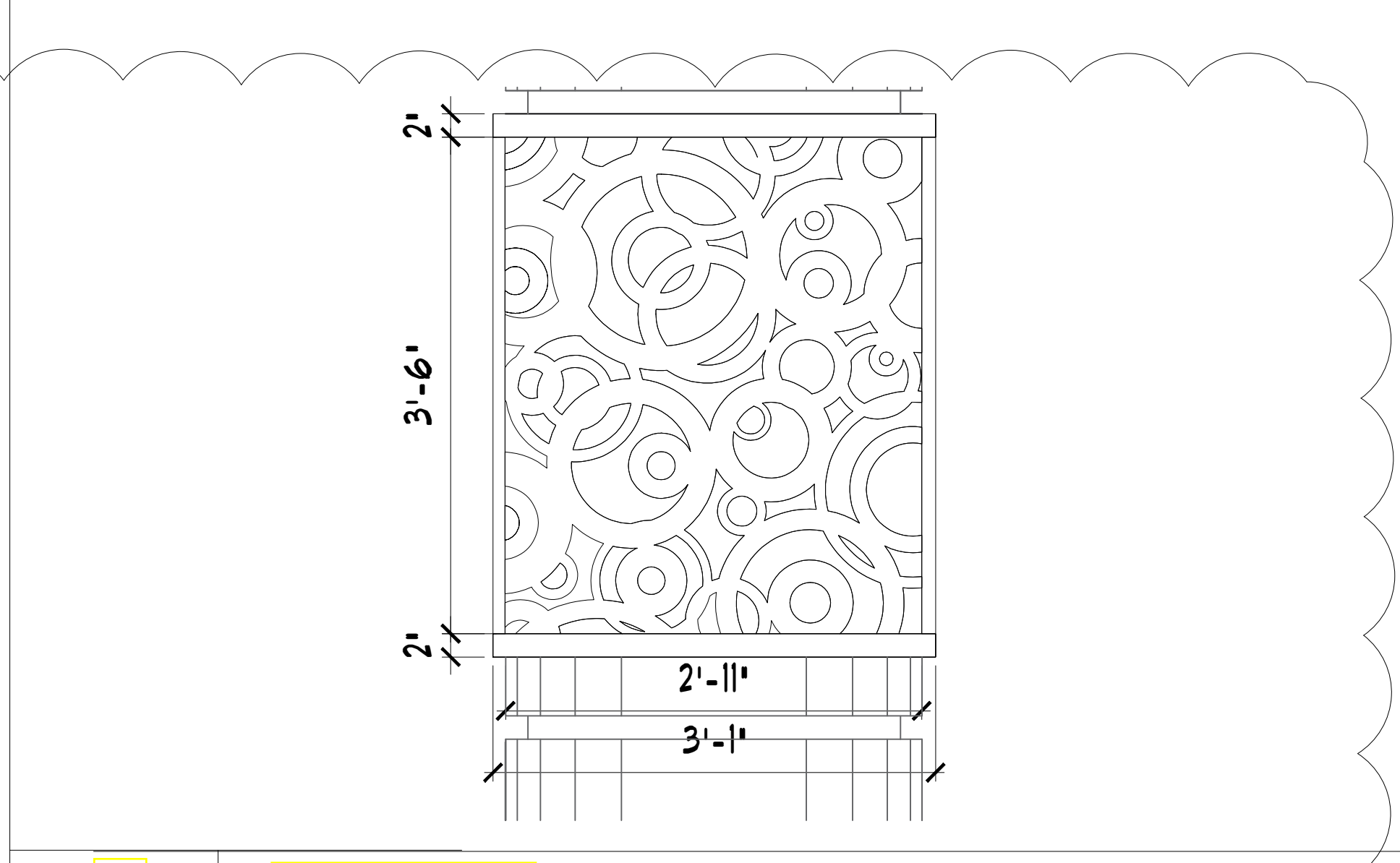
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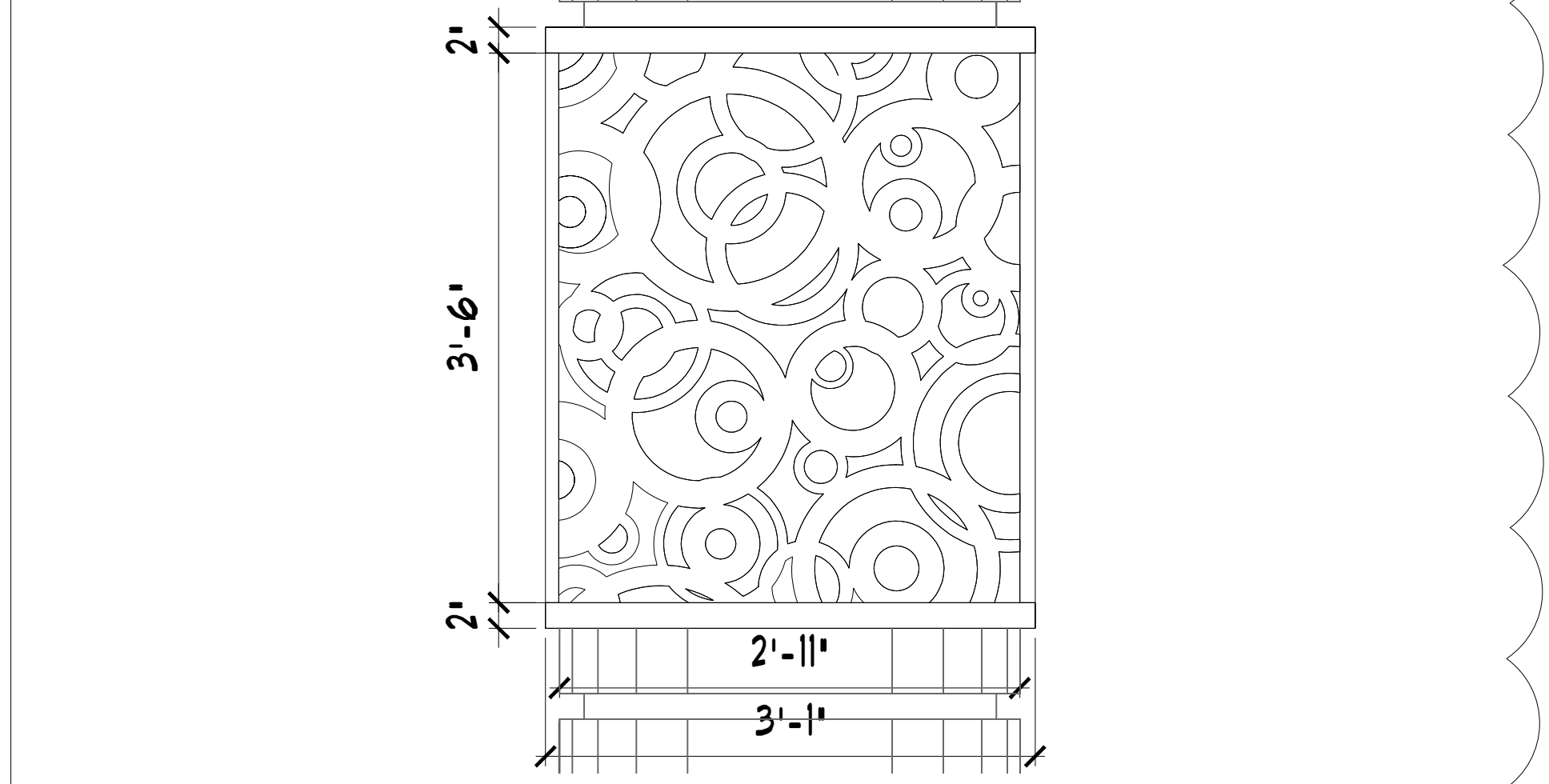
