OCTOBER 10, 2017 BOARD OF COUNTY COMMISSIONERS ORANGE COUNTY, FLORIDA ADDENDUM NO. 1 / IFB NO. Y18-708-CC ANIMAL SERVICES - INTERACTIVE YARDS

BID OPENING DATE: October 19, 2017

This addendum is hereby incorporated into the bid documents of the project referenced above. The following items are clarifications, corrections, additions, deletions and/or revisions to, and shall take precedence over, the original documents. <u>Underlining</u> indicates additions, deletions are indicated by <u>strikethrough</u>.

- A. The bid opening date remains October 19, 2017 at 2:00 p.m.
- B. Questions, Answers, Clarifications:
 - 1. **Clarification**: On page A-100, on the north side of the project, the fence is shown going on the south side of the sidewalk and butting into the existing chain-link fence. On page C-201, it is shown crossing the sidewalk and tying into a wall. Please confirm which way the fence is supposed to go.

Answer: The correct fence alignment at the north end is to be as shown on attached revised plan sheet A-100.

2. **Clarification**: Arch Sheet A100 shows fence by existing gas meter. Civil Sheet C201 shows gate at existing concrete walk. Which is correct?

Answer: The correct fence alignment at the north end is to be as shown on attached revised plan sheet A-100.

3. **Clarification:** On page C-401, detail 5 it states to see the Landscape plans. Also the bid documents state there are some shade trees. I did not see any landscape plans or trees shown in the drawings.

Answer: Reference on sheet C-401 to refer to attached revised sheet A-100.

4. **Clarification**: Civil Sheet C002 Note 10 – will this be done through change orders once encountered or an allowance in the bid for items that the "contractor shall verify site condition?"

Answer: Bidders shall verify site conditions prior to bidding. Any unforeseen conditions will be addressed when/if they arise.

5. **Clarification:** The spec book states that the owner is to furnish the sail shade material, and we the contractor are to unload, protect, install. Can you please confirm that the Contractor is buying and installing the sail shades?

Answer: The attached Spec Section 01010, Summary of the Work, has been revised to read "There are no owner furnished products for this project."

C. Additions:

Addition: Please see attached new Spec Section 329202, Artificial Pet Turf.

D. ACKNOWLEDGEMENT OF ADDENDA

- a. The Bidder/Proposer shall acknowledge receipt of this addendum by completing the applicable section in the solicitation or by completion of the acknowledgement information on the addendum. Either form of acknowledgement must be completed and returned not later than the date and time for receipt of the bid or proposal.
- b. All other terms and conditions of the IFB remain the same.
- c. Receipt acknowledged by:

Authorized Signature	Date Signed
Title	
Name of Firm	

SECTION 01010 - SUMMARY OF THE WORK

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

A. Section Includes:

- 1. Project information.
- 2. Work covered by Contract Documents.
- 3. Phased construction.
- 4. Work by Owner.
- 5. Work under separate contracts.
- 6. Future work.
- 7. Purchase contracts.
- 8. Owner-furnished products.
- 9. Contractor-furnished, Owner-installed products.
- 10. Access to site.
- 11. Coordination with occupants.
- 12. Work restrictions.
- 13. Specification and drawing conventions.
- 14. Miscellaneous provisions.

B. Related Requirements:

1. Section 015000 "Temporary Facilities and Controls" for limitations and procedures governing temporary use of Owner's facilities.

1.3 PROJECT INFORMATION

- A. Project Identification: Orange County Animal Services Interactive Yard.
 - 1. Project Location: 2769 Conroy Road, Orlando, FL 32839
- B. Owner: Orange County

- 1. Owner's Representative: A.J. Murray Capital Projects Division, Internal Operations Centre II, 400 E. South Street, 5th floor, Orlando, FL 32801
- C. Architect: Borrelli + Partners, 720 Vassar Street, Orlando, FL 32804. Contact: Chris Rice
- D. Architect's Consultants: The Architect has retained the following design professionals who have prepared designated portions of the Contract Documents:
 - 1. Civil Engineer SK Consortium, Inc., 1053 N. Orlando Ave, Suite 3, Maitland, FL 32751. Contact: Majid Kalaghchi (407) 629-4288
- E. Other Owner Consultants: The Owner has retained the following design professionals who have prepared designated portions of the Contract Documents:
 - 1. Superior Recreational Products, 1050 Columbia Drive, Carrollton, GA has prepared the following portions of the Contract Documents:
 - a. Prefabricated shade structure plans and specifications.

