

November 14, 2014

**BOARD OF COUNTY COMMISSIONERS
ORANGE COUNTY, FLORIDA
ADDENDUM NO. 2 / IFB Y15-721-EZ**

Bid Opening Date: November 25, 2014

**ORANGE COUNTY CLARCONA HORSEMEN'S PARK KITCHEN AND REC BUILDING HVAC
REPLACEMENT**

This Addendum is hereby incorporated into the bid documents of the project referenced above. The following items are clarifications, corrections, additions, deletions and/or revisions to and shall take precedence over the original documents. Additions are indicated by underlining, deletions are indicated by ~~strikethrough~~.

A. The following additions, deletions, and clarifications are provided herewith and incorporated into this IFB:

1. The following drawings, have been revised, with changes noted:
 - a. DRAWING SHEET NO. AD100 – PHOTOS OF EXISTING CONDITIONS
 - (1) Revise photos and hex notes to remove restroom scope from the project.
 - b. DRAWING SHEET NO. AD101 – FLOOR PLAN – DEMOLITION - ARCHITECTURAL
 - (1) Revise Hex Notes 1, 4, and 5.
 - c. DRAWING SHEET NO. AD102 – REFLECTED CEILING PLAN – DEMOLITION – ARCHITECTURAL
 - (1) Revise Hex Notes 1, 4, and 5.
 - (2) Revise notes for demolition of existing ceiling devices.
 - d. DRAWING SHEET NO. AD201 – EXTERIOR ELEVATIONS - DEMOLITION
 - (1) Revise Hex Notes 1, 4, and 5.
 - e. DRAWING SHEET NO. A101 – FLOOR PLAN - RENOVATION - ARCHITECTURAL
 - (1) Revise Hex Notes 1, 4, and 5.
 - f. DRAWING SHEET NO. A102 – REFLECTED CEILING PLAN – RENOVATION - ARCHITECTURAL
 - (1) Revise Hex Notes 1, 4, and 5.
 - (2) Revise notes for demolition of existing ceiling devices.
 - g. DRAWING SHEET NO. A103 – ROOF PLAN – RENOVATION - ARCHITECTURAL
 - (1) Revise Hex Notes 1, 4, and 5.
 - (2) Revise notes for demolition of existing ceiling devices.

- h. DRAWING SHEET NO. A201 – EXTERIOR ELEVATIONS
 - (1) Revise Hex Notes 1, 4, and 5.
- i. DRAWING SHEET NO. A401 – SECTION AND INTERIOR ELEVATION
 - (1) Revise Hex Notes 1, 4, and 5.
 - (2) Revise notes.
- j. DRAWING SHEET NO. A402 – DETAILS
 - (1) Revise Details 1, 6, and 7.
 - (2) Added comment “Provide top rail at all fencing (Typical)” to details 4/A402 and 7/A402.
 - (3) Added comment “Provide bottom rail at all fencing (Typical)” to details 4/A402 and 7/A402.
- k. DRAWING SHEET NO MD101 – FLOOR PLAN – DEMOLITION - MECHANICAL
 - (1) Revise exhaust fan notes in restrooms
 - (2) Revise Hex Note #9.
- l. DRAWING SHEET NO M101 – FLOOR PLAN – RENOVATION - MECHANICAL
 - (1) Revise exhaust fan notes in restrooms.
 - (2) Remove restroom ductwork.
 - (3) Add General Note #21.
- m. DRAWING SHEET NO M601 – SCHEDULES- MECHANICAL
 - (1) Revise schedules as shown in attached sheet.
- n. DRAWING SHEET NO. ED101 – FLOOR PLAN - DEMOLITION - POWER
 - (1) Revise two exhaust fans serving restroom to show “existing to remain.”
- o. DRAWING SHEET NO. E101 - FLOOR PLAN - RENOVATION - POWER/SYSTEMS
 - (1) Delete new electrical connections for two exhaust fans serving restrooms.
 - (2) Delete Hex Note #5.
- p. DRAWING SHEET NO. E501 – ELECTRICAL SCHEDULES - ELECTRICAL
 - (1) Revise mechanical feeder schedule for GPU-1 and EF-3
 - (2) Revise load and CB for GPU-1 on panel 3535C (existing revised).
 - (3) Revise load and CB for EF-3 on panel 3535C (existing revised).
- q. The similar project description is changed to read as follows:
 - 2. **Furnish and install all Mechanical, Electrical and Incidental work associated with the installation of an HVAC system in a commercial kitchen with a minimum area of 700 square feet OR Furnish and install all Mechanical, Electrical and Incidental work associated with the installation of an HVAC system in a commercial dining establishment or commercial restaurant with a minimum area of 1500 square feet.**

3. The following information is provided as clarification: Project has been submitted for permitting. The contractor shall include the cost of **all** permit fees in the bid. Contractor shall contact Orange County Building Department for permit fees as well as Orange County Utilities for separate utilities permit fees. Permit number for this project is B14903293.

B. All other terms, conditions and specifications remain the same.

C. 1. The Proposer shall acknowledge receipt of this addendum by completing the applicable section in the solicitation or by completion of the acknowledgement information on the addendum. Either form of acknowledgement must be completed and returned not later than the date and time for receipt of proposals.

2. Receipt acknowledged by:

_____ **Authorized Signature** _____ **Date Signed**

_____ **Title**

_____ **Name of Firm**

CREATE DATE: 6/24/2014 3:28:23 PM LAST SAVED: 11/10/2014 11:55:05 AM/ASST SAVED BY: RBREYER

MATERN PROFESSIONAL ENGINEERING PLOT DATE: 11/11/2014 1:09:45 PM FILENAME: R:\0-2014\4011_00_Horseman's Park\DWGS\1401L_AD100.dwg



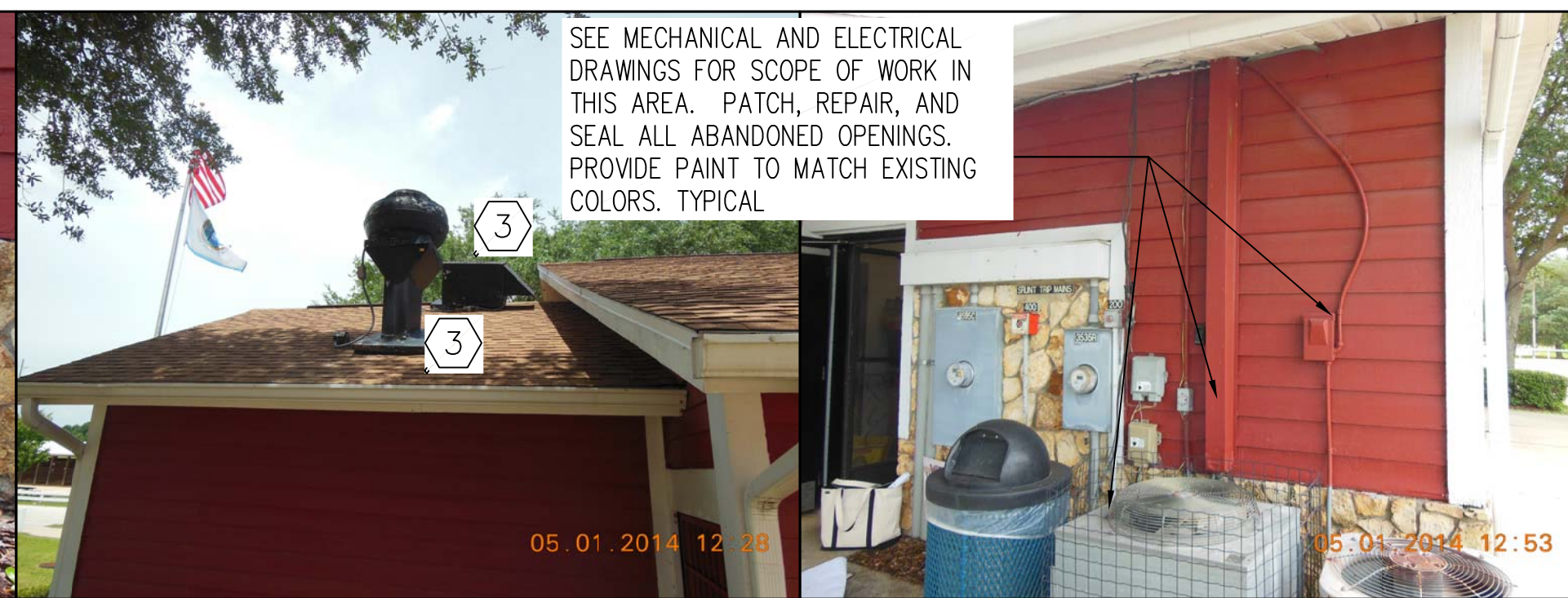
1 PHOTO - EXTERIOR
AD100



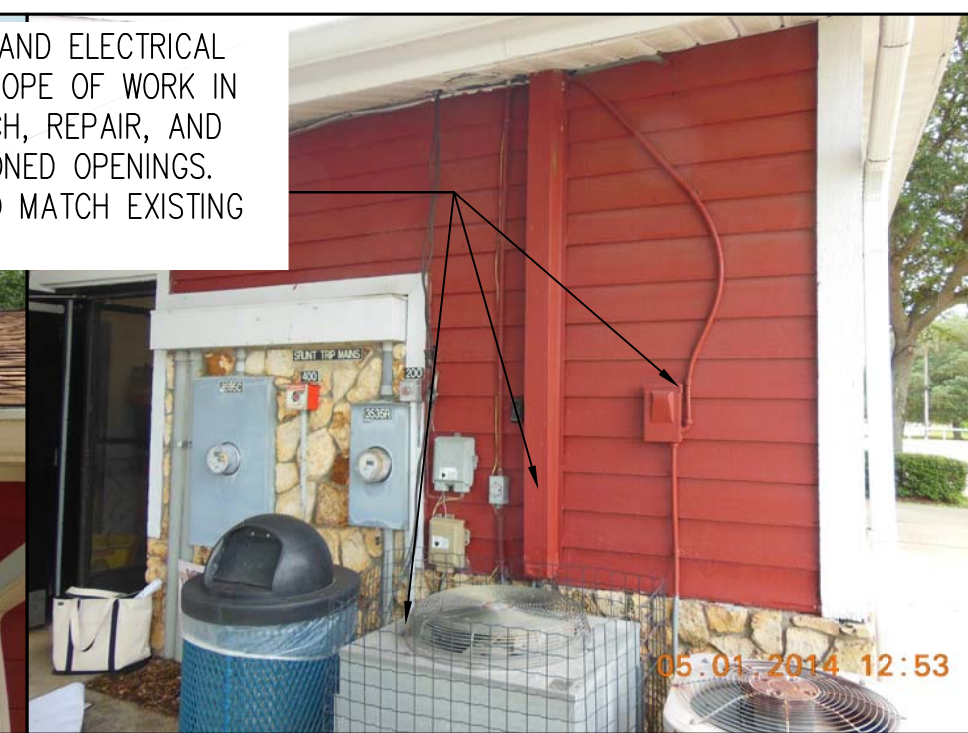
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AD100



3 PHOTO - EXTERIOR
AD100



4 PHOTO - EXTERIOR
AD100



5 PHOTO - EXTERIOR
AD100



6 PHOTO - EXTERIOR
AD100



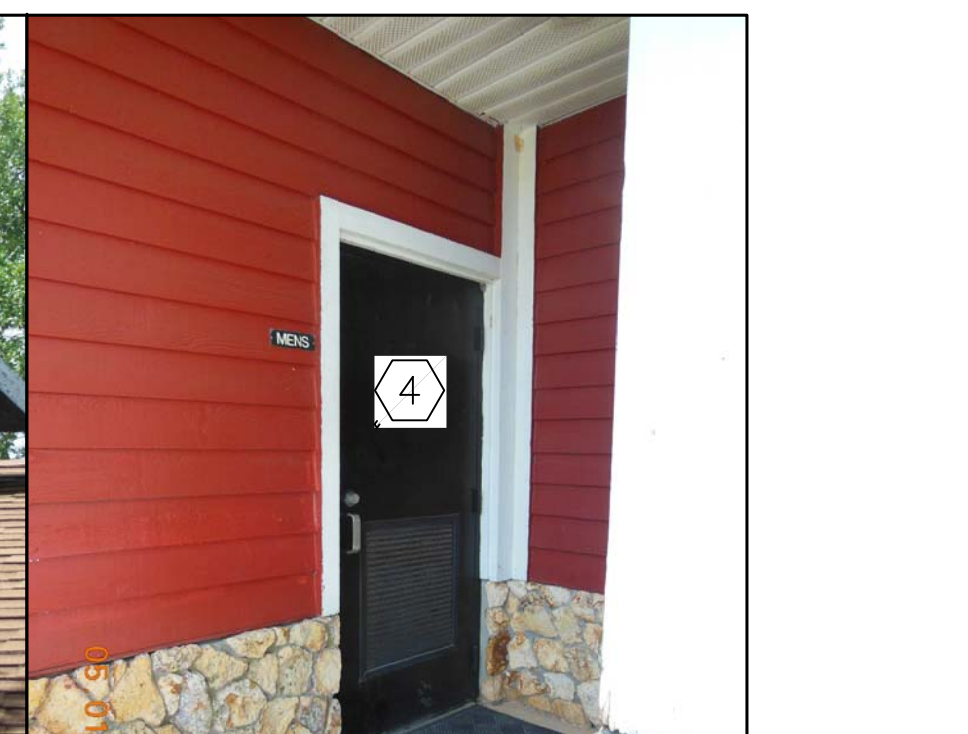
7 PHOTO - EXTERIOR
AD100



8 PHOTO - EXTERIOR
AD100



9 PHOTO - EXTERIOR
AD100



10 PHOTO - EXTERIOR
AD100



11 PHOTO - INTERIOR
AD100



12 PHOTO - INTERIOR
AD100



14 PHOTO - INTERIOR
AD100



15 PHOTO - EXTERIOR
AD100

13 PHOTO - INTERIOR - NOT USED
AD100

- HEX NOTES**
- 1 EXISTING FLOOR VENTS ARE TO REMAIN AT NON-AIR CONDITIONED SPACES. THOROUGHLY CLEAN LOUVERS AND REMOVE LANDSCAPING MULCH A MIN. OF 12" FROM THE LOUVERS. PROTECT FROM DAMAGE.
 - 2 REMOVE EXISTING TRANSOM GLASS PANELS IN PREPARATION FOR MECHANICAL EXHAUST. PROVIDE NEW WOOD TRIM AND CEMENT BOARD PANEL AS SHOWN IN DETAIL ON 3/A-402.
 - 3 REMOVE EXISTING MECHANICAL ROOF EXHAUST. CAP CURB WITH GALV. SHEET METAL COVER. PROVIDE GASKETED ATTACHMENTS TO EXISTING CURB. PAINT TO MATCH SHINGLE ROOF COLOR.
 - 4 RETAIN EXISTING DOOR LOUVERS. CLEAN EXISTING DOOR LOUVERS AT TOILETS AND PROTECT FROM DAMAGE.
 - 5 ALL EXISTING HVAC EQUIPMENT IS TO BE SALVAGED AND STORED IN A DESIGNATED AREA FOR THE OWNER. SEE MECHANICAL PLANS FOR SPECIFIC EQUIPMENT.
 - 6 REMOVE EXISTING GWB/PLASTER CEILING IN ITS ENTIRETY. RETAIN EXISTING FURRING IF IT HELPS PROVIDE SUPPORT FOR THE NEW SUSPENDED ACOUSTICAL CEILING SYSTEM. FURNISH AND INSTALL NEW ACT CEILING AS SHOWN IN REFLECTED CEILING PLAN.
 - 7 REMOVE EXISTING TRANSOM GLASS AND STOPS IN ITS ENTIRETY. FURNISH AND INSTALL NEW CEMENT BOARD INFILL PANEL PER DETAIL. PAINT TO MATCH TRIM. SEE MECH DRAWINGS FOR NEW HVAC EQUIPMENT AND DUCTWORK.