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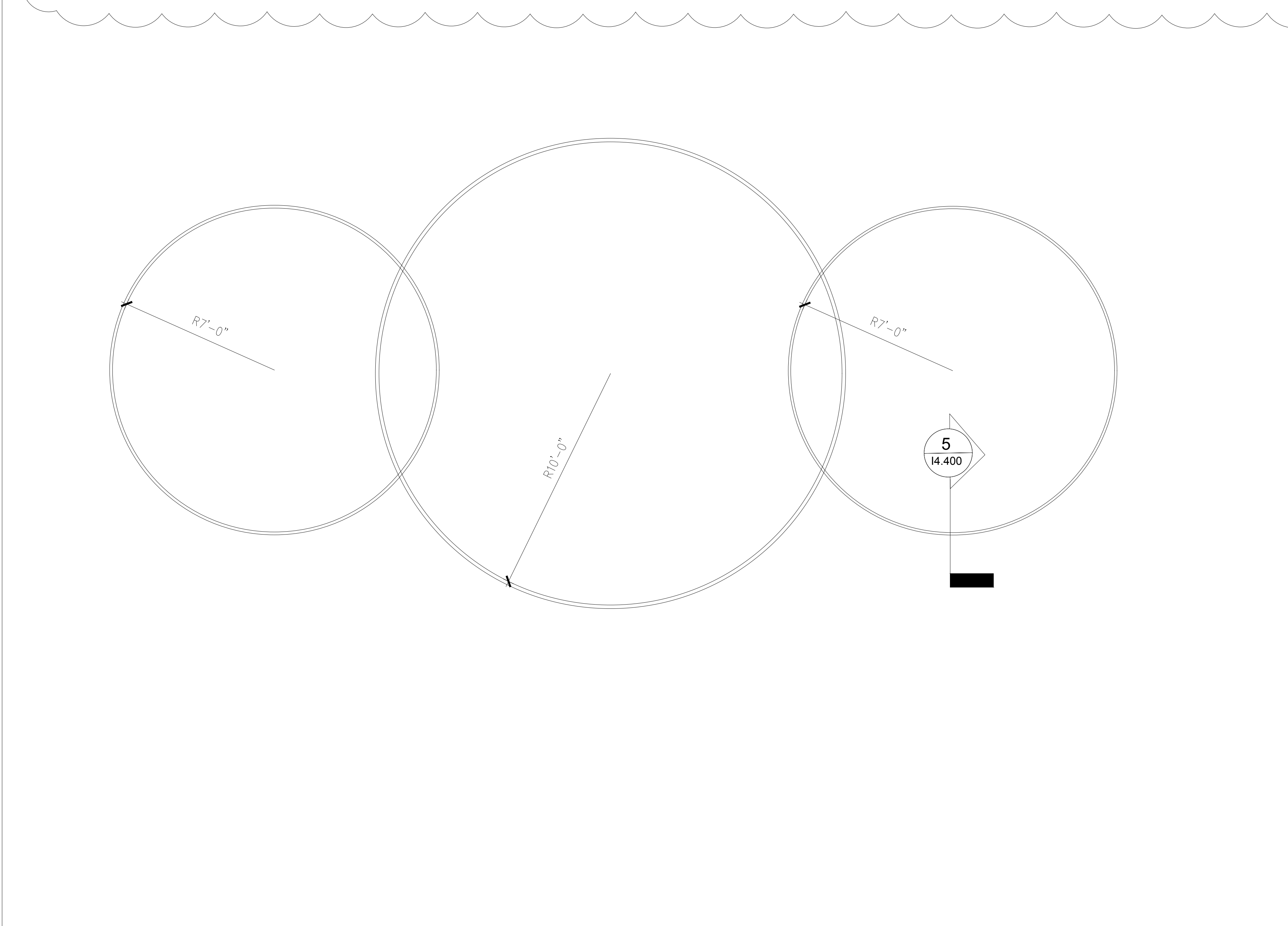
2 ENLARGED DETAIL
1/2" = 1'-0"