1.4 WORK COVERED BY CONTRACT DOCUMENTS

- A. The Work of Project is defined by the Contract Documents and consists of the following:
 - 1. Installation of 4 prefabricated metal post and shade cloth structures on proposed engineered footers, +/-2,700 s.f. of pet quality artificial turf, +/-250 l.f. of 6' high vinyl coated chainlink fence with 9- 4' wide gates, planting of 3 Oak trees, and grading with minimal drainage adjustments.
- B. Type of Contract:
 - 1. Project will be constructed under a single prime contract.

1.5 PHASED CONSTRUCTION

- A. The Work shall be conducted in 1 phase.
 - 1. Phase shall include the installation of the prefabricated metal pavilion as noted above. Work of this phase shall commence within 30 days after the Notice to Proceed and be substantially complete and ready for occupancy within 30 days after commencement of construction.
- B. Before commencing, submit an updated copy of Contractor's construction schedule showing the sequence, commencement and completion dates.

1.6 WORK BY OWNER

- A. General: Cooperate fully with Owner so work may be carried out smoothly, without interfering with or delaying work under this Contract or work by Owner. Coordinate the Work of this Contract with work performed by Owner.
- B. Subsequent Work: Owner will perform the following additional work at site after Substantial Completion. Completion of that work will depend on successful completion of preparatory work under this Contract.

1.7 OWNER-FURNISHED PRODUCTS

- A. Owner will furnish products indicated. The Work includes receiving, unloading, handling, storing, protecting, and installing Owner-furnished products and making building services connections.
- B. Owner-Furnished Products:
 - 1. There are no owner furnished products for this project.

1.8 ACCESS TO SITE

- A. General: Contractor shall have full use of Project site for construction operations during construction period. Contractor's use of Project site is limited only by Owner's right to perform work or to retain other contractors on portions of Project.
- B. General: Contractor shall have limited use of Project site for construction operations as indicated on Drawings by the Contract limits and as indicated by requirements of this Section.
- C. Use of Site: Limit use of Project site to areas within the Contract limits indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
 - 1. Limits: Confine construction operations to open space within project limits on plans and to limits of connections of utilities to existing structures.
 - 2. Limits: Limit site disturbance, including earthwork and clearing of vegetation, to 20 feet beyond new shade structure perimeter; 10 feet (3 m) beyond surface walkways, patios, surface parking, and utilities less than 12 inches (300 mm) in diameter; 15 feet (4.5 m) beyond primary roadway curbs and main utility branch trenches; and 25 feet (7.6 m) beyond constructed areas with permeable surfaces (such as pervious paving areas, stormwater detention facilities, and playing fields) that require

- additional staging areas in order to limit compaction in the constructed area.
- 3. Driveways, Walkways and Entrances: Keep driveways, loading areas, and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials.
 - a. Schedule deliveries to minimize use of driveways and entrances by construction operations.
 - b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.
- D. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.

1.9 COORDINATION WITH OCCUPANTS

- A. Full Owner Occupancy: Owner will occupy site adjacent building(s) during entire construction period. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated.
 - 1. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and approval of authorities having jurisdiction.
 - 2. Notify Owner not less 72 hours in advance of activities that will affect Owner's operations.
- B. Partial Owner Occupancy: Owner will occupy the premises during entire construction period, with the exception of areas under construction. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's operations. Maintain existing exits unless otherwise indicated.
 - 1. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and authorities having jurisdiction.
 - 2. Provide not less than 72 hours' notice to Owner of activities that will affect Owner's operations.
- C. Owner Limited Occupancy of Completed Areas of Construction: Owner reserves the right to occupy and to place and install equipment in completed

portions of the Work, prior to Substantial Completion of the Work, provided such occupancy does not interfere with completion of the Work. Such placement of equipment and limited occupancy shall not constitute acceptance of the total Work.