OC CLARCONA HORSEMANS PARK RESTROOMS & CONCESSIONS BLDG HVAC REPLACEMENT

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Fax: 407-839-0668

Revisions

No.	Date	Description
1	11/10/14	Revision No. 1

Key Plan

MPE PROJ#: 2013-079
Designed By: GG
Drawn By: GG
Checked By: RB
Issue Date: 11/10/14
Drawing Scale: 1/2"=1'-0"

Drawing Title:
PHOTOS OF EXISTING CONDITIONS

100% CONSTRUCTION DOCUMENTS
Drawing No.
AD100

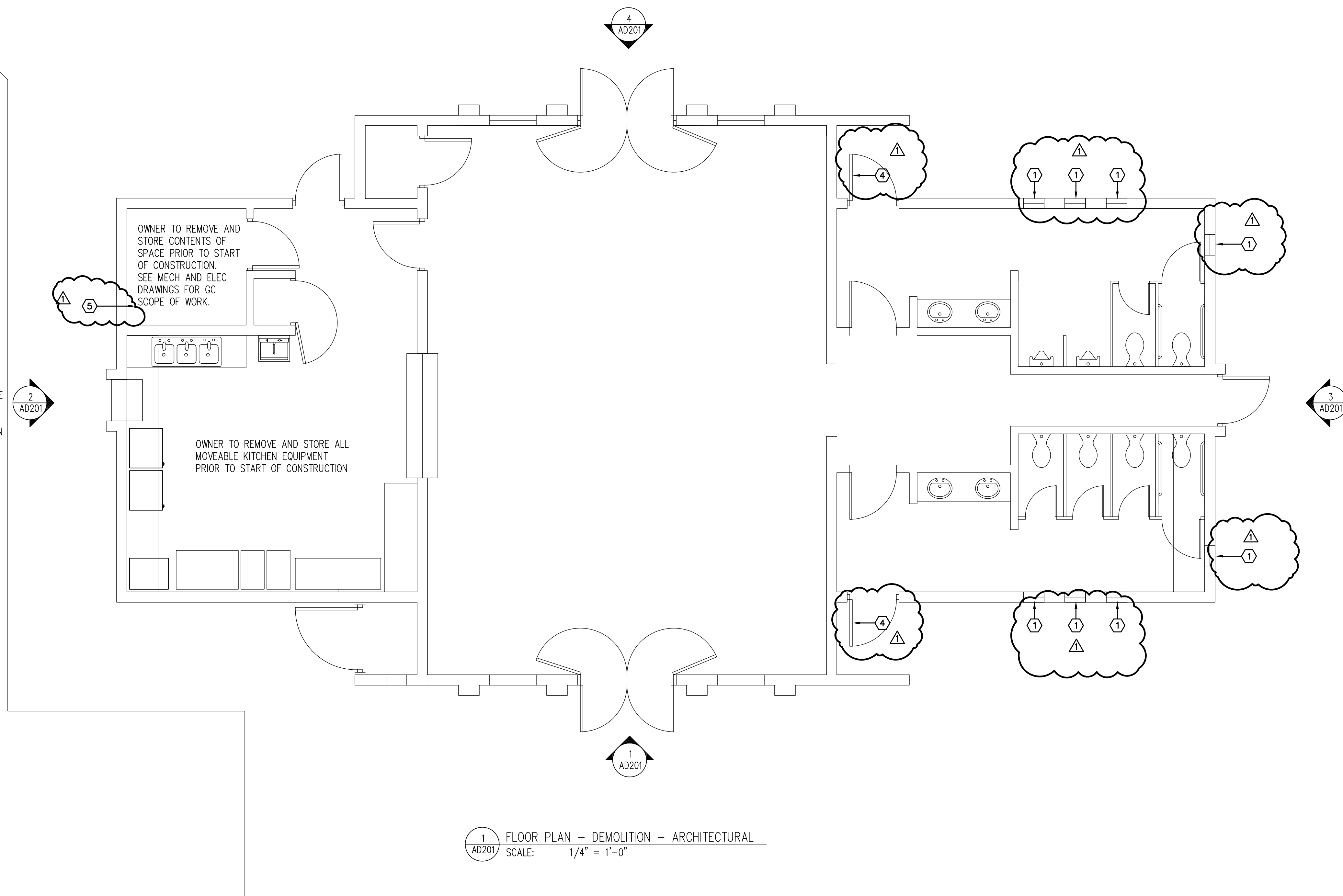
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MATERN PROFESSIONAL ENGINEERING PLOT DATE: 11/11/2014 1:13:33 PM FILENAME: R:\0_2014\4011_OC_Horseman's Park\DWGS\1401L_AD101.dwg

REMOVE AND RELOCATE EXISTING FLAGPOLE AND FOUNDATION; REMOVE AS MUCH OF THE EXISTING CONCRETE FOUNDATION FROM THE POLE AS POSSIBLE WITHOUT DAMAGING THE POLE; SEE A-101 FOR NEW LOCATION AND DETAIL 2/A402

OWNER TO REMOVE AND STORE CONTENTS OF SPACE PRIOR TO START OF CONSTRUCTION. SEE MECH AND ELEC DRAWINGS FOR GC SCOPE OF WORK.

OWNER TO REMOVE AND STORE ALL MOVEABLE KITCHEN EQUIPMENT PRIOR TO START OF CONSTRUCTION



1 AD201 FLOOR PLAN - DEMOLITION - ARCHITECTURAL
SCALE: 1/4" = 1'-0"

- KEY NOTES**
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 - 4 RETAIN EXISTING DOOR LOUVERS. CLEAN EXISTING DOOR LOUVERS AT TOILETS AND PROTECT FROM DAMAGE.
 - 5 ALL EXISTING HVAC EQUIPMENT IS TO BE SALVAGED AND STORED IN A DESIGNATED AREA FOR THE OWNER. SEE MECHANICAL PLANS FOR SPECIFIC EQUIPMENT.
 - 6 REMOVE EXISTING GWB/PLASTER CEILING IN ITS ENTIRETY. RETAIN EXISTING FURRING IF IT HELPS PROVIDE SUPPORT FOR THE NEW SUSPENDED ACOUSTICAL CEILING SYSTEM. FURNISH AND INSTALL NEW ACT CEILING AS SHOWN IN REFLECTED CEILING PLAN.
 - 7 REMOVE EXISTING TRANSOM GLASS AND STOPS IN ITS ENTIRETY. FURNISH AND INSTALL NEW CEMENT BOARD INFILL PANEL PER DETAIL. PAINT TO MATCH TRIM. SEE MECH DRAWINGS FOR NEW HVAC EQUIPMENT AND DUCTWORK.

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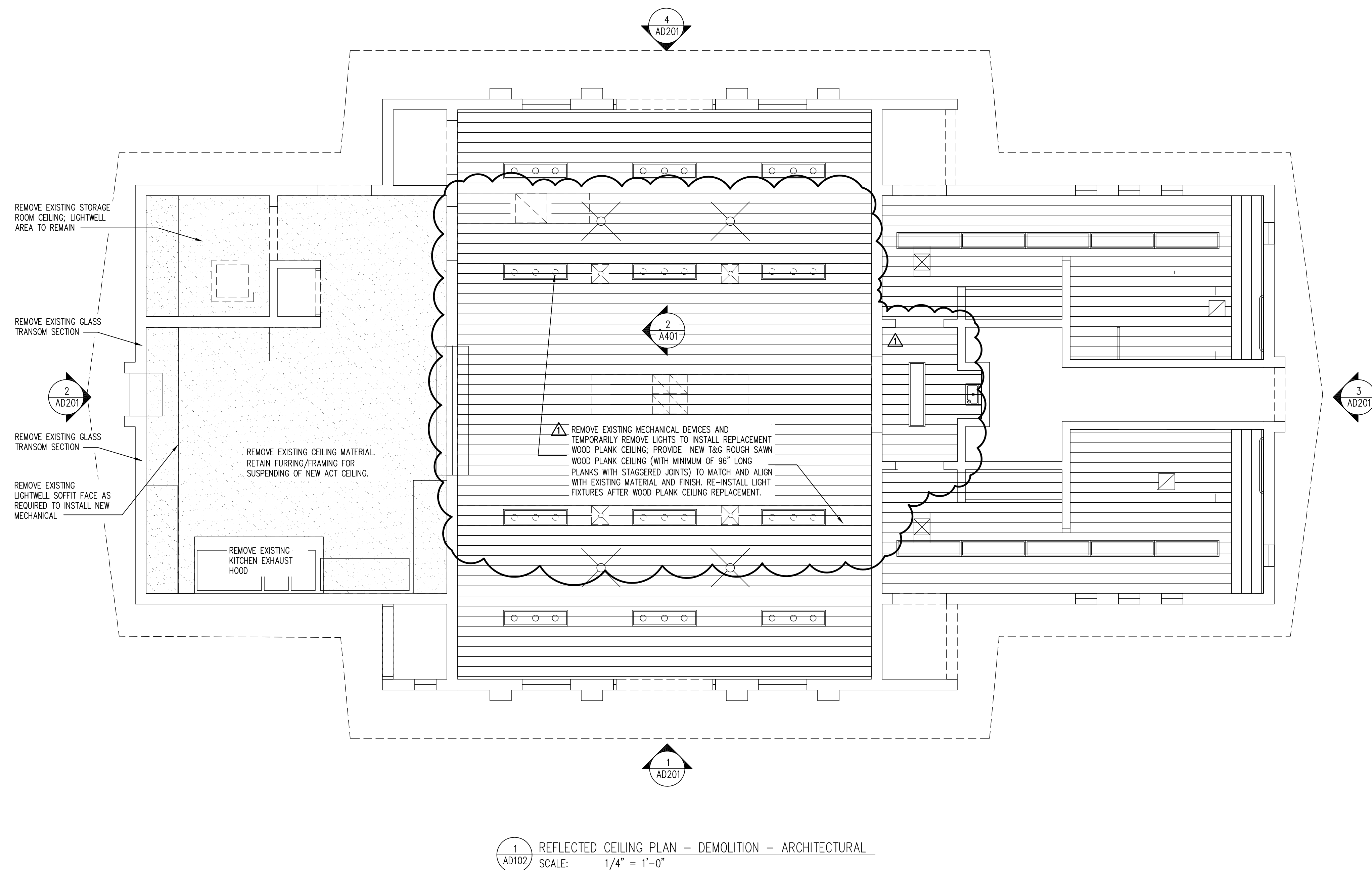
Key Plan

MPE PROJ#: 2013-079
Designed By: GG
Drawn By: GG
Checked By: RB
Issue Date: 11/10/14
Drawing Scale: 1/4"=1'-0"

FLOOR PLAN DEMOLITION ARCHITECTURAL

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MATERN PROFESSIONAL ENGINEERING PLOT DATE: 11/11/2014 1:44:15 PM FILENAME: R:\0-2014\4011_OC_Horseman's Park\DWGS\1401L_AD102.dwg



1 AD102 REFLECTED CEILING PLAN - DEMOLITION - ARCHITECTURAL
SCALE: 1/4" = 1'-0"

- HEX NOTES**
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Drawn By: GG
Checked By: RB
Issue Date: 11/10/14
Drawing Scale: 1/4"=1'-0"

Drawing Title:
REFLECTED CEILING PLAN DEMOLITION ARCHITECTURAL
100% CONSTRUCTION DOCUMENTS
Drawing No.
AD102

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PARK
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BLDG HVAC
REPLACEMENT**

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MPE PROJ#: 2013-079

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Checked By:	RB
Issue Date:	11/10/14
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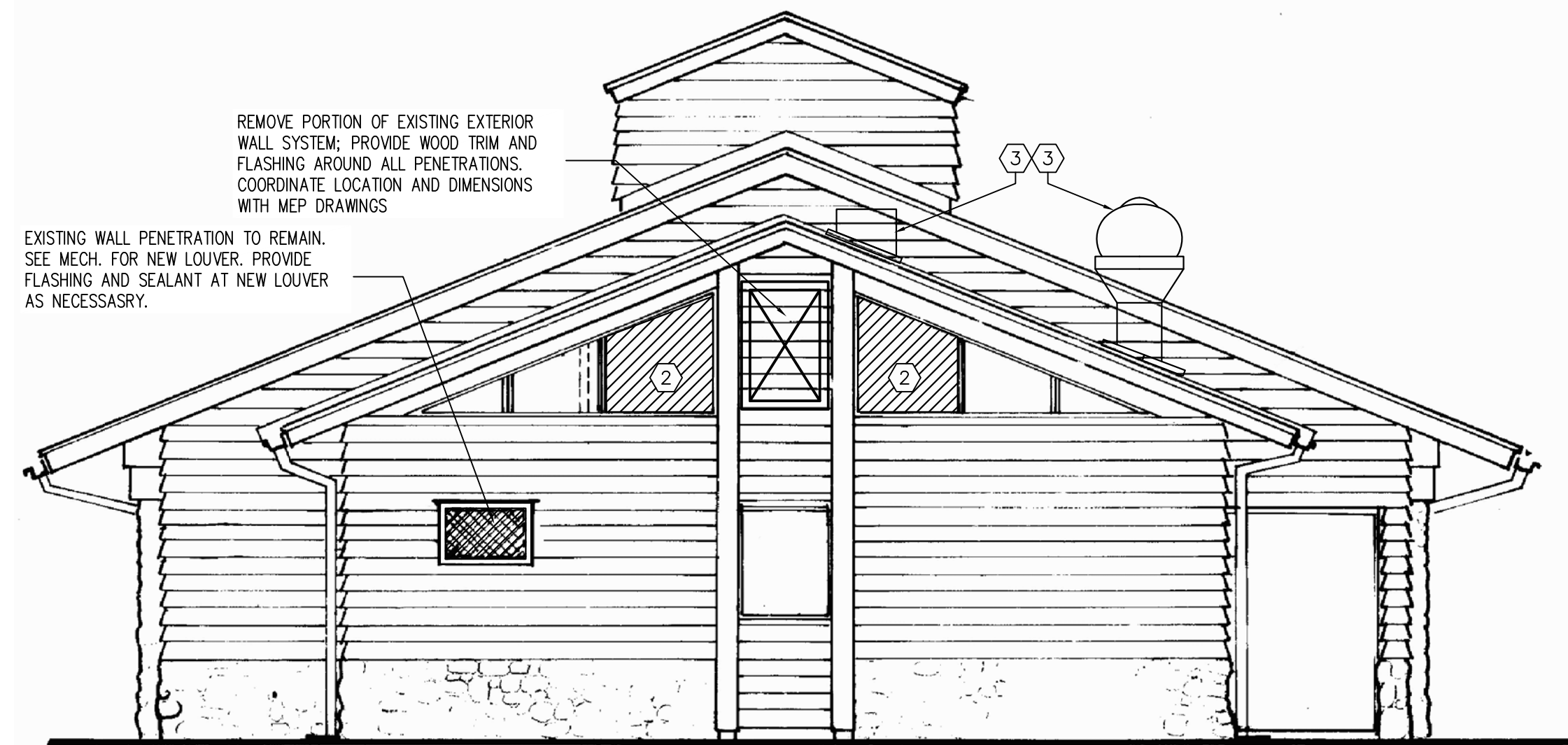
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**EXTERIOR
ELEVATIONS
DEMOLITION**

100% CONSTRUCTION DOCUMENTS

Drawing No.
AD201



1 EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



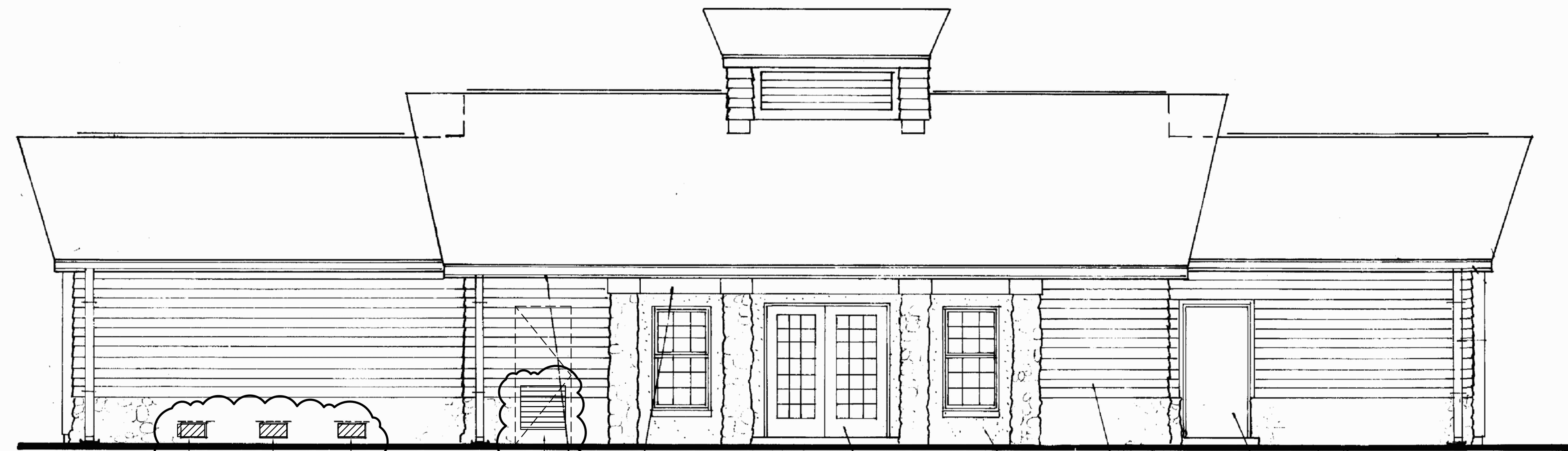
REMOVE PORTION OF EXISTING EXTERIOR WALL SYSTEM; PROVIDE WOOD TRIM AND FLASHING AROUND ALL PENETRATIONS. COORDINATE LOCATION AND DIMENSIONS WITH MEP DRAWINGS.

EXISTING WALL PENETRATION TO REMAIN. SEE MECH. FOR NEW LOUVER. PROVIDE FLASHING AND SEALANT AT NEW LOUVER AS NECESSARY.