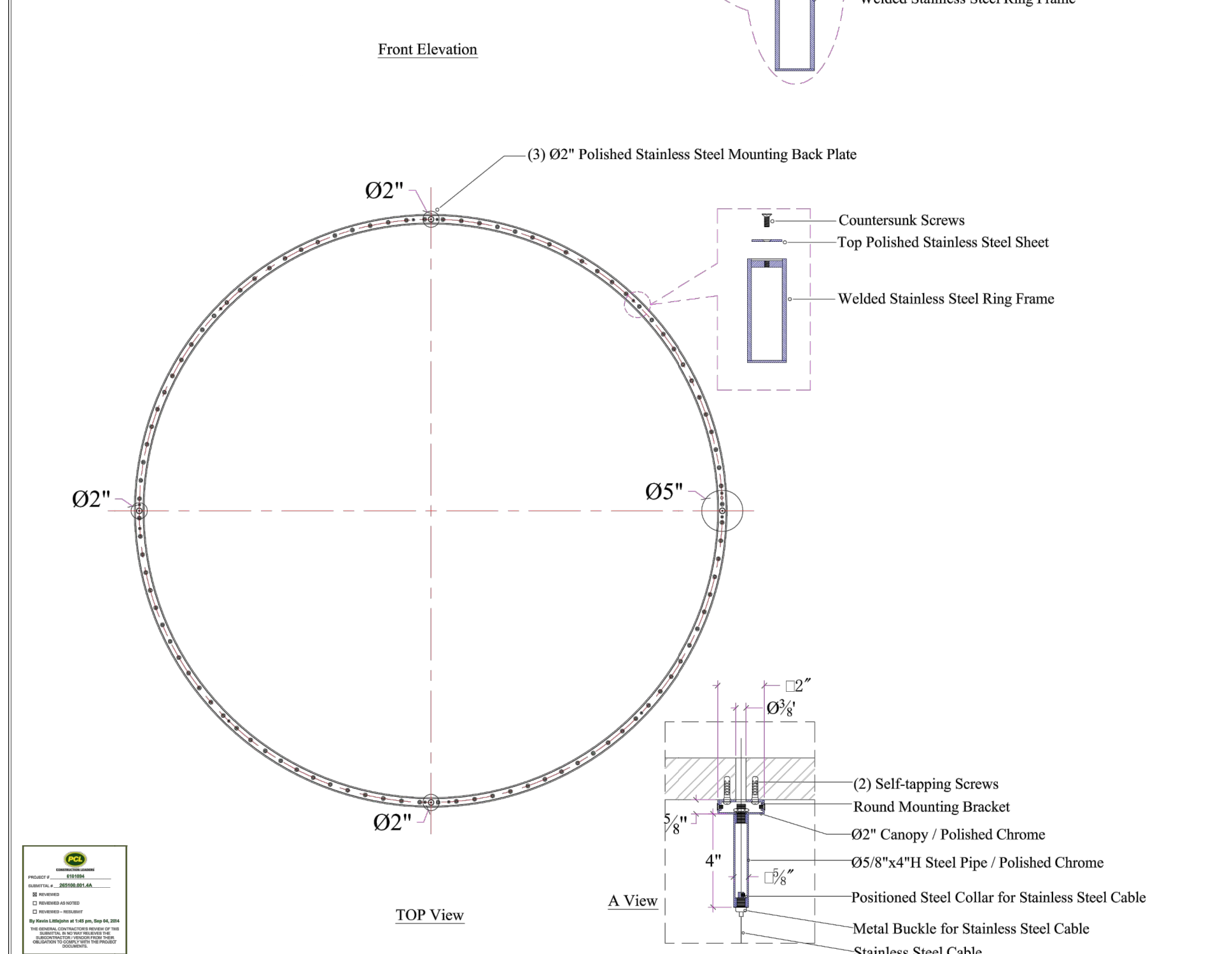
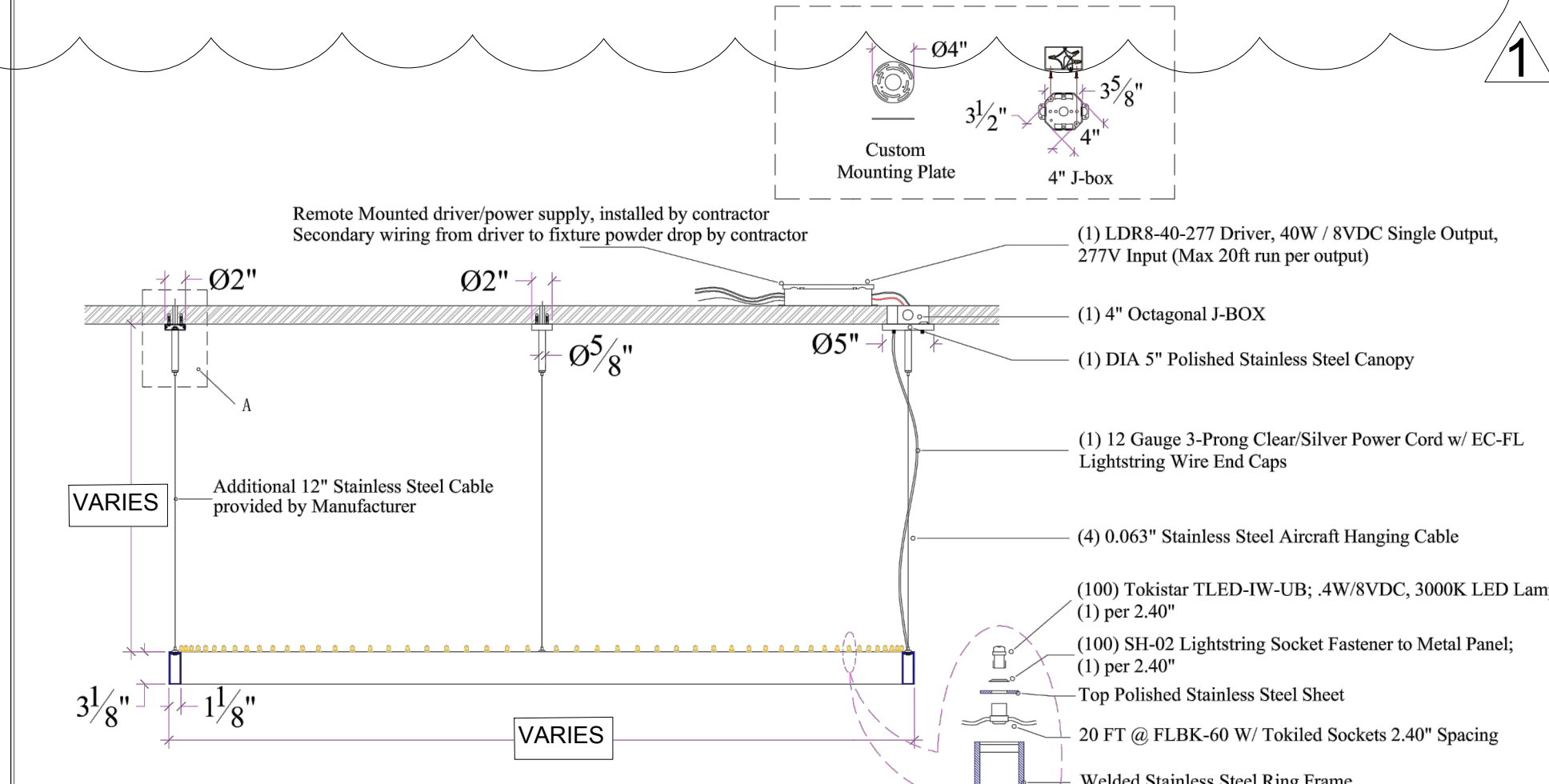
6 ELEVATION
1/2" = 1'-0"