- Architect will prepare a Certificate of Substantial Completion for each specific portion of the Work to be occupied prior to Owner acceptance of the completed Work.
- 2. Obtain a Certificate of Occupancy from authorities having jurisdiction before limited Owner occupancy.
- 3. Before limited Owner occupancy, mechanical and electrical systems shall be fully operational, and required tests and inspections shall be successfully completed. On occupancy, Owner will operate and maintain mechanical and electrical systems serving occupied portions of Work.
- 4. On occupancy, Owner will assume responsibility for maintenance and custodial service for occupied portions of Work.

1.10 WORK RESTRICTIONS

- A. Work Restrictions, General: Comply with restrictions on construction operations.
 - 1. Comply with limitations on use of public streets and with other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Limit work in the existing building to normal business working hours of 7:00 a.m. to 7:00 p.m., Monday through Friday, unless otherwise indicated.
 - 1. Weekend Hours: With prior approval from Owner.
 - 2. Early Morning Hours: With prior approval from Owner.
 - 3. Hours for Utility Shutdowns: Coordinate with Owner.
- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated:
 - 1. Notify Architect, Construction Manager, and Owner not less than 3 days in advance of proposed utility interruptions.
 - 2. Obtain Owner's written permission before proceeding with utility interruptions.
- D. Noise, Vibration, and Odors: Coordinate operations that may result in high levels of noise and vibration, odors, or other disruption to Owner occupancy with Owner.

- 1. Notify Architect, Construction Manager, Owner not less than 3 days in advance of proposed disruptive operations.
- 2. Obtain Owner's written permission before proceeding with disruptive operations.
- E. Nonsmoking Building: Smoking is not permitted within the building or within 25 feet (8 m) of entrances, operable windows, or outdoor-air intakes.
- F. Controlled Substances: Use of tobacco products and other controlled substances on Project site is not permitted.
- G. Employee Identification: Contractor to provide identification tags for all personnel working on Project site. Require personnel to use identification tags at all times.
- H. Employee Screening: Comply with Owner's requirements for background screening of Contractor personnel working on Project site.
 - 1. Maintain list of approved screened personnel with Owner's representative.

1.11 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 - 1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
 - 2. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of all Sections in the Specifications.
- C. Drawing Coordination: Requirements for materials and products identified on Drawings are described in detail in the Specifications. One or more of the following are used on Drawings to identify materials and products:
 - 1. Terminology: Materials and products are identified by the typical generic terms used in the individual Specifications Sections.
 - 2. Abbreviations: Materials and products are identified by abbreviations published as part of the U.S. National CAD Standard and scheduled on Drawings.
 - 3. Keynoting: Materials and products are identified by reference keynotes referencing Specification Section numbers found in this Project Manual.

SECTION 01010 SUMMARY OF THE WORK

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 011000

SECTION 329202 – ARTIFICIAL TURF – PETS

PART 1. GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and general provisions of Contract apply to work of this Section.

1.2 DESCRIPTION OF WORK

- A. The contractor shall provide all labor, materials, equipment and tools necessary for the complete installation of an artificial turf system for dogs with stable draining base. The complete system shall consist of, but not limited to, the following;
 - 1. Area of construction with the extent of artificial turf work as shown on drawings.
 - 2. Subgrade, sub-base, and drainage construction as specified in Section 2 and Section 3 of this specification.
 - Quality artificial turf product manufactured in the USA according to the specifications in section 2 of this specification. The product shall be a tufted turf or knitted product and contain an antimicrobial agent while meeting or exceeding all guidelines as established here in.
 - 4. The artificial turf surface shall be specifically designed, manufactured, and installed for the intended use as a commercial / high use dog surfacing solution.
 - 5. Plastic perimeter boards (typically 2" x 4" set vertically) are to surround entire perimeter areas and any penetrating objects needed within the turf area limits for anchoring the turf. The top edge of the surface is to be a minimum of ½" below any adjacent solid surfaces where there could be foot traffic.
 - 6. Stainless steel staples, 1" in length, are to be used to anchor the artificial turf to the perimeter boards.