2 EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION - EAST
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

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Key Plan

MPE PROJ#: 2013-079

Designed By: GG

Drawn By: GG

Checked By: RB

Issue Date: 11/10/14

Drawing Scale: 1/4"=1'-0"

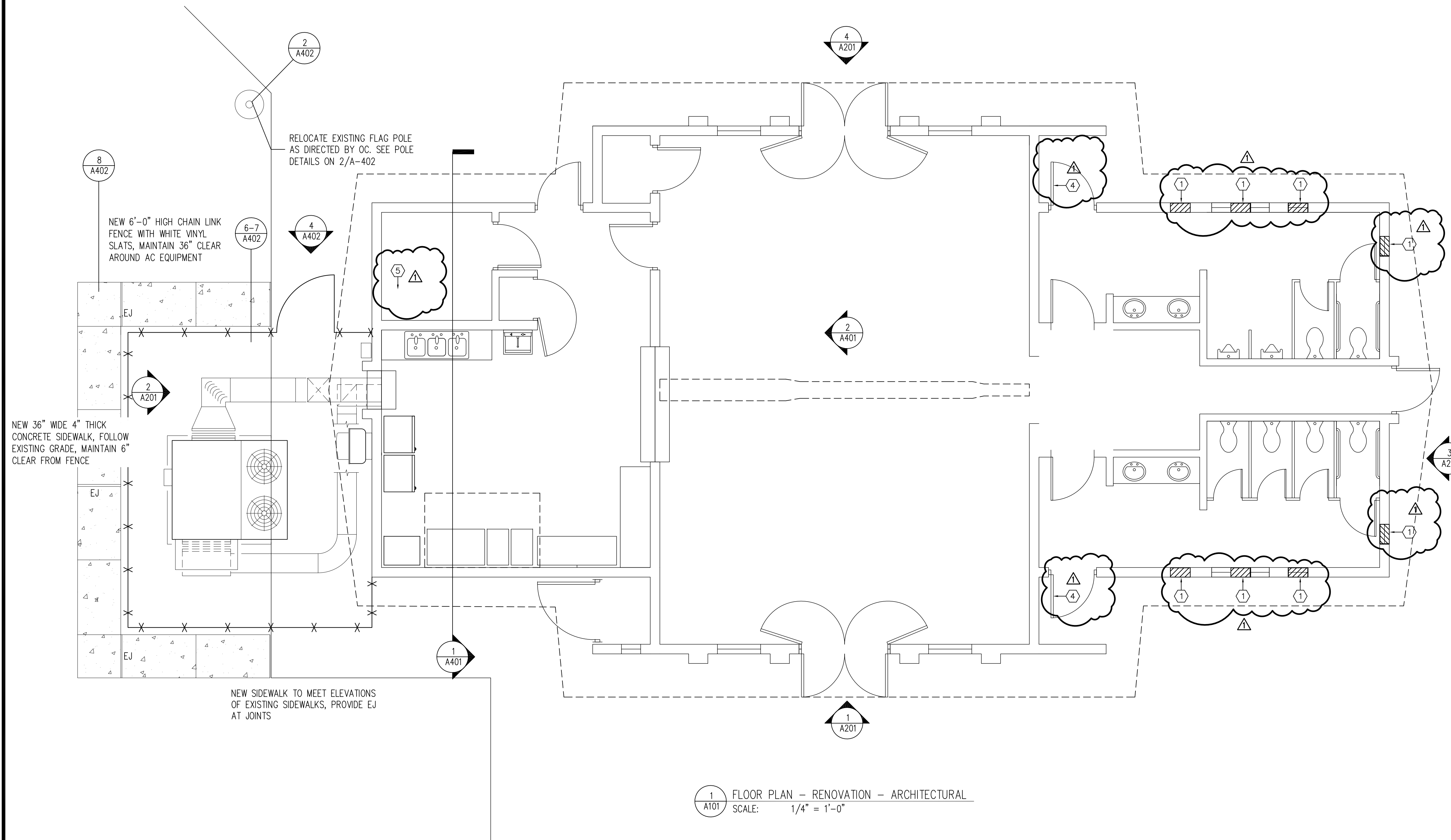
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**FLOOR PLAN
RENOVATION
ARCHITECTURAL**

100% CONSTRUCTION DOCUMENTS

Drawing No.

A101

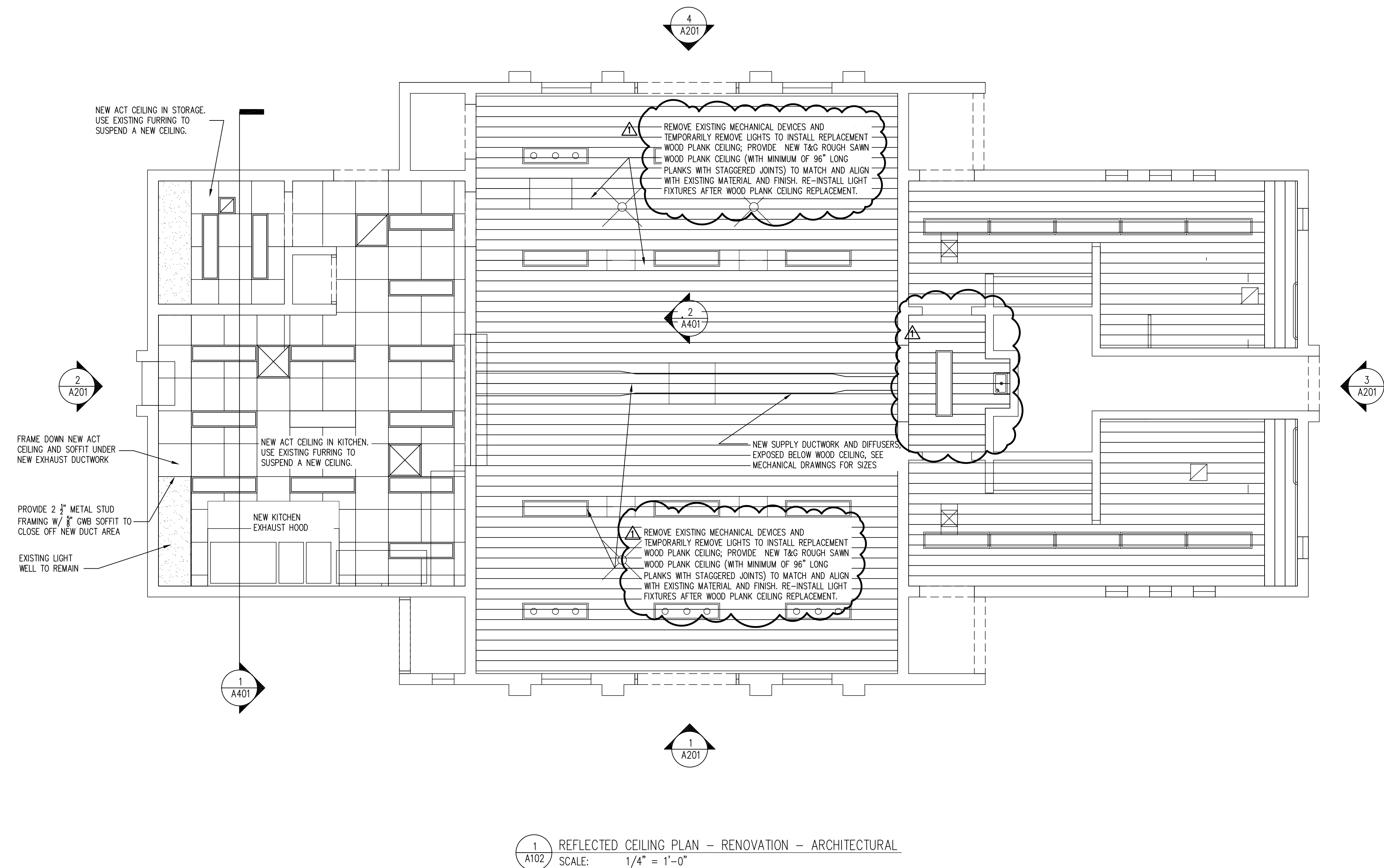


1
A101 FLOOR PLAN - RENOVATION - ARCHITECTURAL
SCALE: 1/4" = 1'-0"

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CREATE DATE: 5/17/2014 10:39:21 AM LAST SAVED: 11/10/2014 11:44:44 AM/ASST SAVED BY: RBREYER

MATERN PROFESSIONAL ENGINEERING PLOT DATE: 11/11/2014 1:05:26 PM FILENAME: R:\0_2014\1401_1_OC_Horseman's Park\DWGS\1401_L_A102.dwg



1 REFLECTED CEILING PLAN - RENOVATION - ARCHITECTURAL
SCALE: 1/4" = 1'-0"

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Key Plan

MPE PROJ#: 2013-079
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Drawn By: GG
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Issue Date: 11/10/14
Drawing Scale: 1/4"=1'-0"

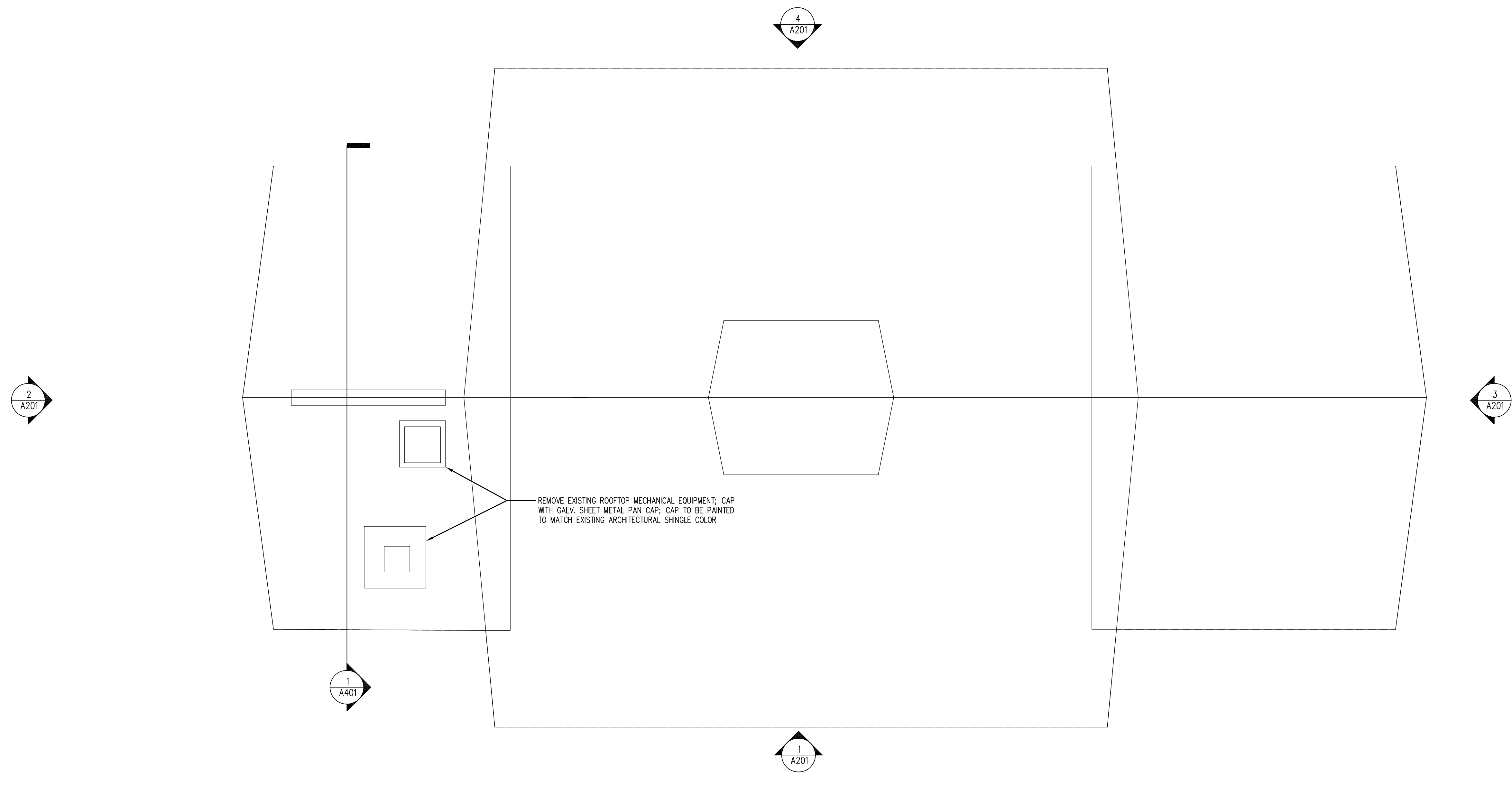
REFLECTED CEILING PLAN RENOVATION ARCHITECTURAL

100% CONSTRUCTION DOCUMENTS

Drawing No. **A102**

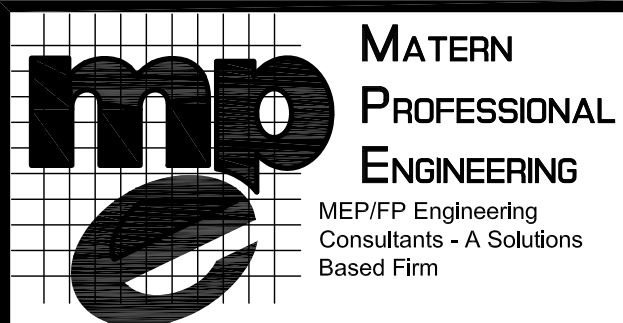
CREATE DATE: 6/24/2014 2:39:48 PM LAST SAVER: 11/10/2014 11:45:39 AM/AST SAVED BY: RBREYER

MATERN PROFESSIONAL ENGINEERING PLOT DATE: 11/11/2014 1:06:06 PM FILENAME: R:\0_2014\401_1_OC_Horseman's Park\DWGS\1401_A103.dwg



1 A103 ROOF PLAN - RENOVATION - ARCHITECTURAL
SCALE: 1/4" = 1'-0"

- KEY NOTES**
- ① EXISTING FLOOR VENTS ARE TO REMAIN AT NON-AIR CONDITIONED SPACES. THOROUGHLY CLEAN LOUVERS AND REMOVE LANDSCAPING MULCH A MIN. OF 12" FROM THE LOUVERS. PROTECT FROM DAMAGE.
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MATERN PROFESSIONAL ENGINEERING
MEP/FP Engineering Consultants - A Solutions Based Firm
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ENG. BUS. No. EB-0005096 CERT. OF AUTH. No. 5096

OC CLARCONA HORSEMANS PARK RESTROOMS & CONCESSIONS BLDG HVAC REPLACEMENT

KBJ ARCHITECTS
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Revisions

No.	Date	Description
1	11/10/14	Revision No. 1

Key Plan

MPE PROJ#: 2013-079
Designed By: GG
Drawn By: GG
Checked By: RB
Issue Date: 11/10/14
Drawing Scale: 1/4"=1'-0"

ROOF PLAN RENOVATION ARCHITECTURAL

100% CONSTRUCTION DOCUMENTS

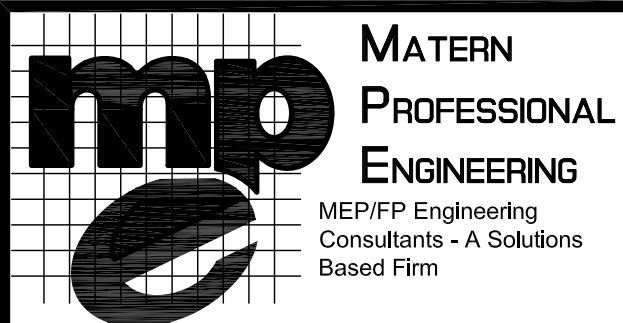
Drawing No. **A103**

CREATE DATE: 5/1/2014 11:00:45 AM LAST SAVED: 11/10/2014 11:46:49 AM LAST SAVED BY: RBREYER

MATERN PROFESSIONAL ENGINEERING PLOT DATE: 11/11/2014 1:06:56 PM FILENAME: R:\0_2014\4011_OC_Horseman's Park\DWGS\1401L_A201.dwg



- HEX NOTES**
- 1 EXISTING FLOOR VENTS ARE TO REMAIN AT NON-AIR CONDITIONED SPACES. THOROUGHLY CLEAN LOUVERS AND REMOVE LANDSCAPING MULCH A MIN. OF 12" FROM THE LOUVERS. PROTECT FROM DAMAGE.
 - 2 REMOVE EXISTING TRANSOM GLASS PANELS IN PREPARATION FOR MECHANICAL EXHAUST. PROVIDE NEW WOOD TRIM AND CEMENT BOARD PANEL AS SHOWN IN DETAIL ON 3/A-402.
 - 3 REMOVE EXISTING MECHANICAL ROOF EXHAUST. CAP CURB WITH GALV. SHEET METAL COVER. PROVIDE GASKETED ATTACHMENTS TO EXISTING CURB. PAINT TO MATCH SINGLE ROOF COLOR.
 - 4 RETAIN EXISTING DOOR LOUVERS. CLEAN EXISTING DOOR LOUVERS AT TOILETS AND PROTECT FROM DAMAGE.
 - 5 ALL EXISTING HVAC EQUIPMENT IS TO BE SALVAGED AND STORED IN A DESIGNATED AREA FOR THE OWNER. SEE MECHANICAL PLANS FOR SPECIFIC EQUIPMENT.
 - 6 REMOVE EXISTING GWB/PLASTER CEILING IN ITS ENTIRETY. RETAIN EXISTING FURRING IF IT HELPS PROVIDE SUPPORT FOR THE NEW SUSPENDED ACOUSTICAL CEILING SYSTEM. FURNISH AND INSTALL NEW ACT CEILING AS SHOWN IN REFLECTED CEILING PLAN.
 - 7 REMOVE EXISTING TRANSOM GLASS AND STOPS IN ITS ENTIRETY. FURNISH AND INSTALL NEW CEMENT BOARD INFILL PANEL PER DETAIL. PAINT TO MATCH TRIM. SEE MECH DRAWINGS FOR NEW HVAC EQUIPMENT AND DUCTWORK.