7 ELEVATION
1/2" = 1'-0"



4 ENLARGED LED RING LIGHT
3/8" = 1'-0"



OAD	96 x 18 1/2"	PROJECT:	Orange County Convention Center, Florida	DRAWING NUMBER:	L2-6	DATE:	2014.08.15	DWG BY:	G
WEIGHT	12lb	ITEM:	Custom Pendant Light Fixture	FINISHES	Polished Stainless Steel	REV.	DATE	CHKD BY:	
MOUNTING	N/A	FITTING	Polished Stainless Steel	SHADE	A	2014.08.25	SCALE: NTS		
VOLTAGE	277V	DIFFUSER	-	SIZE	B		UNITS	in	
WATTAGE	40 W	ACCENT	-	LETTER	C		SIZE	LETTER	
BALLAST TYPE 1	na	ACCENT	-	SHEET	D		1 OF 1		
BALLAST TYPE 2	na	ACCENT	-	LINEAR DIMENSIONS	E		TOLERANCE		
BULB TYPE 1	na	ACCENT	-	ANGULAR SIZE	F				
BULB TYPE 2	na								
BULB TYPE 3	na								

5 LED RING LIGHT DETAIL
OWNER PROVIDED, CONTRACTOR INSTALLED

KEY NOTES:

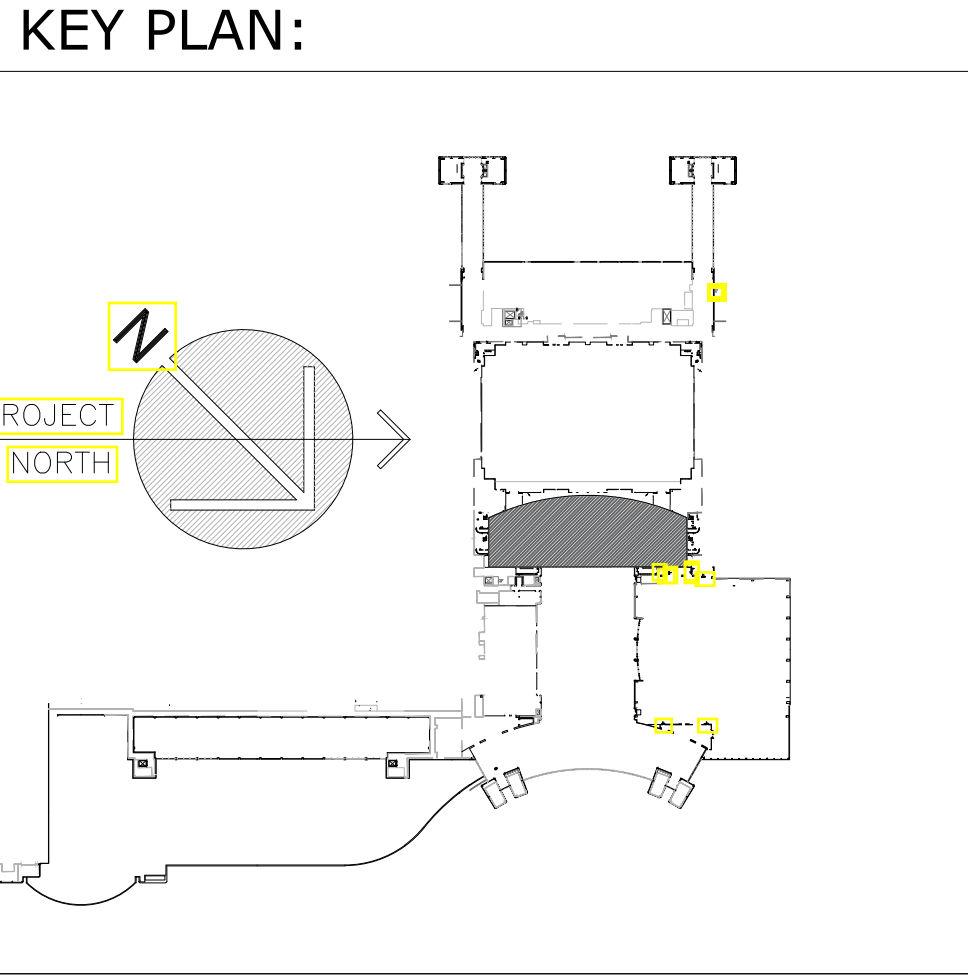
055813	COLUMN COVERS
057500	DECORATIVE FORMED METAL
092760	GLASS FIBER REINFORCED PLASTER FABRICATIONS
092730	GLASS FIBER REINFORCED PLASTER FABRICATIONS
092900	WARRANTY REPAIRING
092600	CEILING SYSTEMS
092123	CEILING PATTERNS
099123	INTERIOR PAINTING

NOTES:

- A TABLOID SIZE (11X17) BLACK & WHITE, TWO SIDED PAPER MOCK-UP, TAPED IN APPROXIMATE POSITION, IS REQUIRED FOR DECORATIVE COLUMN BANDS.
- THIS DRAWING EXPRESSES THE VISUAL DESIGN INTENT ONLY. FINAL ENGINEERING, MATERIALS AND FABRICATION DETAILS REMAIN THE SOLE RESPONSIBILITY OF THE VENDOR.
- TAKE FIELD MEASUREMENTS IN ORDER TO ENSURE PROPER FITTING AROUND EXISTING COLUMNS.