1.3 DEFINITIONS

- A. Excavation consists of removal of material encountered to subgrade elevations indicated and subsequent disposal of materials removed.
- B. Unauthorized excavation consists of removal of materials beyond indicated subgrade elevations or dimensions without specific direction of Engineer. Unauthorized excavation, as well as remedial work directed by Engineer, shall be at Contractor's expense.
 - Under footings, foundation bases, or retaining walls, fill unauthorized excavation by extending indicated bottom elevation of footing or base to excavation bottom, without altering required top elevation. Lean concrete fill may be used to bring elevations to proper position, when acceptable to Engineer.
 - 2. In locations other than those above, backfill and compact unauthorized excavations as specified for authorized excavations of same classification, unless otherwise directed by Engineer.
- C. Artificial Pet Turf consists of a synthetic grass surface which is tufted or knitted and contains an antimicrobial agent.

- D. Subgrade: The undisturbed earth or the compacted soil layer immediately below granular subbase, drainage fill, or topsoil materials.
- E. Structure: Buildings, foundations, slabs, tanks, curbs, or other man-made stationary features occurring above or below ground surface.
- F. Sub-base: The compacted 3/4" minus concrete fines between the subgrade and the artificial turf.

1.4 SUBMITTALS

- A. Product data: Submit manufacturer's technical data, and installation instructions for full artificial turf system.
- B. Artificial turf vendor must submit the following to the owner and owner's representative with the official bid package:
 - 1. One (1) copy of the most recent installation reference list of projects of similar scope to this project completed within the last 5 years.
 - 2. One (1) 12" x 12" loose sample of proposed artificial turf product.
 - 3. One (1) typical product warranty for proposed turf product.
 - One (1) copy of manufacturer's maintenance instructions. These instructions are to include all necessary instructions for the proper care and maintenance for the newly installed turf.
 - 5. One (1) copy of edge details of proposed installation and terminations of artificial turf.
 - 6. One (1) copy of a signed letter from the artificial turf manufacturer stating that the product is made in the USA.
 - 7. One (1) copy (if requested) of independent laboratory test reports on system and components.
 - 8. Recommend there is drainage / water permeability test of sub-base.

1.5 QUALITY ASSURANCE

- B. Artificial turf vendor shall provide ongoing service quality assurance and warranty consisting of, but not limited to, the following:
 - 1. Artificial turf vendor must provide qualified installation foreman to coordinate and review the component parts of the turf installation. The artificial turf vendor shall also provide competent workmen skilled in this type of dog surface installation.
 - The artificial turf vendor/installer must have a minimum of 7 successfully completed dog surface installations (2,500 s.f. or larger) where a tufted or knitted synthetic turf surface was installed.
 - 3. The installer must be proficient in all aspects of artificial turf installation including, but not limited to, attachment of seams, proper trimming, and border attaching techniques.
 - 4. The artificial turf vendor / installer shall submit manufacturer's warranty to warrant the artificial turf product.

- 1. Provide warranty coverage of turf for a minimum ten (10) years from date of substantial completion.
- 2. Warrant that the materials installed meet or exceed the product specifications.
- Warranty to be from a single source (certified by manufacturer) covering workmanship and all materials.
- 4. Assure the availability of exact or substantially the same replacement materials for the artificial turf system for the full warranty period.
- 5. Include general wear and damage caused by UV degredation. The warranty may specifically exclude vandalism and Acts of God beyond the control of the manufacturer and/or installer.