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1 11/10/14 Revision No. 1

MPE PROJ#: 2013-079

Des	GG
	GG
	RB

1/4" = 1'-0"

Drawing Title:
EXTERIOR ELEVATIONS

100% CONSTRUCTION DOCUMENTS

Drawing No.
A201

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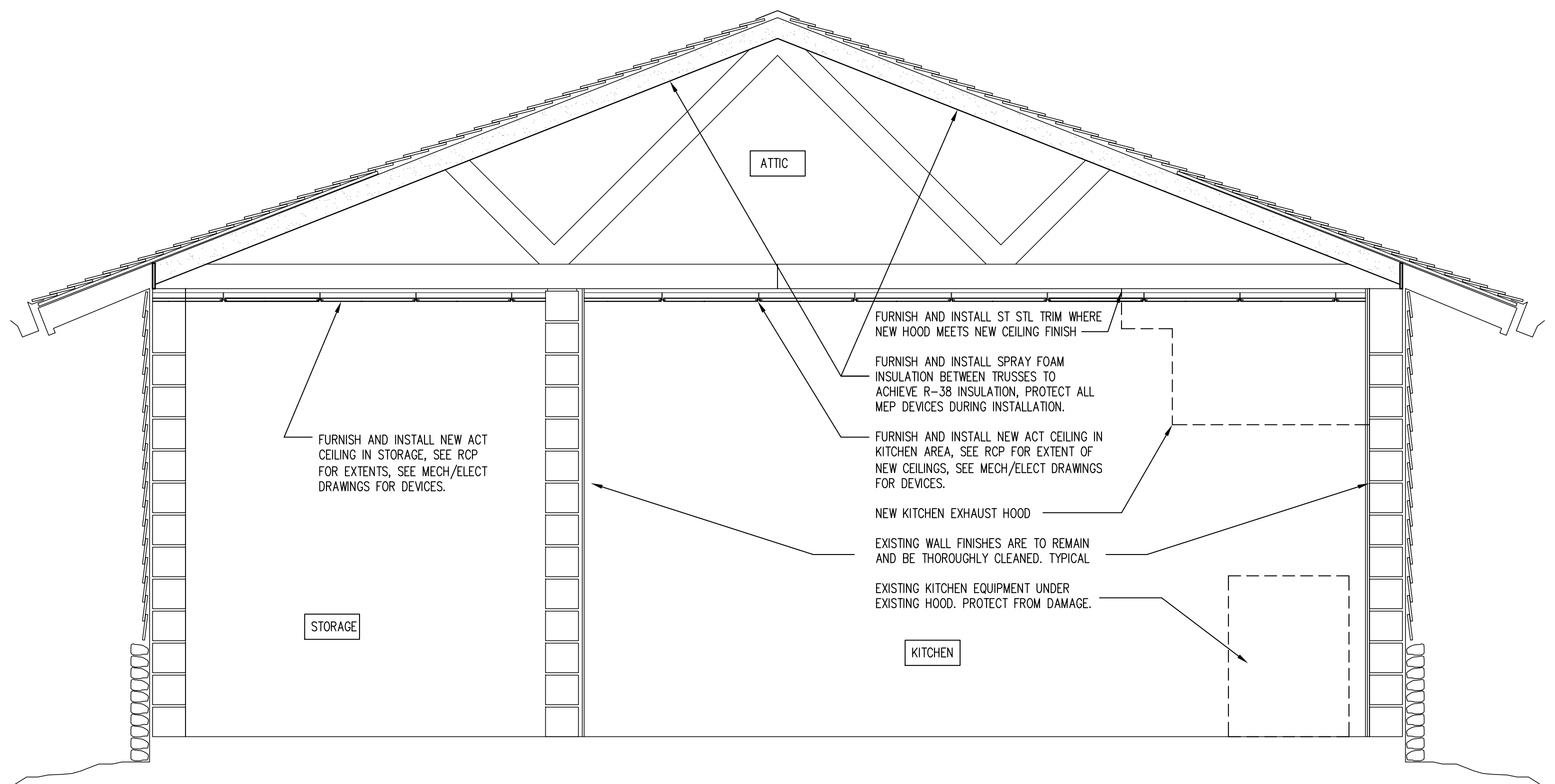
Key Plan

MPE PROJ#: 2013-079

Designed By: GG
 Drawn By: GG
 Checked By: RB
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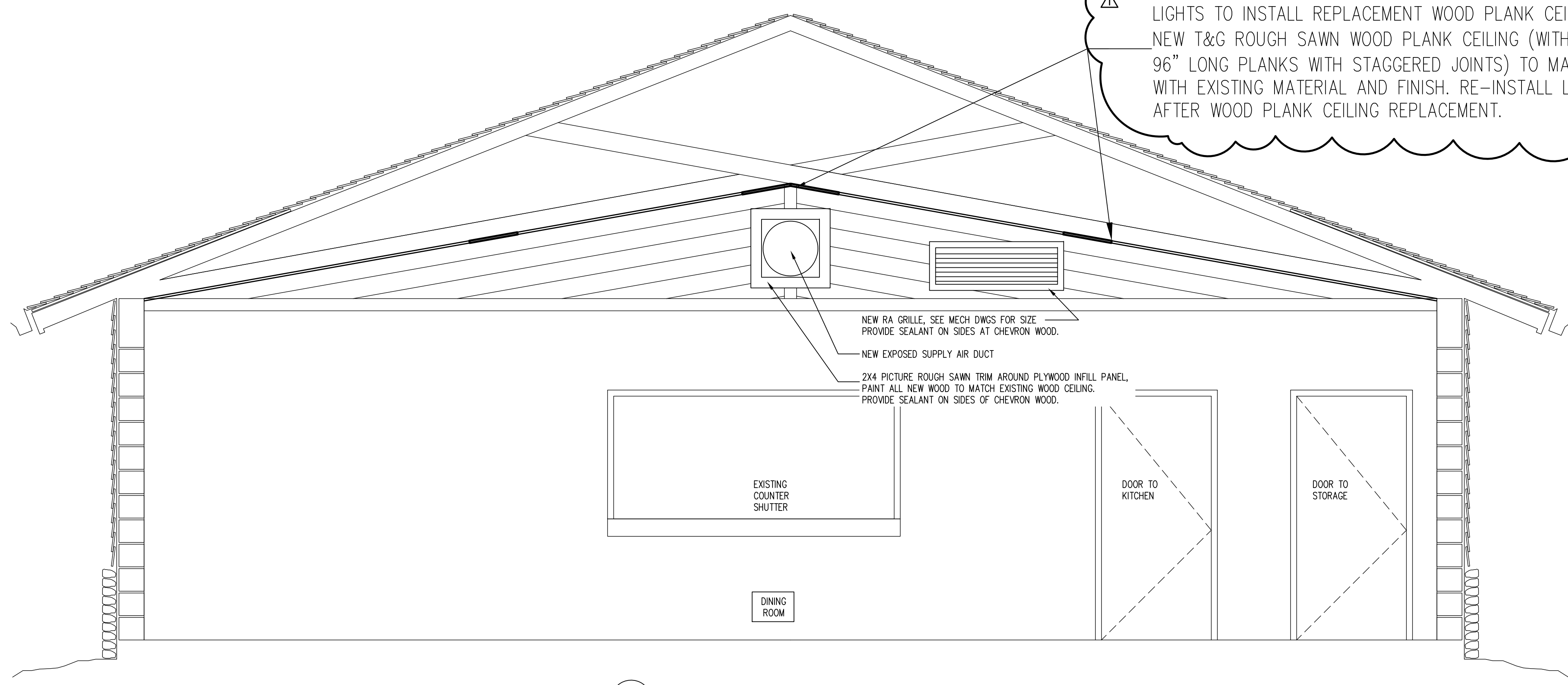
Drawing Title:
SECTION AND INTERIOR ELEVATION

100% CONSTRUCTION DOCUMENTS
 Drawing No.
A401



1 SECTION THROUGH ATTIC, KITCHEN AND STORAGE ROOM
 A401 SCALE: 1/2" = 1'-0"

REMOVE EXISTING MECHANICAL DEVICES AND TEMPORARILY REMOVE LIGHTS TO INSTALL REPLACEMENT WOOD PLANK CEILING; PROVIDE NEW T&G ROUGH SAWN WOOD PLANK CEILING (WITH MINIMUM OF 96" LONG PLANKS WITH STAGGERED JOINTS) TO MATCH AND ALIGN WITH EXISTING MATERIAL AND FINISH. RE-INSTALL LIGHT FIXTURES AFTER WOOD PLANK CEILING REPLACEMENT.



2 INTERIOR ELEVATION - DINING ROOM
 A401 SCALE: 1/2" = 1'-0"

- KEY NOTES
- EXISTING FLOOR VENTS ARE TO REMAIN AT NON-AIR CONDITIONED SPACES. THOROUGHLY CLEAN LOUVERS AND REMOVE LANDSCAPING MULCH A MIN. OF 12" FROM THE LOUVERS. PROTECT FROM DAMAGE.
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 - REMOVE EXISTING MECHANICAL ROOF EXHAUST. CAP CURB WITH GALV. SHEET METAL COVER. PROVIDE GASKETED ATTACHMENTS TO EXISTING CURB. PAINT TO MATCH SHINGLES ROOF COLOR.
 - RETAIN EXISTING DOOR LOUVERS. CLEAN EXISTING DOOR LOUVERS AT TOILETS AND PROTECT FROM DAMAGE.
 - ALL EXISTING HVAC EQUIPMENT IS TO BE SALVAGED AND STORED IN A DESIGNATED AREA FOR THE OWNER. SEE MECHANICAL PLANS FOR SPECIFIC EQUIPMENT.
 - REMOVE EXISTING GWB/PLASTER CEILING IN ITS ENTIRETY. RETAIN EXISTING FURRING IF IT HELPS PROVIDE SUPPORT FOR THE NEW SUSPENDED ACOUSTICAL CEILING SYSTEM. FURNISH AND INSTALL NEW ACT CEILING AS SHOWN IN REFLECTED CEILING PLAN.
 - REMOVE EXISTING TRANSOM GLASS AND STOPS IN ITS ENTIRETY. FURNISH AND INSTALL NEW CEMENT BOARD INFILL PANEL PER DETAIL. PAINT TO MATCH TRIM. SEE MECH DRAWINGS FOR NEW HVAC EQUIPMENT AND DUCTWORK.

CREATE DATE: 5/17/2014 10:44:22 AM LAST SAVED: 11/10/2014 11:48:03 AM LAST SAVED BY: RBREYER

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Key Plan

MPE PROJ#: 2013-079
 Designed By: GG
 Drawn By: GG
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 Issue Date: 11/10/14
 Drawing Scale: VARIES

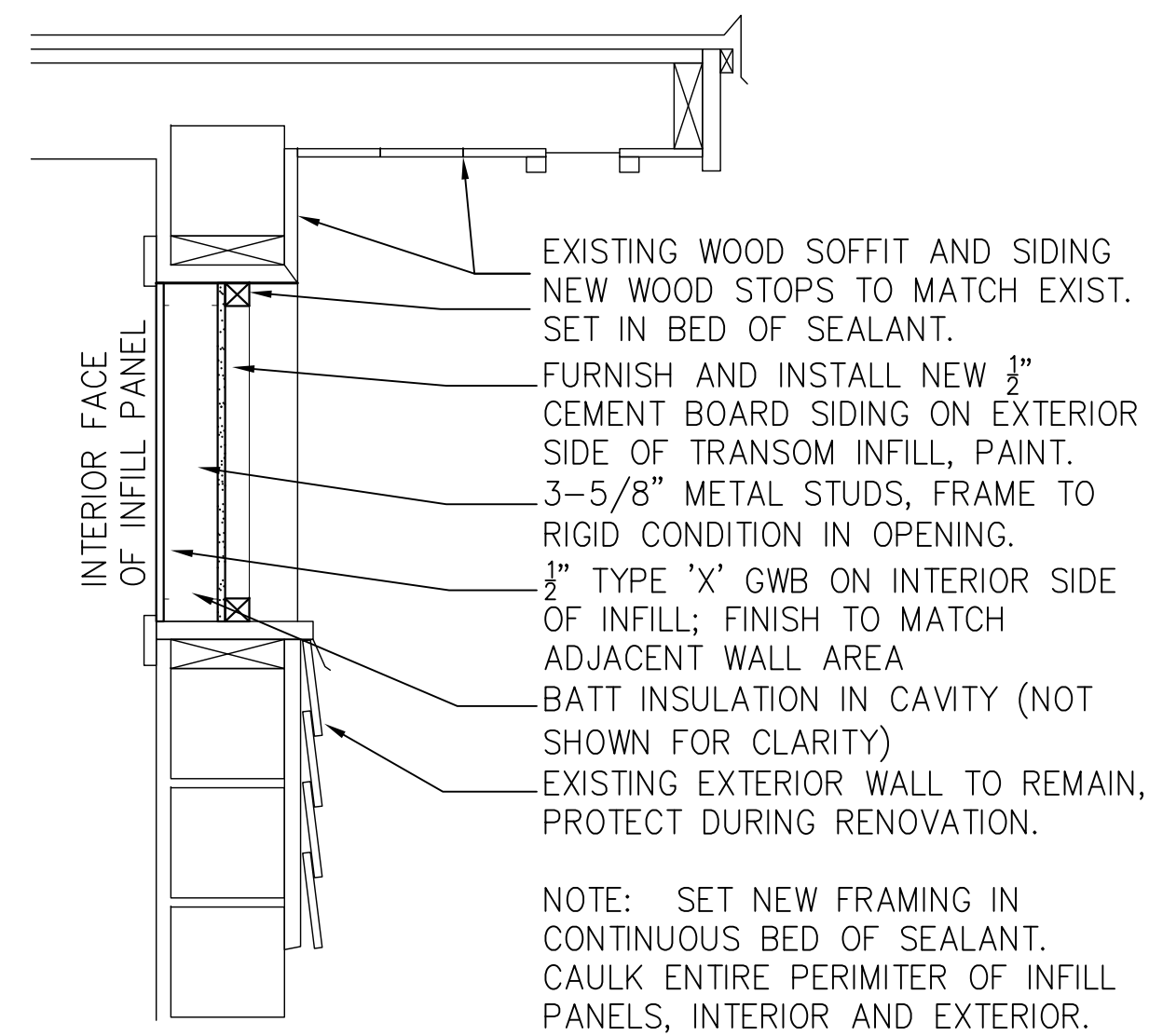
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DETAILS

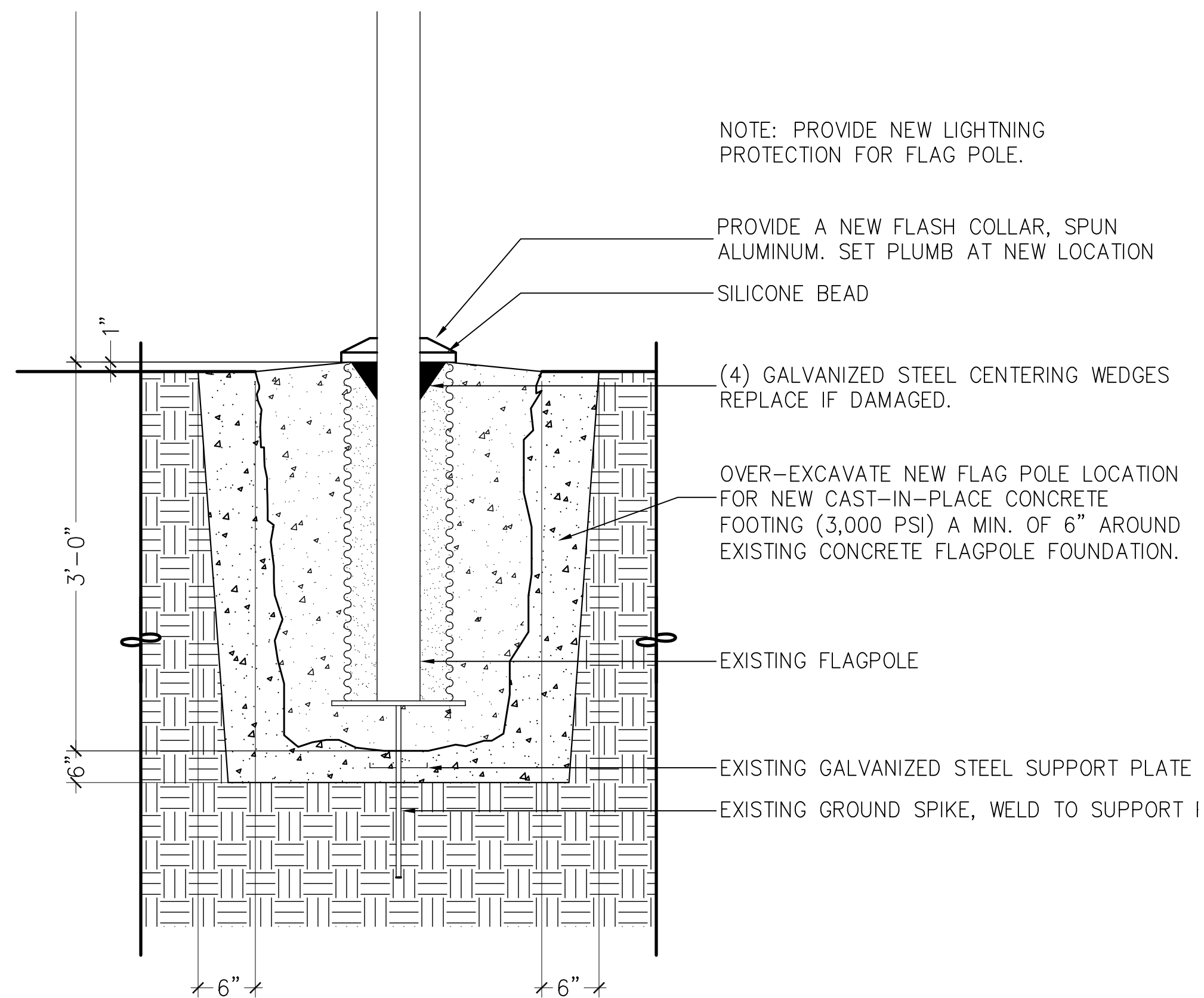
100% CONSTRUCTION DOCUMENTS

Drawing No.