LEGEND:

	ELEVATION MARKER
	SECTION CUT
	ENLARGED DETAIL



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PROJECT
Orange County Convention Center
VALENCIA PRE-FUNCTION AREA UPGRADE
9800 INTERNATIONAL DRIVE
Orlando, FL 32819

SEAL

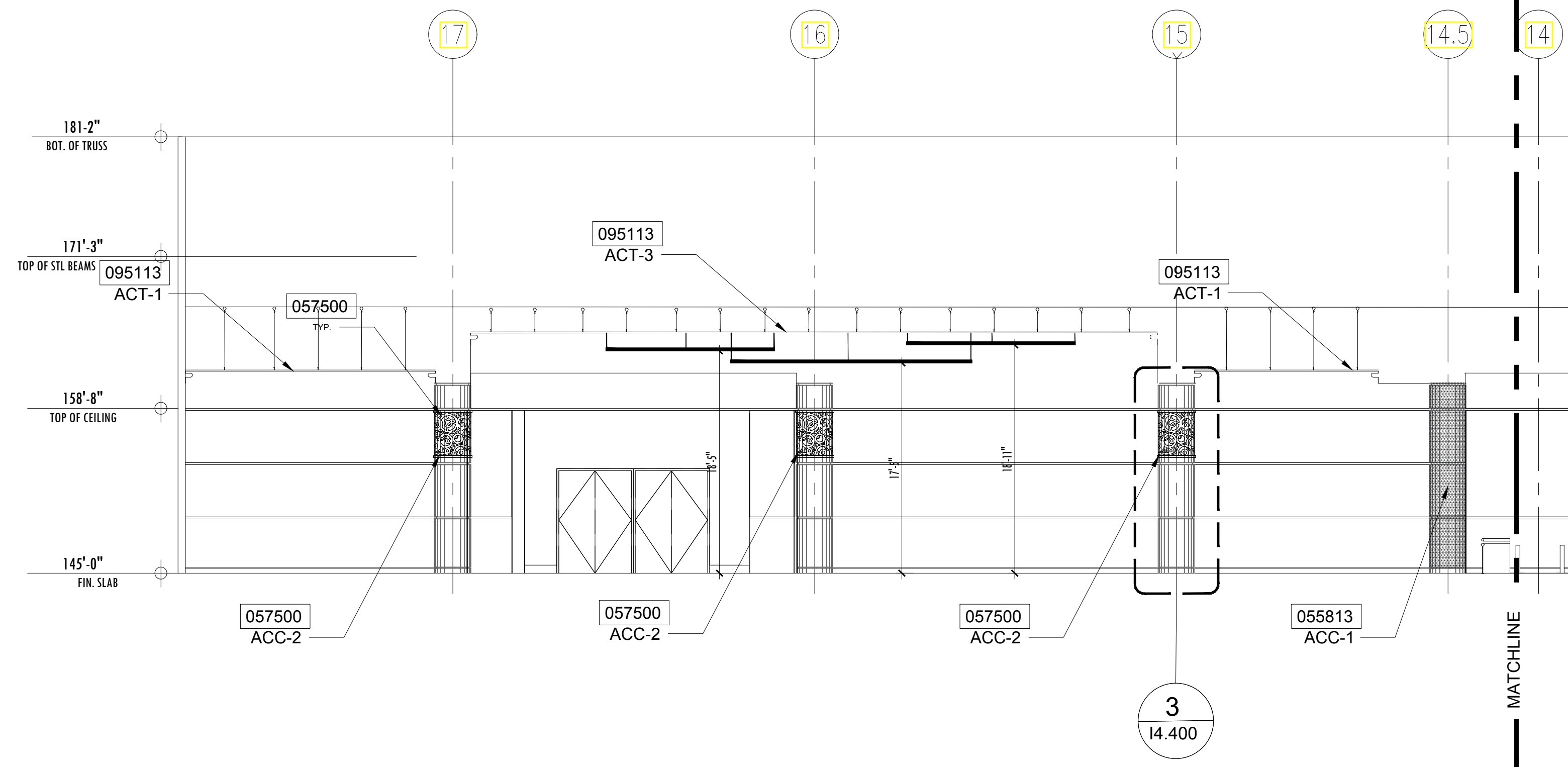
Jennifer Nichols Kennedy
Florida Registered Interior Designer
FL ID #3031