PART 2. PRODUCTS

2.1 GENERAL

- A. Artificial Turf Manufacturer's performance requirements to include but not be limited to;
 - 1. Assurances that the turf will hold up to heavy impact from dogs.
 - 2. Withstand the full climatic exposure.
 - 3. Be resistant to insect infestation, rot, fungus, mold and mildew.
 - Artificial Turf to also be able to withstand ultra-violet rays, extreme heat and allow for the free flow of water vertically through the surface into the sub-base and drainage system.
- B. Artificial Turf minimum requirements
 - 1. Pile weight: minimum 60 oz/sy
 - 2. Face yarn type: Primary Polyethylene; Secondary; heat set textured nylon monofilament containing antimicrobial agent.
 - 3. Fiber mass: 10,000 denier primary, 5500 denier thatch.
 - 4. Yarn count (knitted): Primary 5,000/4; Secondary 4,200/8.
 - 5. Pile height: 1-1/4"
 - 6. Construction: Tufted or Knitted.
 - 7. Antimicrobial protection: AlphaSan or approved equal.
 - 8. Backing: Flow-through knitted backing with light acrylic coating or dual layered polypropylene.
 - 9. Drainage rate: minimum 30" rain per hour.
 - 10. Seaming: turf adhesive.
 - 11. Finished roll width: 15 feet (4.6m).
 - 12. Finished roll length: 150 feet (45.72m).
- C. Sub-base to be 3/4" minus concrete fines compacted to 90% proctor density.
- D. Framing to be 2" x 4" plastic nailer boards set on vertical edge.
- E. Attaching components to board framing to be 1" length by ½" crown stainless steel staples.

PART 3. EXECUTION

3.2 GENERAL

- A. Excavation: Existing groundcover shall be excavated to the depth established on the plans and details. The subgrade shall be compacted to a minimum of 90% proctor density.
- B. Geotextile fabric: Install geotextile filter fabric and attach to subbase utilizing 4" landscape staples.
- B. Initial Sub-base: An initial 2" concrete fines aggregate sub-base shall be installed and leveled and compacted to 90% proctor density.
- C. Plastic nailer board: the artificial turf perimeter fastening structure shall be installed before the remaining drainage aggregate. Install nailer bioard at all perimeter and all penetrating objects. Nailer board shall be flush at natural grade edges and ½" below all hard surfaces (sidewalks). Secure nailer boards in place utilizing with rebar stakes 3' o.c. and 2 stakes at each corner points.
- D. Filter fabric over existing exposed drain inlets.
- F. Remaining Sub-base: Final 4" compactable, free draining concrete fines aggregate base to be installed to be flush with nailer board framing after compaction to 90% proctor density.
- G. Artificial Turf: roll out artificial turf to allow for joining. Join using adhesive bond seaming and reinforced with specialty turf adhesive where necessary. Seams shall be flat, and tight with no separation or fraying. When joining seams; turf pile to lean in same direction as neighboring turf pieces.
- H. Artificial turf attachment: After final layout and seaming of the artificial turf, the turf shall be at a minimum be secured to the top of the perimeter plastic nailer board utilizing 1" stainless steel staples at 1" intervals. If nails or screws are used contractor to provide necessary documentation as to their effectiveness and they must also be made of stainless steel.
- I. Turf infill: Artificial turf to be backfilled with odor controlling natural infill material such as 'Zeofill' or 'Envirofill' at a rate of 1.5-2 pounds per square foot.

3.3 CLOSEOUT

- A. General: The artificial turf vendor must verify that a qualified representative and owner's representative have inspected the installation and that the finished surface conforms to the manufacturer's requirements.
- B. Extra materials: Owner shall be given the option to retain and store excess materials such as excess turf for the project, but not installed.

3.4 CLEAN UP

- A. Contractor shall provide all labor, supplies and equipment necessary for the final cleaning of the surfaces and installed items.
- B. During the contract and at intervals as directed by the owner or owner's representative and as artificial turf system installation is completed, clear the site of all extraneous materials, rubbish, and debris and leave the site in a clean, safe, neat condition.

END OF SECTION