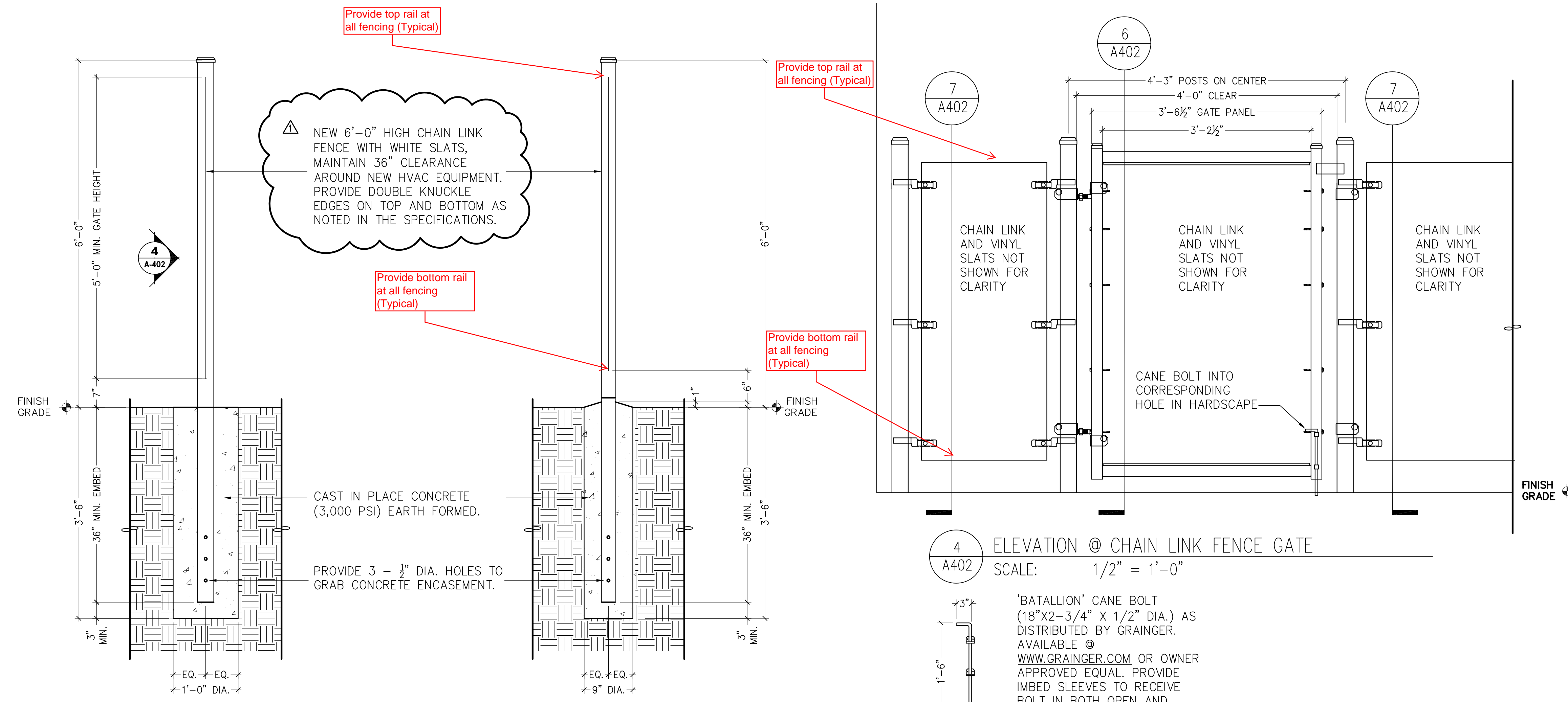
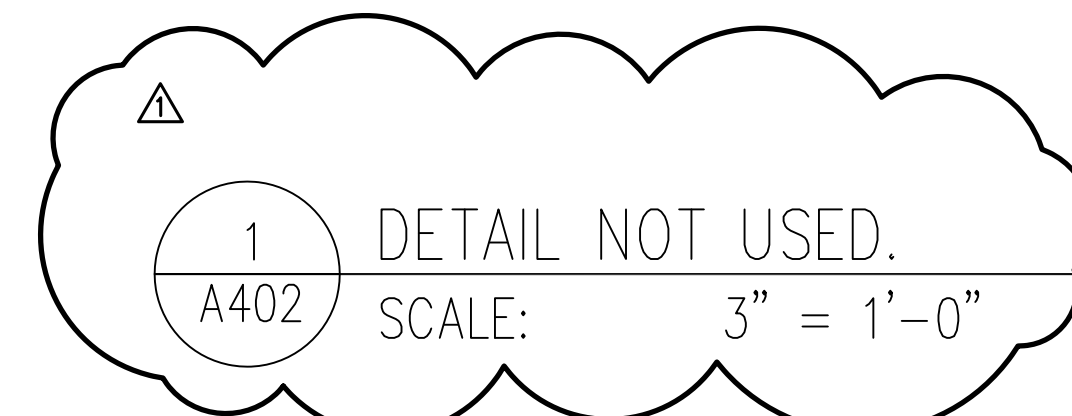
A402



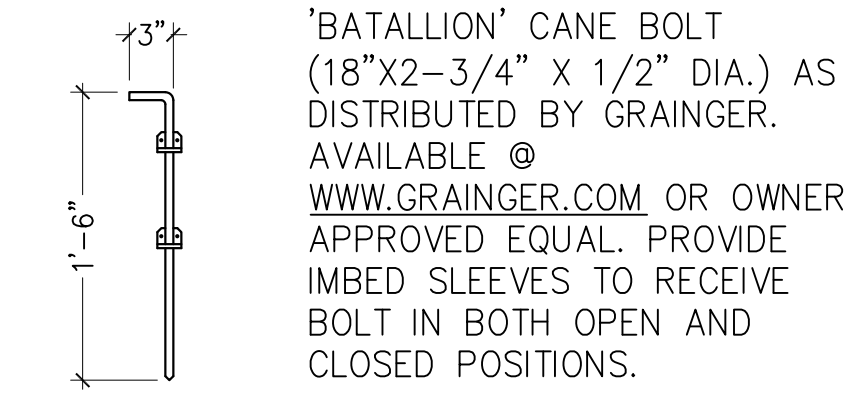
3 SECTION @ TRANSOM OPENINGS
 A402 SCALE: 1" = 1'-0"



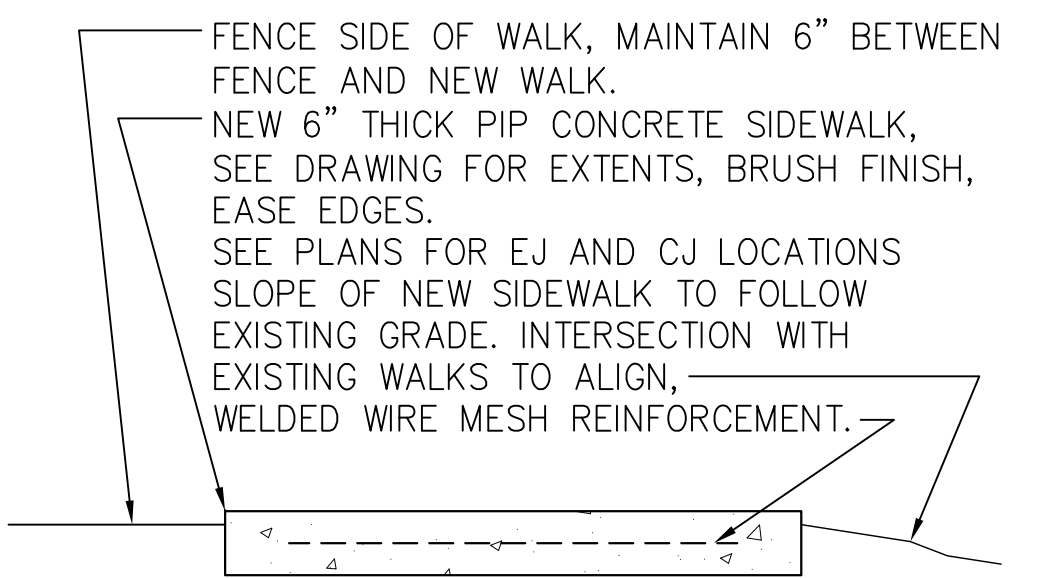
2 SECTION @ RELOCATED FLAGPOLE FOUNDATION
 A402 SCALE: 1/2" = 1'-0"



4 ELEVATION @ CHAIN LINK FENCE GATE
 A402 SCALE: 1/2" = 1'-0"



5 CANE BOLT @ GATE
 A402 SCALE: NTS



8 SECTION @ SIDEWALK
 A402 SCALE: 1/2" = 1'-0"

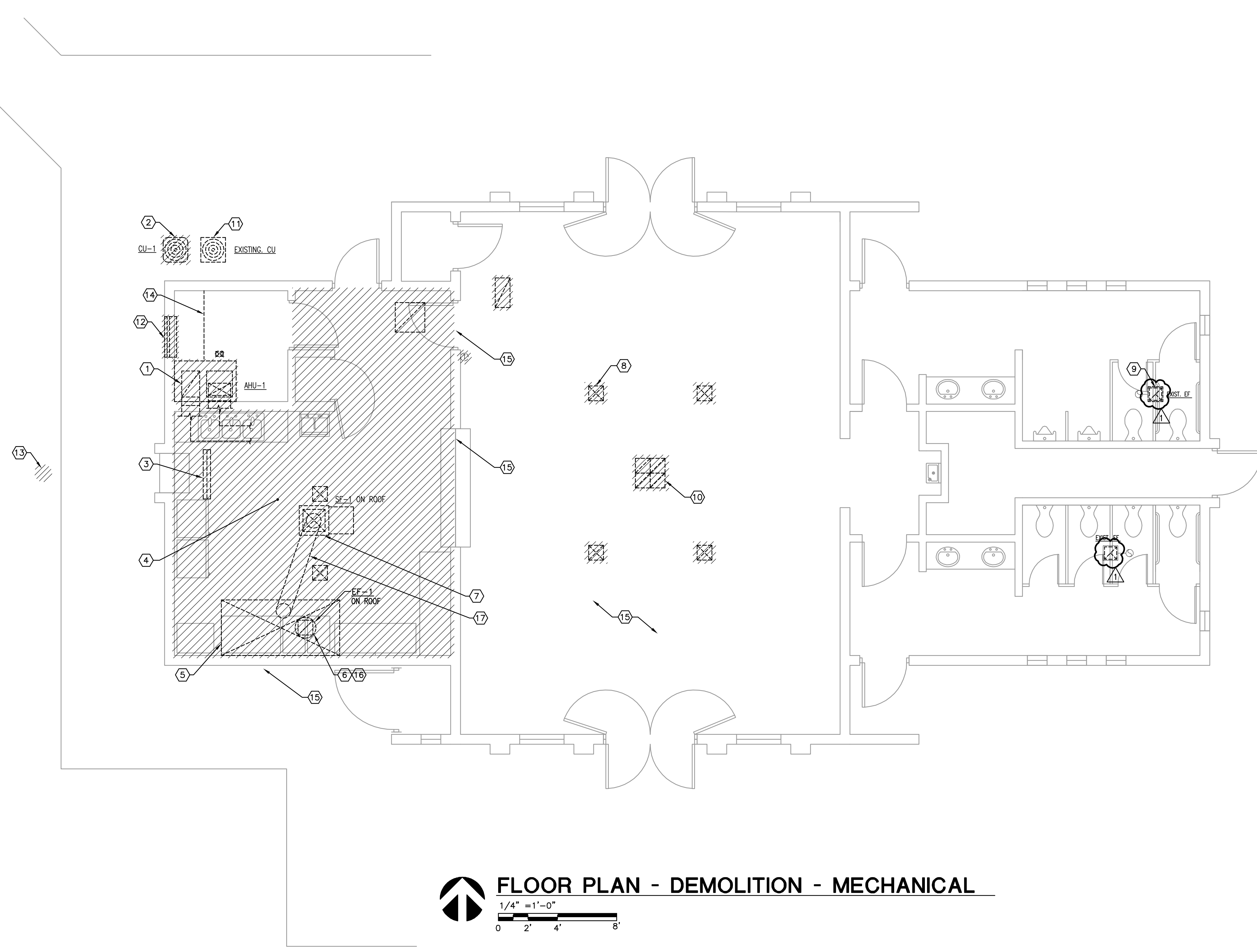
6 SECTION @ GATE/TERMINAL POST
 A402 SCALE: 1/2" = 1'-0"

7 SECTION @ LINE POST
 A402 SCALE: 1/2" = 1'-0"

CREATE DATE: 8/13/2014 5:22:41 AM LAST SAVED: 11/10/2014 11:49:54 AM LAST SAVED BY: RBREYER

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CREATE DATE: 4/24/2014 3:48:03 PM LAST SAVED: 11/12/2014 9:14:11 AM LAST SAVED BY: BPERROTT
MATERN PROFESSIONAL ENGINEERING PLOT DATE: 11/12/2014 9:14:14 AM FILENAME: J:\2013\2013-079-079_OC Clarcona Horseman's Park Kitchen and Recreation Building HVAC Replacement\2013-079-MD101.dwg



 **FLOOR PLAN - DEMOLITION - MECHANICAL**
1/4" = 1'-0"
0 2' 4' 8'

GENERAL NOTES

1. REFER TO GENERAL NOTES FOR THIS DISCIPLINE.
2. REFER TO SPECIFICATIONS.
3. ALL HEX NOTES NOT NECESSARILY USED ON ALL SHEETS.
4. ALL UNUSED ROOF AND EXTERIOR PENETRATIONS SHALL BE PROPERLY CAPPED AND SEALED WATER TIGHT. REFER TO ARCHITECTURAL.
5. ALL EXISTING MECHANICAL EQUIPMENT, DUCTWORK, PIPING AND ACCESSORIES ARE SCHEDULED TO BE REMOVED UNLESS NOTED OTHERWISE. EXISTING WORK MAY NOT BE SHOWN FOR CLARITY.
6. THE FACILITY SHALL REMAIN UNOCCUPIED FOR CERTAIN DURATIONS OF THE PROJECT. ALL INDOOR AND OUTDOOR WORK SHALL BE PERFORMED DURING NORMAL BUSINESS HOURS DURING THE WEEK. NORMAL BUSINESS HOURS ARE DEFINED AS 7:00 AM TO 5:00 PM, MONDAY TO FRIDAY.