ISSUED FOR
100% BID DOCUMENTS
REVISED DRAWING ADDENDUM 1

PROJECT INFORMATION
PROJECT NUMBER:
77717
DATE:
03/09/2018
SCALE:
VARIES
DRAWN BY:
KG
CHECKED BY:
JNK

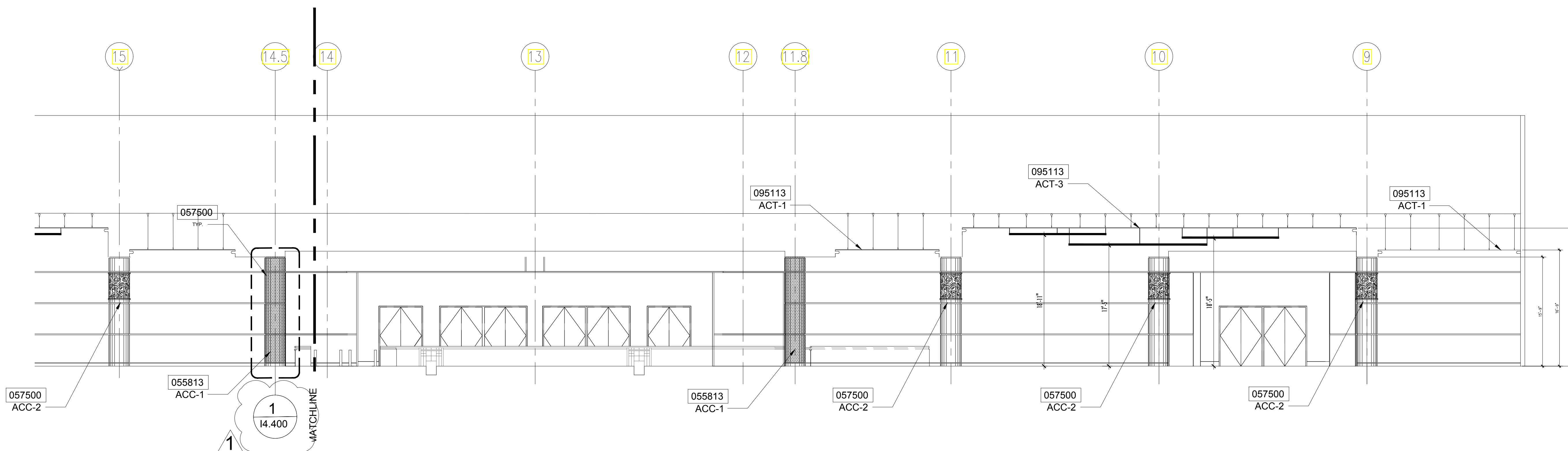
DRAWING NUMBER
ENLARGED DETAILS
14.400

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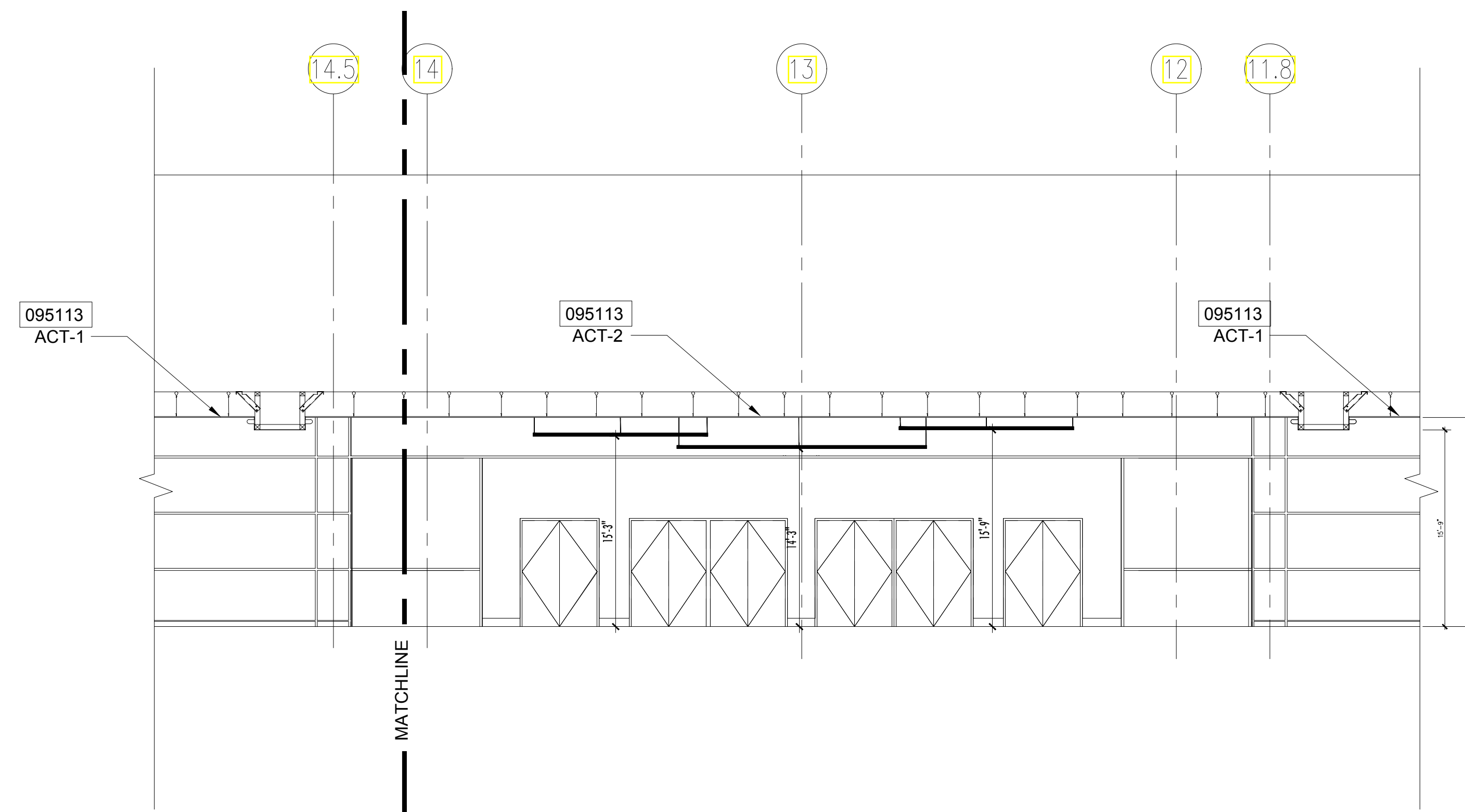
1 SECTION THROUGH PRE-FUNCTION, LOOKING WEST

1/8" = 1'-0"



2 SECTION THROUGH PRE-FUNCTION, LOOKING WEST

1/8" = 1'-0"