HEX NOTES

- 1 EXISTING AIR-HANDLING UNIT, SUPPLY, AND RETURN DUCTWORK TO BE REMOVED IN THEIR ENTIRETY, INCLUDING WOOD PLATFORM UNDERNEATH. EXISTING CONDENSATE PIPING AND PUMP TO BE REMOVED.
- 2 EXISTING CONDENSING UNIT CONNECTED TO AHU TO BE REMOVED IN ITS ENTIRETY, INCLUDING CONNECTED REFRIGERANT PIPING AND DISCONNECT SWITCH.
- 3 EXISTING EXHAUST GRILLE IN SOFFIT AND CONNECTED ATTIC FAN TO BE REMOVED IN THEIR ENTIRETY. REMOVE EXISTING WALL SWITCH CONTROLLING ATTIC FAN.
- 4 EXISTING KITCHEN HARD CEILING TO BE REMOVED IN ITS ENTIRETY - REFER TO ARCHITECTURAL. ALL EXISTING SUPPLY AND RETURN DUCTWORK, DIFFUSERS AND GRILLES TO BE REMOVED IN THEIR ENTIRETY.
- 5 EXISTING KITCHEN EXHAUST HOOD TO BE REMOVED IN ITS ENTIRETY, INCLUDING ANSUL FIRE SUPPRESSION SYSTEM AND HOOD CONTROLS. ALL EXISTING KITCHEN EQUIPMENT TO REMAIN. REFER TO AD101 FOR INSTRUCTIONS REGARDING KITCHEN EQUIPMENT REMOVAL DURING DEMOLITION.
- 6 EXISTING HOOD EXHAUST FAN ON ROOF TO BE REMOVED. CAP EXISTING ROOF CURB. PAINT CAP TO MATCH EXISTING ROOF COLOR.
- 7 EXISTING HOOD SUPPLY FAN ON ROOF TO BE REMOVED. CAP EXISTING ROOF CURB. PAINT CAP TO MATCH EXISTING ROOF COLOR.
- 8 ALL EXISTING DIFFUSERS AND GRILLES WITHIN DINING ROOM TO BE REMOVED IN THEIR ENTIRETY. TYPICAL IN DINING ROOM. CAP EXISTING OPENINGS TO MATCH EXISTING CEILING FINISH AND COLOR. REFER TO ARCHITECTURAL. EXISTING CEILING TO REMAIN IN-TACT.
- 9 EXISTING CEILING CABINET FAN ABOVE CEILING TO REMAIN.
- 10 EXISTING RELIEF FAN ABOVE CEILING TO BE REMOVED. CAP & SEAL EXISTING OPENING WITHIN THE INSIDE OF THE STRUCTURE. PAINT TO MATCH EXISTING SURROUNDINGS.
- 11 EXISTING ICE MACHINE CONDENSING UNIT TO REMAIN.
- 12 EXISTING PTAC HOUSING TO BE REMOVED. REUSE OPENING FOR NEW INTAKE LOUVER. REFER TO RENO SHEET.
- 13 EXISTING FLAG POLE TO BE RELOCATED FOR NEW PACKAGED UNIT. REFER TO ARCHITECTURAL DRAWINGS.
- 14 REMOVE SHELVING AS REQUIRED FOR NEW DUCTWORK. REFER TO RENOVATION DRAWINGS.
- 15 EXISTING SUPPLY AND RETURN DUCTWORK (ABOVE CEILING) TO BE ABANDONED. CAP EXISTING OPENINGS AT WALL ABOVE KITCHEN.
- 16 EXISTING GREASE EXHAUST DUCT, INCLUDING FIRE-RATED ENCLOSURE, TO BE PROPERLY REMOVED.
- 17 EXISTING MAKEUP AIR DUCT TO BE PROPERLY REMOVED.

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OC CLARCONA HORSEMANS PARK RESTROOMS & CONCESSIONS BLDG HVAC REPLACEMENT

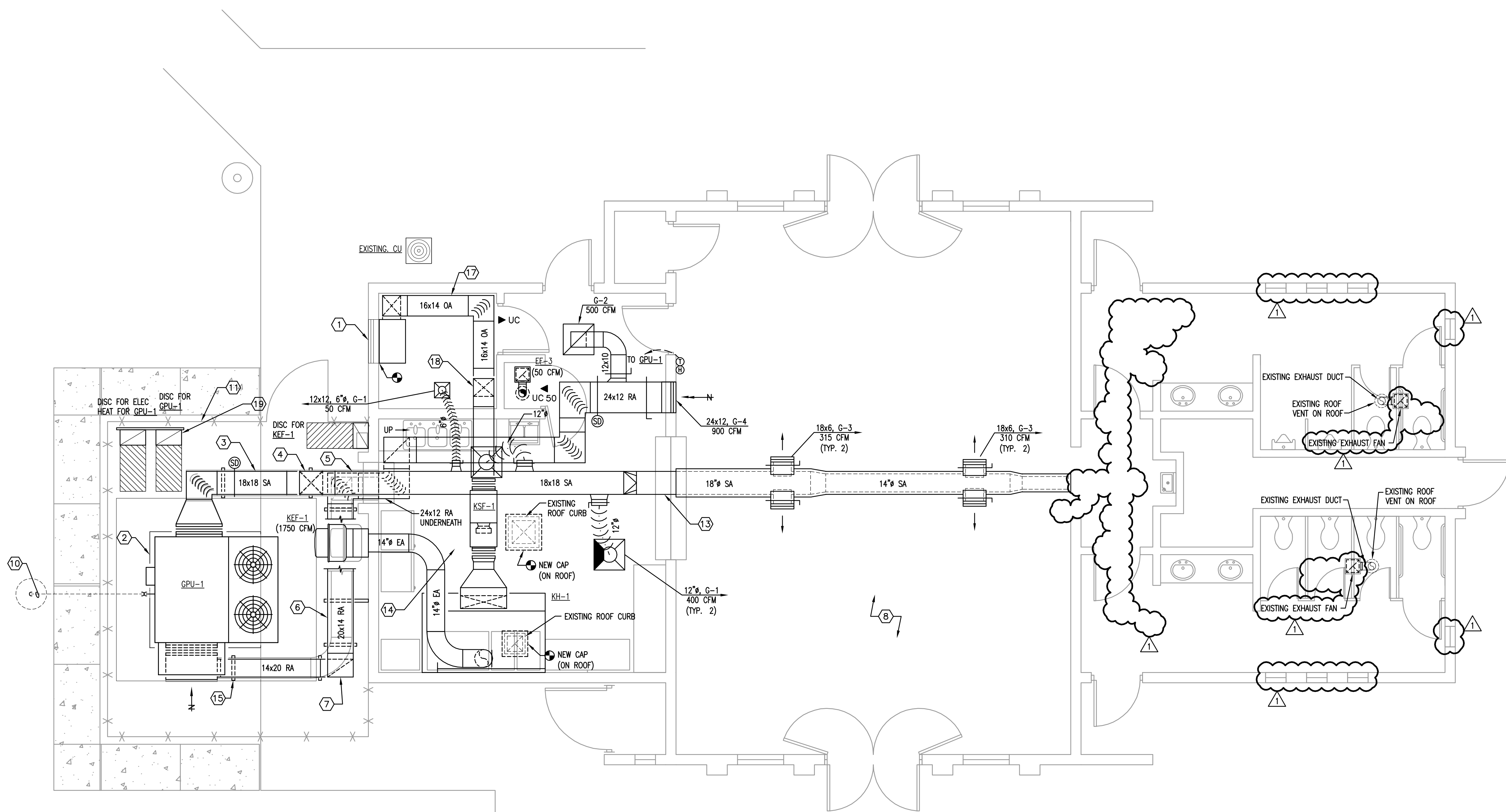
Revisions

No.	Date	Description
1	11/10/14	REVISION #1

Key Plan

MPE PROJ#: 2013-079
Designed By: BWP
Drawn By: RN
Checked By: BWP
Issue Date: 9/05/14
Drawing Scale: 1/4" = 1'-0"
Drawing Title:
FLOOR PLAN DEMOLITION MECHANICAL
100% CONSTRUCTION DOCUMENTS
Drawing No.
MD101

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 PLOT DATE: 11/12/2014 9:14:56 AM
 MATERN PROFESSIONAL ENGINEERING




FLOOR PLAN - RENOVATION - MECHANICAL
 1/4" = 1'-0"


GENERAL NOTES

1. REFER TO GENERAL NOTES FOR THIS DISCIPLINE.
2. REFER TO SPECIFICATIONS.
3. ALL HEX NOTES NOT NECESSARILY USED ON ALL SHEETS.
4. ALL AIR HANDLING SYSTEMS WILL UTILIZE A FULLY DUCTED RETURN AIR SYSTEM.
5. PROVIDE A VOLUME DAMPER ON ALL BRANCH DUCTWORK AND ANY RUNOUT TO A DIFFUSER, WHETHER SHOWN OR NOT ON THE DRAWINGS.
6. ALL OUTSIDE AIR LOUVERS SHALL BE PROVIDED WITH 3/4" X 3/4" REMOVABLE BIRD SCREEN AND REMOVABLE FILTERS IN A FILTER RACK. THIS SHALL BE INSTALLED IN A CHANNEL AND SHALL BE EASILY REMOVED. SCREWED BIRD SCREEN TO THE LOUVER IS NOT ACCEPTABLE.
7. ALL LOUVER PLENUMS SHALL SLOPE BACK TOWARDS THE LOUVER ON THE EXTERIOR WALL. FINAL SIZE, HEIGHT, COLOR AND LOCATION OF THE LOUVERS SHOULD BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS AND GENERAL CONTRACTOR, PRIOR TO ORDERING TO LOUVERS.
8. FULLY COORDINATE WITH THE ARCHITECTURAL REFLECTED CEILING PLANS FOR DIFFUSER LOCATIONS PRIOR TO INSTALLATION.
9. 2-HOUR DUCT WRAP FIRE ENCLOSURE IS REQUIRED FOR ALL GREASE DUCT EXHAUST.
10. ALL METAL DUCTWORK USED FOR THE CONVEYANCE OF GREASE-LADEN AIR SHALL BE CONSTRUCTED OF MINIMUM 18 GAUGE STAINLESS STEEL OR 16 GAUGE GALVANIZED STEEL.
11. ALL GREASE EXHAUST DUCTWORK JOINTS SHALL BE EITHER TELESCOPING OR BELL TYPE. BUTT-WELDED JOINTS ARE PROHIBITED.
12. ALL GREASE EXHAUST DUCTWORK SEAMS AND JOINTS SHALL BE CONTINUOUSLY WELDED WATER-TIGHT ON THE EXTERNAL SURFACE OF THE DUCT SYSTEM. ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER.
13. ALL GREASE EXHAUST DUCTWORK SHALL BE EXTERNALLY INSULATED WITH A UL 2221 LISTED AND LABELED GREASE DUCT ENCLOSURE SYSTEM. INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFER TO SPECIFICATION SECTION 23 07 00.
14. ACCESS PANELS SHALL BE PROVIDED AT ALL CHANGES IN DIRECTION OF THE GREASE EXHAUST DUCTWORK SYSTEM. ACCESS PANELS SHALL BE INSTALLED IN ACCORDANCE WITH THE INSULATION MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL BE LABELED AS FOLLOWS: "ACCESS PANEL - DO NOT OBSTRUCT".
15. ALL HORIZONTAL GREASE EXHAUST DUCTWORK SHALL BE INSTALLED WITH A MINIMUM 1/4" PER FOOT SLOPE AND SHALL BE PITCHED BACK TOWARD THE HOOD.
16. ALL GREASE DUCT SUPPORTS SHALL BE NONCOMBUSTIBLE MATERIAL.
17. REFER TO THE MANUFACTURER'S RECOMMENDATIONS FOR ALL DEVICES SHOWN AND INSTALLED ON THIS PROJECT. THIS INCLUDES, BUT NOT LIMITED TO THE AIR FLOW MEASURING STATIONS, ELECTRIC DUCT HEATERS, MOTORIZED DAMPERS, SMOKE DETECTORS, AND DUCT ACCESSORIES.
18. FULLY COORDINATE ALL REQUIRED ELECTRICAL CLEARANCES FOR DISCONNECTS, AFD'S AND ELECTRIC DUCT HEATERS PRIOR TO INSTALLATION. THIS MUST BE INCLUDED ON ALL CONTRACTOR SHOP DRAWINGS, PRIOR TO INSTALLATION.
19. ALL AHU SUPPLY AND RETURN CONNECTIONS SHALL HAVE A CANVAS STYLE FLEXIBLE CONNECTOR.
20. PROVIDE AN AIR FLOW MEASURING STATION ON ALL OUTSIDE AIR INTAKES. THEY SHALL BE PER THE SPECIFICATIONS NO SUBSTITUTIONS. FULLY COORDINATE THEIR INSTALLATION REQUIREMENTS AND CLEARANCES PRIOR TO CONSTRUCTION.

HEX NOTES

- ① NEW 34x24 INTAKE LOUVER IN EXISTING OPENING WITH 20" DEEP INSULATED SHEET METAL PLENUM.
- ② 6" CONCRETE HOUSEKEEPING PAD, CONNECT TO EXISTING SIDEWALK AS REQUIRED TO MAKE A LEVEL MOUNTING SURFACE.
- ③ EXTERIOR SUPPLY DUCTWORK MOUNTED AT GRADE. REFER TO DETAIL.
- ④ SUPPLY DUCTWORK UP.
- ⑤ 18x18 SUPPLY DUCT ABOVE 20X14 RETURN DUCT IN NEW KITCHEN SOFFIT.
- ⑥ EXTERIOR RETURN DUCT MOUNTED TO WALL BELOW GREASE FAN.
- ⑦ RETURN DUCT ON TO GRADE.
- ⑧ DOUBLE-WALLED SPIRAL DUCTWORK IN THIS AREA, MOUNTED BELOW EXISTING CEILING. PAINT TO MATCH EXISTING CEILING.
- ⑨ NOT USED.
- ⑩ 1-1/2" CD TO 24" DRYWELL.
- ⑪ NEW 6' HIGH FENCE ENCLOSURE. REFER TO ARCHITECTURAL.
- ⑫ NOT USED.
- ⑬ TRANSITION FROM CONCEALED EXTERNALLY WRAPPED DUCTWORK TO DOUBLE-WALLED SPIRAL DUCTWORK AT WALL.
- ⑭ COORDINATE DUCT ROUTING WITH EXISTING TRUSS LAYOUT COORDINATED SHOP DRAWINGS OF THIS AREA SHALL BE SUBMITTED PER SPECIFICATIONS PRIOR TO INSTALLATION.
- ⑮ GROUND MOUNTED DUCT SUPPORT.
- ⑯ 6" EA UP TO NEW ROOF JACK ON ROOF.
- ⑰ ROUTE OA DUCT TIGHT TO CEILING.
- ⑱ 16x14 OA UP THROUGH CEILING INTO CEILING PLENUM.
- ⑲ DISCONNECT SWITCHES MOUNTED ON UNI-STRUT RACK.

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①	11/10/14	REVISION #1

Key Plan

MPE PROJ#: 2013-079
 Designed By: BWP
 Drawn By: RN
 Checked By: BWP
 Issue Date: 9/05/14
 Drawing Scale: 1/4" = 1'-0"

FLOOR PLAN RENOVATION MECHANICAL
 100% CONSTRUCTION DOCUMENTS
 Drawing No. **M101**

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 MATERN PROFESSIONAL ENGINEERING

GROUND-MOUNTED PACKAGE AHU SCHEDULE:																																										
UNIT NO.	SERVING	UNIT DATA						FAN DATA				COOLING COIL DATA				ELEC. HEATING DATA				CONDENSER FAN MOTOR				COMPRESSOR DATA				UNIT ELECTRIC DATA				SELECTION BASED ON		REMARKS								
		CAPACITY MBH	COND. EAT F	SAT. SUCT. F	REFRIG TYPE	TOTAL CFM	PRIMARY AIR	MAX OA	EXT. STATIC P. IN H2O	HP	RPM	VOLT	PH	DB	WB	DB	WB	EER	DB	DB	KW	VOLT	PH	NO. STEPS	NO.	HP	VOLT	PH	QUANTITY	STEPS	VOLT	PH	RLA (ea)		LRA (ea)	VOLT	PH	FLA	MCA	MOCP	MANUFACTURER	MODEL
GPU-1	CONCESSION BLDG	100.1	95	-	R-410A	2100	1400	700	1	1	230	1	80.7	68.0	52.5	52.5	12.4	60	75.0	10	230	1	2	2	1	230	1	2	2	230	1	21.7	117	230	1	-	66	80	ADDISON	TRSA096	2045	1,2,3,4,5,6,7

REMARKS:
 1 HIGH EFFICIENCY
 2 PROVIDE CONCRETE HOUSEKEEPING PAD
 3 MCA AND MOCP INCLUDES ALL EQUIPMENT EXCEPT ELEC. HEAT. ELEC. HEAT IS A SEPARATE POWER CONNECTION.
 4 PROVIDE ON-BOARD CONTROLS AND DIGITAL PROGRAMMABLE THERMOSTAT/HUMIDISTAT.
 5 PROVIDE MOTORIZED DAMPER FOR OUTDOOR AIR SHROUD.
 6 REFER TO SPECIFICATION SECTION 23 77 00 FOR APPROVED EQUALS FOR THIS EQUIPMENT.
 7 DIGITAL SCROLL COMPRESSORS

EXHAUST FAN SCHEDULE:															
UNIT NO.	SERVING	TYPE	CFM	BLADE TYPE	SONES	TOTAL STATIC IN H2O	FAN RPM	MOTOR DATA				EHPA	SELECTION BASED ON:		REMARKS
								HP	RPM	VOLT	PH		MISSILE IMPACT	MANUFACTURER	
KEF-1	KITCHEN HOOD EXHAUST	WALL-MOUNTED BELT DRIVE	1750	BI	10.8	0.75	995	3/4	1725	120	1	N	GREENHECK	CWB-161-7	2,3,4,6,7
KSF-1	KITCHEN HOOD SUPPLY	INLINE DIRECT DRIVE	1400	BI	10.7	0.66	1472	3/4	1725	120	1	N	GREENHECK	SD-130-VG	1,2,4,6,8,9
EF-1	NOT USED														
EF-2	NOT USED														
EF-3	JANITOR'S CLOSET	CEILING CABINET FAN	50	BI	1.4	0.25	675	45W	1050	120	1	N	GREENHECK	SP-B70	1,2,4,5