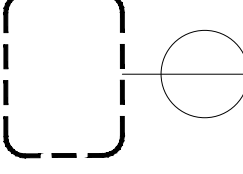
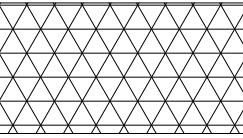
3 SECTION THROUGH PRE-FUNCTION, LOOKING WEST

1/8" = 1'-0"

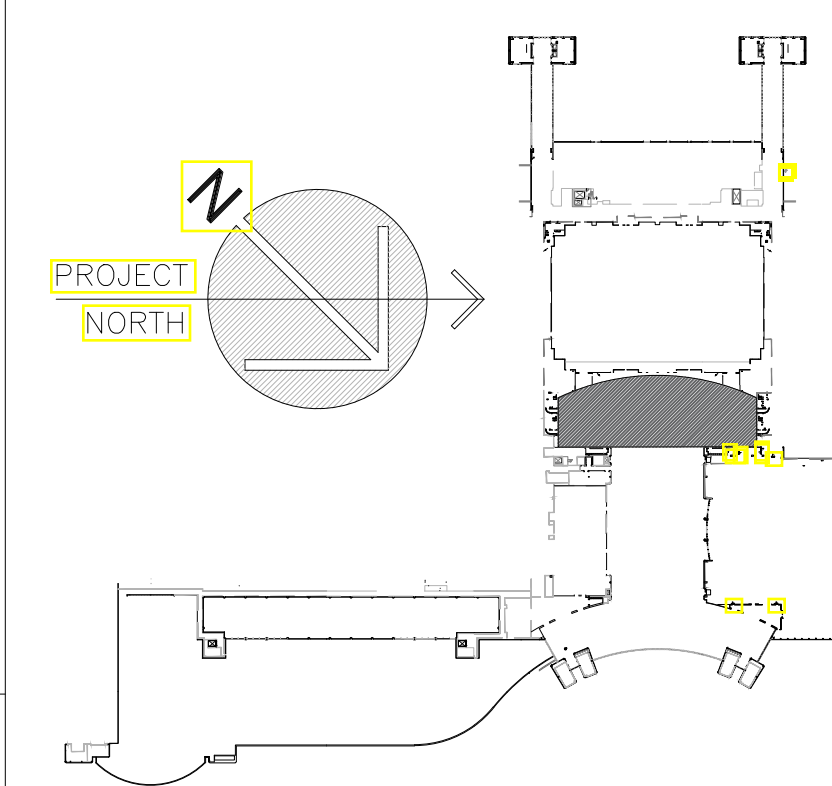
KEY NOTES:

- 055813 COLUMN COVERS
- 057500 DECORATIVE FORMED METAL
- 092713 GLASS FIBER REINFORCED PLASTER FABRICATIONS
- 090190 MAINTENANCE REPAINTING
- 092900 GYPSUM BOARD
- 095113 CEILING SYSTEMS
- 099123 INTERIOR PAINTING

LEGEND:

-  ENLARGED DETAIL
-  COLUMN COVER

KEY PLAN:




PROJECT

Orange County Convention Center
VALENCIA PRE-FUNCTION AREA UPGRADE
 9800 INTERNATIONAL DRIVE
 Orlando, FL 32819

SEAL

Jennifer Nichols Kennedy
 Florida Registered Interior Designer
 FL ID #3031

ISSUED FOR

- 100% BID DOCUMENTS
-  REVISED DRAWING ADDENDUM 1

PROJECT INFORMATION

PROJECT NUMBER:
77717
DATE:
03/09/2018
SCALE:
1/8"=1'-0"
DRAWN BY:
KG
CHECKED BY:
JNK

DRAWING NUMBER

SECTIONS

16.400

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205 E. Central Blvd.
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 Orlando, FL 32801
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 Fax 407.644.0445
 www.tjngpartners.com

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FINISH CODE SCHEDULE

ACCESSORIES CODE SCHEDULE

DESCRIPTION								
REV No.	CODE	MFR	MFR NO.	MATERIAL	COLOR/FINISH	SIZE	FLAME SPREAD	REMARKS
	ACC-1	Not Used						
	ACC-2	Custom	Custom	Aluminum	Satin Finish	4' h x 3' dia	Class 1	Decorative Circle Motif Column Embellishment

CEILING CODE SCHEDULE

DESCRIPTION							SUSPENSION SYSTEM			
REV No.	CODE	MFR	MFR NO.	TYPE	COLOR	SIZE	FLAME SPREAD	TYPE	COLOR	REMARKS
	ACT-1	Armstrong	3256PB Fiberglass Panel	Optima Tegular	White	48" x 48" x 1"	Class A	Suprafine 9/16"	Platinum (PL)	Note: Plant Based Binders
	ACT-2	Armstrong	6481 W1 Bamboo Panel	Wood works Tegular	Bamboo Custom Stain	24" x 72" x 3/4"	Class A	Suprafine 9/16"	Platinum (PL)	Unperforated W1 Custom Stain to match sample provided by Interior Designer
	ACT-3	Armstrong	77210 M16 Metal Panel	Metalworks Torsion Spring	Lacquer Mill	48" x 24" x 1.25"	Class A	Prelude XL 5/16"	Silver	Perforated M16, W5823 Bioacoustical Infill Panel

PAINT CODE SCHEDULE

REV No.	CODE	MFR	COLOR NUMBER	COLOR	TYPE	SHEEN	REMARKS
	P-1	Sherwin-Williams	SW7531	Canvas Tan	Alkyd Enamel	Egg-Shell	Soffits
	P-2	Sherwin-Williams	SW7025	Backdrop	Alkyd Enamel	Egg-Shell	Top of Columns Behind Circle Motif Embellishment, Metal Railings at Escalator
	P-3	Sherwin-Williams	SW7069	Iron Ore	Alkyd Enamel	Satin	Pre-Cast Base at Escalator
	P-4	Sherwin-Williams	SW7006	Extra White	Alkyd Enamel	Egg-Shell	Sprinkler Heads and Ceiling-Mounted Speakers to be Factory Painted to Match P-4 for Locations Adjacent to ACT-1
	P-5	Sherwin-Williams	SW6002	Essential Gray	Alkyd Enamel	Egg-Shell	Sprinkler Heads and Ceiling-Mounted Speakers to be Factory Painted to Match P-5 for Locations Adjacent to ACT-3
	P-6	Sherwin-Williams	SW9100	Umber Rust	Alkyd Enamel	Egg-Shell	Sprinkler Heads and Ceiling-Mounted Speakers to be Factory Painted to Match P-6 for Locations Adjacent to ACT-2

- THE CONTRACTOR SHALL NOTIFY THE INTERIOR DESIGNER IMMEDIATELY IF INFORMATION IS NOT SHOWN ON THE DRAWINGS OR IS UNCLEAR.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK AND REPORT ANY DISCREPANCIES IN WRITING TO THE INTERIOR DESIGNER. ANY WORK INSTALLED IN CONFLICT WITH THE INTERIOR DESIGN DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE.
- CEILING HEIGHT DIMENSIONS ARE FOR REFERENCE ONLY, ALL CEILING HEIGHTS TO REMAIN AS EXISTING UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SECURITY OF THE CONSTRUCTION SITE WHILE WORK IS IN PROGRESS, UNTIL WORK IS COMPLETE
- IF HAZARDOUS MATERIALS ARE FOUND, ALL WORK SHALL CEASE. THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY TO DETERMINE THE APPROPRIATE NEXT STEPS FOR REMOVAL.
- THE CONTRACTOR SHALL COORDINATE WITH OCCC STAFF TO DETERMINE IF FIRE ALARM SYSTEMS ARE TO BE SHUT DOWN OR PROTECTED DURING WORK.
- ALL SPRINKLER HEADS SHALL BE COVERED TO PROTECT THEM FROM CONSTRUCTION DUST AND PAINT DURING THE PROJECT.
- ALL MECHANICAL DEVICES SHALL BE COVERED AND SECURED DURING THE DEMOLITION AND INSTALLATION OF NEW CEILING SYSTEMS.
- ALL SMOKE DETECTORS SHALL BE COVERED TO PROTECT THEM FROM CONSTRUCTION DUST AND PAINT DURING THE PROJECT AND MUST BE TESTED AND SHOWN TO BE IN GOOD WORKING ORDER UPON COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL REMOVE ALL SPEAKERS, WIRELESS ACCESS POINTS AND OTHER CEILING MOUNTED DEVICES AND COORDINATE WITH OCCC STAFF FOR RE-INSTALLATION OR INSTALLATION OF NEW DEVICES.
- CONTRACTOR SHALL PROVIDE DUST BARRIERS DURING CONSTRUCTION, AT MINIMUM, FLOOR-TO-CEILING SEALED PLASTIC PERIMETER.
- CONTRACTOR SHALL PROVIDE FLOOR PROTECTION DURING CONSTRUCTION; 1/4" MASONITE, TAPED TOGETHER.
- JOB SITE MUST BE "SHOW READY" DURING NON-WORK DAYS. THIS INCLUDES REMOVAL OF ALL CONSTRUCTION MATERIALS, EQUIPMENT AND PROTECTION.

DEMOLITION NOTES:

- ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS SHALL BE KEPT IN A "BROOM CLEAN" CONDITION DAILY.
- THE GENERAL CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THIS DEMOLITION AND SHALL REPAIR, AT THEIR COST, ADJACENT CONDITIONS WHICH ARE DAMAGED AS A RESULT OF THIS DEMOLITION.
- THE GENERAL CONTRACTOR SHALL PROTECT ALL ADJACENT FINISHES THAT SHALL REMAIN FROM DAMAGE DURING DEMOTION AND CONSTRUCTION.
- PRIOR TO START OF DEMOLITION, CONTRACTOR SHALL COORDINATE WITH OWNER TO REMOVE ALL FF&E, INCLUDING, BUT NOT LIMITED TO PLANTS, PLANTERS, TRASH RECEPTACLES, FURNITURE, ARTWORK, SCULPTURE
- THE GENERAL CONTRACTOR SHALL PROTECT ALL ADJACENT FINISHES THAT SHALL REMAIN. FROM DAMAGE DURING DEMOTION AND CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE DEMOLITION WORK.
- THE CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER PRIOR TO START OF ANY DEMOLITION TO REVIEW SPECIAL PROCEDURES, PARKING, BADGING, SECURITY AND ANY OTHER PROCESSES REQUIRED.
- ALL CEILING TILE AND GRID TO BE DEMOLISHED EXCEPT IN AREAS SHADED GRAY INDICATED TO BE "NIC".
- ALL EXISTING DRYWALL SOFFITS SHALL REMAIN UNLESS OTHERWISE NOTED
- DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE LOCAL BUILDING CODES.

KEY NOTES:

055813	COLUMN COVERS
057500	DECORATIVE FORMED METAL
092713	GLASS FIBER REINFORCED PLASTER FABRICATIONS
090190	MAINTENANCE REPAINTING
092900	GYPSUM BOARD
095113	CEILING SYSTEMS
099123	INTERIOR PAINTING

ABBREVIATIONS :

ACC	ACCESSORIES
ACT	ACOUSTICAL CEILING TILE
P	INTERIOR PAINT
GB	GYPSUM BOARD
GFRP	GLASS FIBER RENFORCED PLASTER



18 0001073

PROJECT

Orange County Convention Center
VALENCIA PRE-FUNCTION AREA UPGRADE
 9800 INTERNATIONAL DRIVE
 Orlando, FL 32819

SEAL

Jennifer Nichols Kennedy
 Florida Registered Interior Designer
 FL ID #5031

ISSUED FOR

100% BID DOCUMENTS

1 REVISED DRAWING ADDENDUM 1

PROJECT INFORMATION

PROJECT NUMBER:

77717

DATE:

03/09/2018

SCALE:

NTS

DRAWN BY:

KG

CHECKED BY:

JNK

DRAWING NUMBER

FINISH SCHEDULE
AND NOTES

18.400

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1 FINISH SCHEDULE AND NOTES

NTS