REMARKS:
 1 PROVIDE BACKDRAFT DAMPER
 2 PROVIDE DISCONNECT AT THE UNIT
 3 HIGH-WIND RATED
 4 REFER TO SPECIFICATION SECTION 23 34 00 FOR APPROVED EQUALS FOR THIS EQUIPMENT.
 5 FAN TO BE CONTROLLED BY LIGHT SWITCH WITH AUTOMATIC SHUTOFF AFTER 20 MINUTES
 6 INTERLOCK KITCHEN HOOD FANS WITH KITCHEN HOOD CONTROL PANEL
 7 PROVIDE GREASE DRAIN AND ALL ASSOCIATED ACCESSORIES FOR THE GREASE FAN
 8 VARI-GREEN EC MOTOR W/MOUNTED POTENTIOMETER DIAL
 9 SLOPED FILTER BOX, 1" REMOVABLE ALUMINUM FILTERS

GENERAL COMMENTS:
 1. ALL ROOF MOUNTED FANS TO BE FLORIDA PRODUCT APPROVED AND TIED DOWN PER THE DETAILS SHEET

KITCHEN HOOD EXHAUST & MAKE-UP AIR SCHEDULE																
UNIT NO.	HOOD SERVED	HOOD DATA				EXHAUST COLLAR DATA				SUPPLY COLLAR DATA				SELECTION BASED ON:		REMARKS
		LENGTH (IN)	WIDTH (IN)	HEIGHT (IN)	WEIGHT (LBS)	CFM	S.P. (IN W.G.)	QTY NUM	COLLAR SIZE	CFM	S.P. (IN W.G.)	QTY NUM	COLLAR SIZE	MANUFACTURER	MODEL	
KH-1	KITCHEN	84	48	24	245	1,750	0.527	1	12x12	1,400	0.138	1	36x10	GREENHECK	GHEW-84-S	SEE NOTES

NOTES:
 1. 430 18 GAUGE STAINLESS STEEL WHERE EXPOSED
 2. UL710 LISTED W/O EXHAUST FIRE DAMPER - UL#MH11726
 3. BACK INTEGRAL AIR SPACE - 3 IN WIDE
 4. 18 IN HIGH CEILING ENCLOSURES - FRONT LEFT RIGHT - FIELD INSTALLED
 5. FACTORY MOUNTED EXHAUST COLLAR
 6. RIGHT UTILITY CABINET 24 IN HIGH 48 IN LONG 12 IN WIDE
 7. INCLUDES PERFORMANCE ENHANCING LIP (PEL) TECHNOLOGY
 8. STANDING SEAM CONSTRUCTION

VENTILATION RATE REQUIREMENT SCHEDULE									
OCCUPANCY CATEGORY: RESORTS		SPACE CLASSIFICATION	OCCUPANT COUNT	PEOPLE OUTDOOR AIR RATE CFM/PERSON	SQ. FT. OF AREA	AREA OUTDOOR AIR RATE REQ'D CFM/SQ. FT.	DEFAULT VALUES		TOTAL OUTDOOR AIR CFM REQUIRED
SERVED BY	ROOM						OCCUPANT DENSITY/1000 SQ. FT.	COMBINED OUTDOOR AIR RATE CFM/PERSON	
GPU-1	KITCHEN/DINING ROOM	RESTAURANT DINING ROOMS	52	7.5	1300	0.18	70	10	624
									624
									700

NOTE:
 1. REQUIRED OUTSIDE AIR CFM VALUES BASED ON ANSIVASHRAE STANDARD 62.1-2007.

Duct & Pipe Construction & Insulation Requirements Schedule			
Service	Thickness	Type	Notes
Outside Air Duct	Installed R-6	.75# density blanket	
Supply Air Ducts			
All low pressure exposed ductwork in public areas:	1" internally lined Installed R-6	with perforated inner liner and mylar film separating insulation from air stream	Double Wall Duct
Ducts located outdoors or in soffit exposed to weather:	Installed R-8	Exposed: Rigid fiberglass with corner angles with outer weatherproof sheet metal jacket sealed with Flex-Clad 400 as manufactured by MFM Building Products Corp. Concealed: .75# density blanket	
Terminal to Outlet:	Installed R-6	.75# density blanket.	
Return Air Ducts			
Ducts located outside:	Installed R-4.2	Internal Specified in Specification Section 23 31 01. Insulating duct specified in Specification Section 23 33 00 or Flex-Clad 400 as manufactured by MFM Building Products Corp.	
All other return air ductwork:	Installed R-4.2	Concealed - 2" thick external wrap - 1-1/2" rigid board with corner angles	Exposed
Exhaust Air Ducts			
All general restroom exhaust ducts:		Not Required	
Kitchen hood exhaust ducts:		Wrapped in 2 hour fire rated duct wrap enclosure equal to 3m Firemaster	
Piping			
Condensate Drain (CD): All sizes	1/2"	Closed Cell Elastomeric	

NOTES:
 Refer to specification section 23-07-00 for more details and information
 Insulation must meet or exceed FBC 2010 - Energy Conservation Code sections 503.2.7 through 503.2.8
 Insulation must meet or exceed FBC 2010 - Mechanical Code sections 604.1 through 604.13
 Insulation must meet or exceed ASHRAE 90.1-2010, Table 6.8.3

GRILLE, REGISTER AND DIFFUSER SCHEDULE:																
UNIT NO.	TYPE			SERVICE			MOUNTING DATA			CONSTRUCTION DATA			SELECTION BASED ON:		REMARKS	
	G	R	D	SA	RA	EA	CEILING	DUCT	WALL		SHAPE	MATERIAL	COLOR	MANUFACTURER		MODEL
			HIGH	LOW												
G-1			X	X			X				SQUARE	ALUMINUM	WHITE	TITUS	TMS-AA	1,2
G-2	X				X		X			X	RECT.	ALUMINUM	WHITE	TITUS	50F	1,2
G-3	X			X			X	X		X	RECT.	ALUMINUM	WHITE	TITUS	300FL	1,2
G-4	X				X		X			X	RECT.	ALUMINUM	WHITE	TITUS	350FL	1,2

REMARKS:
 1) PROVIDE MATCHING MOUNTING SCREWS. FINISH TO MATCH GRILLE.
 2) REFER TO SPECIFICATION SECTION 23 37 13 FOR APPROVED EQUALS.

AIR BALANCE SCHEDULE						
UNIT	S.A.	R.A.	O.A.	E.A.	PRESSURE	COMMENTS
KEF-1				1750	-1750	KITCHEN EXHAUST
KSF-1			1400		1400	KITCHEN SUPPLY
EF-3				50	-50	JANITORS
GPU-1	2100		700		700	NEW PACKAGED DX UNIT
TOTAL	2100	0	2100	1800	300	

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 ENG. BUS. No. EB-0005096 CERT. OF AUTH. No. 5096

OC CLARCONA HORSEMANS PARK RESTROOMS & CONCESSIONS BLDG HVAC REPLACEMENT

No.	Date	Description
1	11/10/14	REVISION #1

Key Plan

MPE PROJ#: 2013-079

Designed By: BWP

Drawn By: RN

Checked By: BWP

Issue Date: 9/05/14

Drawing Scale: NONE

Drawing Title:

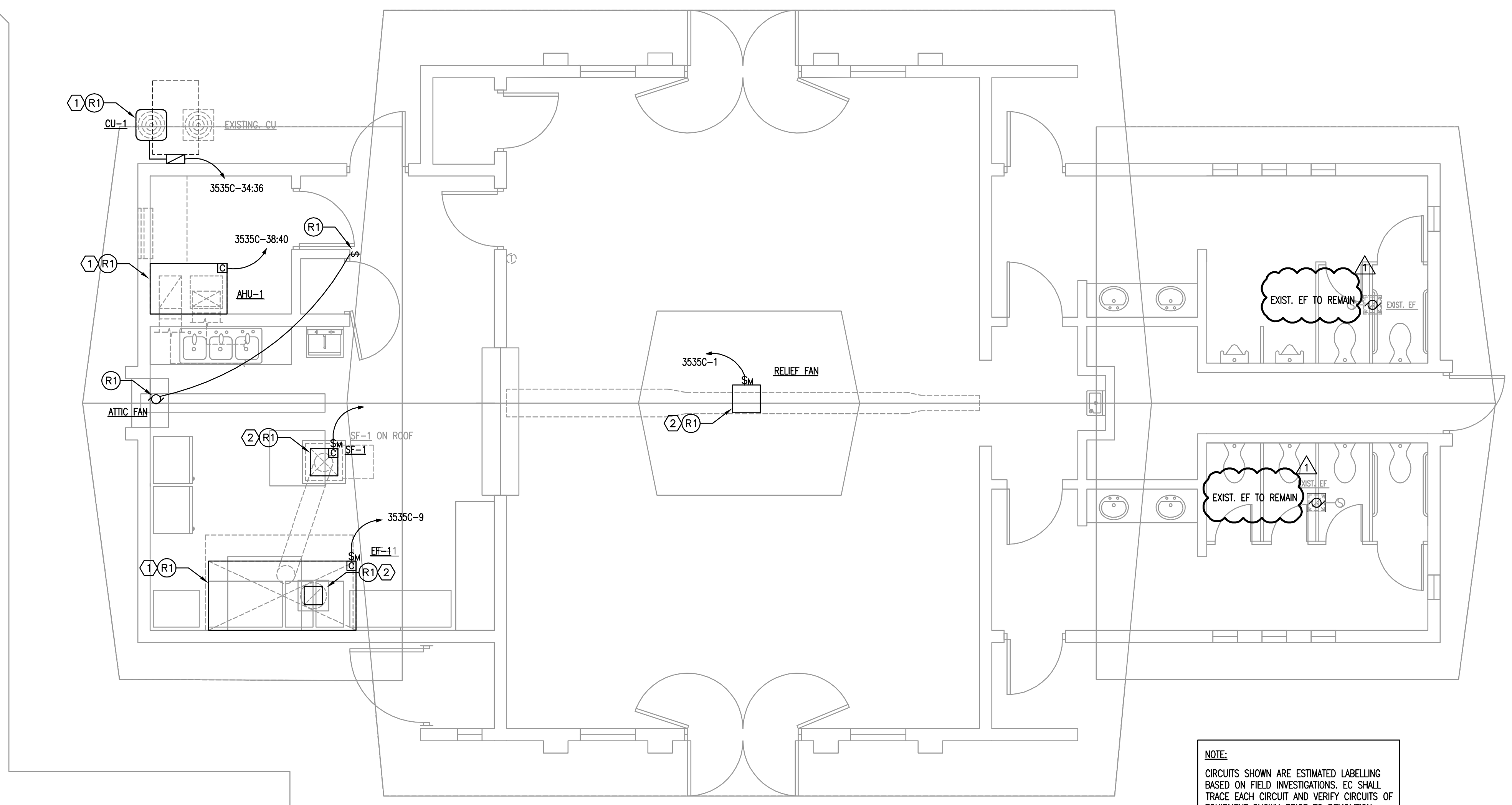
SCHEDULES MECHANICAL

100% CONSTRUCTION DOCUMENTS

Drawing No.

M601

MATERN PROFESSIONAL ENGINEERING PLOT DATE: 11/12/2014 9:15:40 AM FILENAME: J:\2013\2013-079_OC Clarcona Horseman's Park Kitchen and Recreation Building HVAC Replacement\2013-079-ED101.dwg
 CREATE DATE: 4/24/2014 3:48:03 PM LAST SAVED: 11/12/2014 9:15:37 AM LAST SAVED BY: BPERROTT



NOTE:
 CIRCUITS SHOWN ARE ESTIMATED LABELLING BASED ON FIELD INVESTIGATIONS. EC SHALL TRACE EACH CIRCUIT AND VERIFY CIRCUITS OF EQUIPMENT SHOWN PRIOR TO DEMOLITION.

FLOOR PLAN - DEMOLITION - POWER
 1/4" = 1'-0"
 0 2' 4' 8'

- GENERAL NOTES**
- REFER TO GENERAL NOTES FOR THIS DISCIPLINE.
 - REFER TO SPECIFICATIONS.
 - NO MULTI-WIRE BRANCH CIRCUITS ARE TO BE USED. EACH CIRCUIT IS TO HAVE SEPARATE INDIVIDUAL NEUTRAL.
 - ALL HEX NOTES NOT NECESSARILY USED ON ALL SHEETS.
 - EXISTING CONDUIT ROUTING IS UNKNOWN.
 - WHERE CONDUIT ROUTING IS SHOWN, THE CONDUITS ARE SHOWN FOR DIAGRAMMATIC PURPOSES AND ARE NOT NECESSARILY REPRESENTATIVE OF EXACT PLACEMENT.

- HEX NOTES**
- MECHANICAL EQUIPMENT TO BE REPLACED. REMOVE ALL ELECTRICAL FOR THIS EQUIPMENT COMPLETE BACK TO ITS SOURCE.
 - EXISTING MECHANICAL EQUIPMENT TO BE REMOVED.
 - EXISTING CONDUIT RUN MAY BE RE-USED IN RENOVATIONS PROVIDED SIZE AND CONDITION MEETS CODE REQUIREMENTS AND ROUTING IS CONGRUENT WITH NEW CIRCUITING. REFER TO RENO DRAWINGS.

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 ENG. BUS. No. EB-0005096 CERT. OF AUTH. No. 5096

OC CLARCONA HORSEMAN'S PARK RESTROOMS & CONCESSIONS BLDG HVAC REPLACEMENT

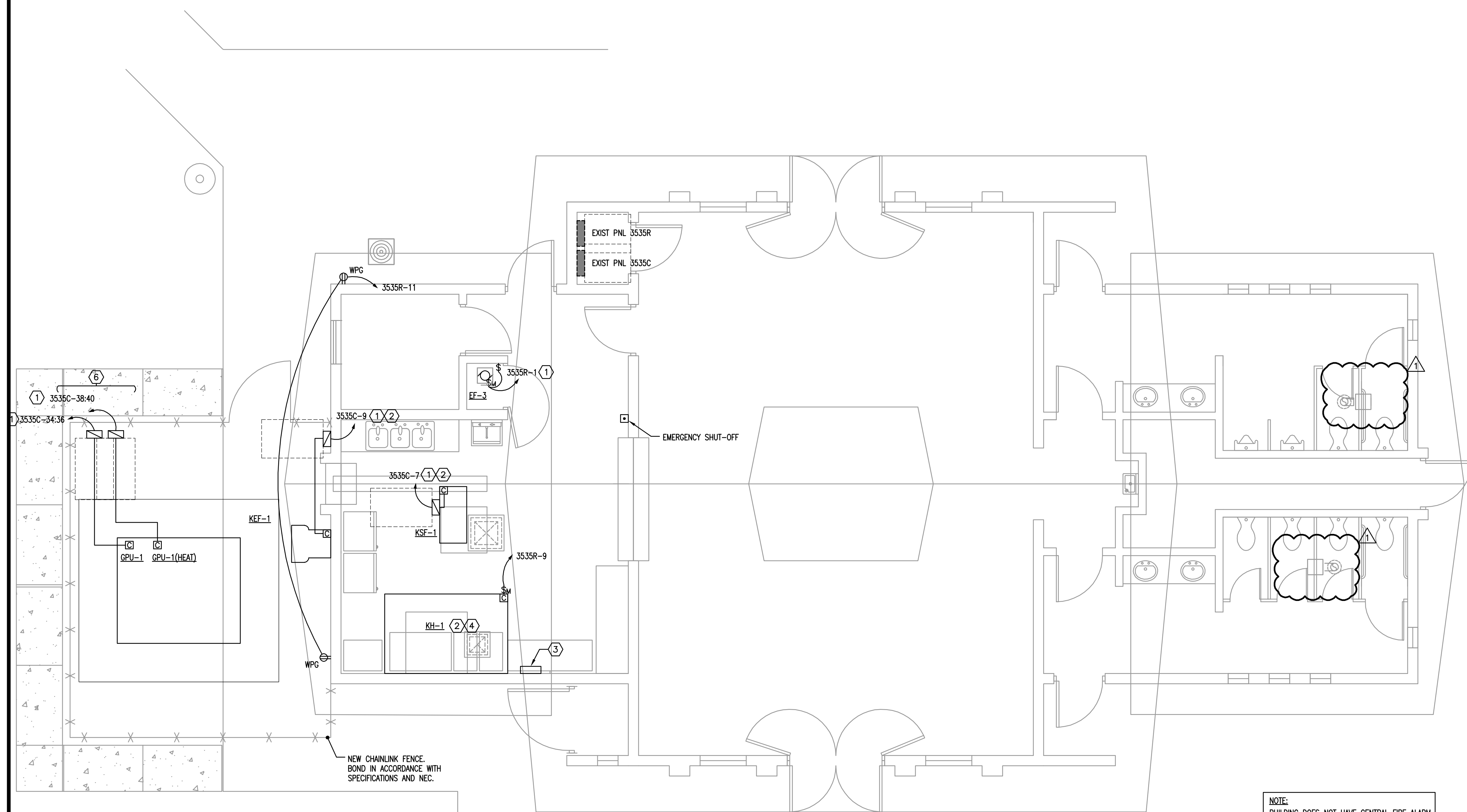
Revisions

No.	Date	Description
1	11/10/14	REVISION #1

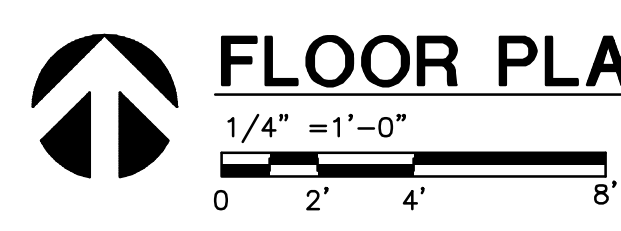
Key Plan
 MPE PROJ#: 2013-079
 Designed By: RB
 Drawn By: AG/RB
 Checked By: CT
 Issue Date: 9/05/14
 Drawing Scale: 1/4" = 1'-0"

Drawing Title:
FLOOR PLAN - DEMOLITION - POWER
 100% CONSTRUCTION DOCUMENTS
 Drawing No.
ED101

MATERN PROFESSIONAL ENGINEERING PLOT DATE: 11/12/2014 9:15:18 AM FILENAME: J:\2013\2013-079_OC Clarcona Horseman's Park Kitchen and Recreation Building HVAC Replacement\2013-079-E101.dwg
 CREATE DATE: 4/24/2014 3:48:03 PM LAST SAVED: 11/12/2014 9:15:15 AM LAST SAVED BY: BPERROTT



NOTE:
EQUIPMENT CONNECTION LOCATIONS ARE SHOWN DIAGRAMMATICALLY ONLY. EC SHALL OBTAIN SHOP DRAWINGS FROM MANUFACTURER OF EQUIPMENT AND PROVIDE CONNECTIONS AS REQUIRED.



FLOOR PLAN - RENOVATION - POWER/SYSTEM

NOTE:
BUILDING DOES NOT HAVE CENTRAL FIRE ALARM SYSTEM. REFER TO MECHANICAL DRAWINGS FOR EQUIPMENT SHUT DOWN REQUIREMENTS.

GENERAL NOTES

- 1) REFER TO GENERAL NOTES FOR THIS DISCIPLINE.
- 2) REFER TO SPECIFICATIONS.
- 3) NO MULTI-WIRE BRANCH CIRCUITS ARE TO BE USED. EACH CIRCUIT IS TO HAVE SEPARATE INDIVIDUAL NEUTRAL.
- 4) REWORK/RELOCATE EXISTING ELECTRICAL AS REQUIRED TO FACILITATE REMODELING.
- 5) CONTRACTOR SHALL MAINTAIN CONTINUITY TO EXISTING DEVICES REMAINING.
- 6) ALL DISCONNECTING MEANS (SWITCHES) FEEDING FAN TERMINAL BOXES SHALL BE MOTOR RATED SWITCHES.
- 7) REFER TO MECHANICAL EQUIPMENT FEEDER AND PANEL SCHEDULES FOR ELECTRICAL REQUIREMENTS FOR MECHANICAL AND PLUMBING EQUIPMENT.
- 8) MOUNT ALL DISCONNECT SWITCHES FOR MECHANICAL EQUIPMENT WITHIN SIX (6) FEET OF EQUIPMENT AS REQUIRED BY APPLICABLE CODES AND STANDARDS. RELOCATE DISCONNECT SWITCHES SHOWN ON DRAWINGS TO LOCATION REQUIRED TO COMPLY WITH THIS REQUIREMENT AND APPLICABLE CODES/STANDARDS. LOCATIONS FOR DISCONNECT SWITCHES SHOWN ON DRAWINGS IS FOR GENERAL INFORMATION ONLY.

HEX NOTES

- ① REFER TO MECHANICAL FEEDER SCHEDULE.
- ② CONNECT VIA KITCHEN CONTROL SYSTEM. SEE WIRING DIAGRAM AND OTHER REQUIREMENTS ON KITCHEN HOOD DRAWING.
- ③ NEW HOOD CONTROL UNIT. RECONNECT ANY CONTROL POWER AND BUILDING ALARM SYSTEMS TO EXISTING CIRCUITS PREVIOUSLY SERVING EQUIPMENT BEING REPLACED.
- ④ UPON ACTIVATION OF ANSUL SYSTEM, HOOD SHALL SHUNT POWER TO EQUIPMENT UNDER HOOD. PROVIDE CONNECTIONS TO EXISTING BREAKER SHUNT TRIPS AS REQUIRED.
- ⑤ NOT USED.
- ⑥ PROVIDE GALVANIZED UNISTRUT RACK SET IN CONCRETE FOR MOUNTING OF EQUIPMENT AS REQUIRED.

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 ENG. BUS. No. EB-0005096 CERT. OF AUTH. No. 5208

OC CLARCONA HORSEMAN'S PARK RESTROOMS & CONCESSIONS BLDG HVAC REPLACEMENT

Revisions

No.	Date	Description
1	11/10/14	REVISION #1

Key Plan

MPE PROJ#: 2013-079
 Designed By: RB
 Drawn By: AG/RB
 Checked By: CT
 Issue Date: 9/05/14
 Drawing Scale: 1/4"=1'-0"

FLOOR PLAN - RENOVATION - POWER/SYSTEMS

100% CONSTRUCTION DOCUMENTS

Drawing No. **E101**

OC CLARCONA HORSEMANS PARK RESTROOMS & CONCESSIONS BLDG HVAC REPLACEMENT

Revisions

No.	Date	Description
1	11/10/14	REVISION #1

Key Plan

MPE PROJ#: 2013-079
Designed By: RB
Drawn By: AG/RB
Checked By: CT
Issue Date: 9/05/14
Drawing Scale: NO SCALE

Drawing Title:
ELECTRICAL SCHEDULES
100% CONSTRUCTION DOCUMENTS
Drawing No.
E501

PER NEC, THE EXISTING 400A SERVICE IS ADEQUATE TO HANDLE AN INCREASE IN LOAD OF 70A. THE MAXIMUM MONTHLY DEMAND BEING ONLY 22KW (92A).
92A X 125% = 115A
115A + 70A = 185A

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VOLTS LN: 120
VOLTS PH: 240
PHASE: MOUNTING: SURFACE
TYPE: MFR: SQ D

PANEL: 3535R (EXIST)

EXISTING: YES
SECTIONS: 1
NEMA 3R: 1

NOTES AND REFERENCE NOTES:
(1) ALL C.B.'S FEEDING HVAC EQUIPMENT TO BE HACR TYPE.
(2) ALL C.B.'S FEEDING ELEV EQUIP TO BE SHUNT TRIP TYPE.
(3) ALL C.B.'S FEEDING ELEV EQUIP TO BE SIZED AS REQ'D BY MFR.
(4) ALL C.B.'S FEEDING HID LTG TO BE HID RATED.
(5) NO MULTIWIRE BRANCH CKTS ARE ALLOWED
(6) NOT USED.

OPTIONAL CALC
ACTUAL CONN LOAD 13 KVA 54 AMPS
DEMAND 13 KVA 54 AMPS
DIVERSITY 13 KVA 54 AMPS
TRANSFORMER SIZE KVA

SECTION 1 WITH MAINS WIDTH: 20 DEPTH: 6.00

DESCRIPTION	CONN	TYPE	AMPS	AMPS	AMPS	C.B. AMPS	C.B. POLE	REF NOTE	CKT. NO.	CKT. NO.	REF NOTE	C.B. POLE	C.B. AMPS	AMPS	AMPS	DESCRIPTION	CONN	TYPE
SPACE									1	2		1	20	8		HAND DRYER - MEN'S RM	8	5.0
LIGHTS - EXTERIOR	10	5.0	10	10		20	1		3	4		1	20	8		RECEPTS - ASSMBLY RM	8	5.0
WINDOW A/C	10	5.0	10	10		20	2		5	6		1	20	10	8	LIGHTS - MEN'S RM	10	5.0
SPACE									7	8		1	20	8		LIGHTS - ASSEMBLY RM	8	5.0
SPACE									9	10		1	20	10		LIGHTS - LADIE'S RM	10	5.0
SPACE									11	12		1	20	10	8	WATER COOLER	8	5.0
SPACE									13	14		1	20	8		EXHAUST FAN - ASSEMBLY RM	8	5.0
SPACE									15	16		1	20	10		RECEPTS - EQUIPMENT RM	10	5.0
SPACE									17	18		1	20	8		LIGHTS - ASSEMBLY RM	8	5.0
SPACE									19	20		1	20	0		LIGHTS - EXTERIOR	10	2.0
SPACE									21	22		1				SPACE		
SPACE									23	24		1				SPACE		
SPACE									25	26		1				SPACE		
SPACE									27	28		1				SPACE		
SPACE									29	30		1				SPACE		
SPACE									31	32						SPACE		
SPACE									33	34						SPACE		
SPACE									35	36						SPACE		
SPACE									37	38						SPACE		
SPACE									39	40						SPACE		
SPACE									41	42						SPACE		

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VOLTS LN: 120
VOLTS PH: 240
PHASE: MOUNTING: SURFACE
TYPE: MFR: SQ D

PANEL: 3535R (EXIST. REV)

EXISTING: YES
SECTIONS: 1
NEMA 3R: 1

NOTES AND REFERENCE NOTES:
(1) ALL C.B.'S FEEDING HVAC EQUIPMENT TO BE HACR TYPE.
(2) ALL C.B.'S FEEDING ELEV EQUIP TO BE SHUNT TRIP TYPE.
(3) ALL C.B.'S FEEDING ELEV EQUIP TO BE SIZED AS REQ'D BY MFR.
(4) ALL C.B.'S FEEDING HID LTG TO BE HID RATED.
(5) NO MULTIWIRE BRANCH CKTS ARE ALLOWED
(6) NOT USED.

OPTIONAL CALC
ACTUAL CONN LOAD 14 KVA 60 AMPS
DEMAND 14 KVA 60 AMPS
DIVERSITY 14 KVA 60 AMPS
TRANSFORMER SIZE KVA

SECTION 1 WITH MAINS WIDTH: 20 DEPTH: 6.00

DESCRIPTION	CONN	TYPE	AMPS	AMPS	AMPS	C.B. AMPS	C.B. POLE	REF NOTE	CKT. NO.	CKT. NO.	REF NOTE	C.B. POLE	C.B. AMPS	AMPS	AMPS	DESCRIPTION	CONN	TYPE
SPACE									15	1		1	20	8		HAND DRYER - MEN'S RM	8	5.0
LIGHTS - EXTERIOR	10	5.0	10	10		20	1		3	4		1	20	8		RECEPTS - ASSMBLY RM	8	5.0
WINDOW A/C	10	5.0	10	10		20	2		5	6		1	20	10	8	LIGHTS - MEN'S RM	10	5.0
SPACE									7	8		1	20	8		LIGHTS - ASSEMBLY RM	8	5.0
KITCHEN HOOD	5	7.0	5	5		20	1		9	10		1	20	10		LIGHTS - LADIE'S RM	10	5.0
EXTERIOR RECEPTS	2	4.0	3	3		20	1		11	12		1	20	8		WATER COOLER	8	5.0
SPACE									13	14		1	20	8		EXHAUST FAN - ASSEMBLY RM	8	5.0
SPACE									15	16		1	20	10		RECEPTS - EQUIPMENT RM	10	5.0
SPACE									17	18		1	20	8		LIGHTS - ASSEMBLY RM	8	5.0
SPACE									19	20		1	20	0		LIGHTS - EXTERIOR	10	2.0
SPACE									21	22		1				SPACE		
SPACE									23	24		1				SPACE		
SPACE									25	26		1				SPACE		
SPACE									27	28		1				SPACE		
SPACE									29	30		1				SPACE		
SPACE									31	32						SPACE		
SPACE									33	34						SPACE		
SPACE									35	36						SPACE		
SPACE									37	38						SPACE		
SPACE									39	40						SPACE		
SPACE									41	42						SPACE		

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VOLTS LN: 120
VOLTS PH: 240
PHASE: MOUNTING: SURFACE
TYPE: MFR: EATON

PANEL: 3535C (EXIST)

EXISTING: YES
SECTIONS: 1
NEMA 3R: 1

NOTES AND REFERENCE NOTES:
(1) ALL C.B.'S FEEDING HVAC EQUIPMENT TO BE HACR TYPE.
(2) ALL C.B.'S FEEDING ELEV EQUIP TO BE SHUNT TRIP TYPE.
(3) ALL C.B.'S FEEDING ELEV EQUIP TO BE SIZED AS REQ'D BY MFR.
(4) ALL C.B.'S FEEDING HID LTG TO BE HID RATED.
(5) NO MULTIWIRE BRANCH CKTS ARE ALLOWED
(6) NOT USED.

OPTIONAL CALC
ACTUAL CONN LOAD 66 KVA 275 AMPS
DEMAND 64 KVA 267 AMPS
DIVERSITY 64 KVA 267 AMPS
TRANSFORMER SIZE KVA

SECTION 1 WITH MAINS WIDTH: 20 DEPTH: 5.75

DESCRIPTION	CONN	TYPE	AMPS	AMPS	AMPS	C.B. AMPS	C.B. POLE	REF NOTE	CKT. NO.	CKT. NO.	REF NOTE	C.B. POLE	C.B. AMPS	AMPS	AMPS	DESCRIPTION	CONN	TYPE
RELIEF FAN	5	5.0	5			20	1		1	2		1	20	8		POLE RECP	5	4.0
POLE RECP	6	4.0	5	9		20	1		3	4		1	20	5		POLE RECP	3	4.0
POLE RECP	3	4.0	5			20	1		5	6		2	30	12	5	WATER HEATER	12	5.0
SPACE									7	8				12				
HOOD EXHAUST FAN	8	5.0	8			20	1		9	10		1	20	10		110V CURTAIN RIGHT	10	7.0
REFRIGERATOR	12	7.0	12			20	1		11	12		1	20	10	10	KITCHEN LIGHTS	1200	2.0
KITCHEN LIGHTS	1200	2.0	10			20	1		13	14		1	20	10		110V HOOD LEFT	10	7.0
110V WINDOW LEFT	10	7.0	10	10		20	1		15	16		1	20	8		LIGHTS	1000	2.0
ICE MACHINE	12	7.0	12			20	1		17	18		1	20	10		110V CURTAIN RIGHT	10	7.0
WINDOW A/C	12	5.0	12			20	1		19	20		1	20	8		LIGHTS	1000	2.0
110V ORDER CURTAIN LEFT	10	7.0	10	10		20	1		21	22		1	15	10		110V CURTAIN RIGHT	10	7.0
STORAGE OUTLET	10	5.0	10			20	1		23	24		1	40			SHUNT TRIP	10	5.0
EXIST LOAD - NO LABEL	10	7.0	10			20	1		25	26		2	40	26		CHARBROIL	26	7.0
SHUNT TRIP	2	5.0	2			20	1		27	28				26			26	7.0
EAST GRILL	32	7.0	32			50	2		29	30		2	20	10		TOASTER	10	7.0
SHUNT TRIP	32	7.0	32			50	1		31	32				10			10	7.0
SHUNT TRIP	1.5	1.5				50	1		33	34		2	35	20		CU-1	33	34
WEST GRILL	38	7.0	38			60	2		35	36				20				11.1
SHUNT TRIP	38	7.0	38			60	2		37	38		2	60	40		AHU-1	40	12.3
SHUNT TRIP	2	5.0	2			60	1		39	40				40				12.3
SPACE									41	42		1				SPACE		

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VOLTS LN: 120
VOLTS PH: 240
PHASE: MOUNTING: SURFACE
TYPE: MFR: EATON

PANEL: 3535C (EXIST. REVISED)

EXISTING: YES
SECTIONS: 1
NEMA 3R: 1

NOTES AND REFERENCE NOTES:
(1) ALL C.B.'S FEEDING HVAC EQUIPMENT TO BE HACR TYPE.
(2) ALL C.B.'S FEEDING ELEV EQUIP TO BE SHUNT TRIP TYPE.
(3) ALL C.B.'S FEEDING ELEV EQUIP TO BE SIZED AS REQ'D BY MFR.
(4) ALL C.B.'S FEEDING HID LTG TO BE HID RATED.
(5) NO MULTIWIRE BRANCH CKTS ARE ALLOWED
(6) NOT USED.

OPTIONAL CALC
ACTUAL CONN LOAD 78 KVA 327 AMPS
DEMAND 77 KVA 320 AMPS
DIVERSITY 77 KVA 320 AMPS
TRANSFORMER SIZE KVA

SECTION 1 WITH MAINS WIDTH: 20 DEPTH: 5.75

DESCRIPTION	CONN	TYPE	AMPS	AMPS	AMPS	C.B. AMPS	C.B. POLE	REF NOTE	CKT. NO.	CKT. NO.	REF NOTE	C.B. POLE	C.B. AMPS	AMPS	AMPS	DESCRIPTION	CONN	TYPE
SPACE									1	2		1	20	8		POLE RECP	5	4.0
POLE RECP	6	4.0	5	9		20	1		3	4		1	20	5		POLE RECP	3	4.0
POLE RECP	3	4.0	5			20	1		5	6		2	30	12	5	WATER HEATER	12	5.0
KSF-1	14	7.0	14			35	1	MFR	7	8				12				
KEF-1	14	7.0	14			35	1	MFR	9	10		1	20	10		110V CURTAIN RIGHT	10	7.0
REFRIGERATOR	12	7.0	12			20	1		11	12		1	20	10		SPACE	10	0.2
KITCHEN LIGHTS	1200	2.0	10			20	1		13	14		1	20	10		110V HOOD LEFT	10	7.0
110V WINDOW LEFT	10	7.0	10	10		20	1	</										